

RESOLUTION NO. PC 17-037
A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
TO APPROVE PLANNED DEVELOPMENT 17-007
(TIDWELL CONTRACTORS STORAGE YARD)
APN: 025-423-003

WHEREAS, an application for Planned Development (PD 17-007) has been filed by Leo Tidwell III for a 9,960 square foot office building with an accessory outdoor contractor's storage yard on an approximately 2.78 acre site; and

WHEREAS, the project is located on a vacant 2.78-acre lot west of the intersection of Dallons Drive and Golden Hill Road; and

WHEREAS, the site was previously approved as part of a development plan and tentative parcel map (PD 00-008, PR 00-076) for a three-lot commercial subdivision for the development of an industrial/business park, including eight separate buildings totaling 72,380 square feet. Since the previous project's approval, only one of the three lots was developed. The current project would supersede the previous entitlements for this lot; and

WHEREAS, the General Plan land use designation is Commercial Service (CS) and the zoning is Commercial/Light Industrial (C3). The C3 zone accommodates a wide variety of commercial and light industrial development.. The project site is also located within Sub Area E of the Borkey Area Specific Plan (BASP) where light industrial uses are encouraged; and

WHEREAS, pursuant to the Statutes and Guidelines of the California Environmental Quality Act (CEQA), and the City's Procedures for Implementing CEQA, an Initial Study was prepared for the project; and

WHEREAS, based on the information and analysis contained in the Initial Study, staff determined that the proposed project as designed, and with appropriate mitigation measures added as conditions of approval, will not result in significant environmental impacts, and a Mitigated Negative Declaration was prepared and circulated for public review and comment in full compliance with CEQA; and

WHEREAS, a duly noticed public hearing was conducted by the Planning Commission on August 22, 2017, to consider the facts as presented in the staff report prepared for this project, and to accept public testimony regarding this conditional use permit request; and

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF EL PASO DE ROBLES DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. All of the above recitals are true and correct and incorporated herein by reference.

Section 2 - Findings: In accordance with Zoning Ordinance Section 21.23B.050, Findings for Approval of Development Plans, and based upon the facts and analysis presented in the staff report, public testimony received and subject to the conditions listed below, the Planning Commission makes the following findings:

1. The project is consistent with the goals and policies established by the General Plan and Zoning Ordinance, since the project would provide for areas for commercial service and light-industrial uses, such as contracted services, which typically would have outdoor storage areas; and
2. The proposed development plan will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the residents and or businesses in the surrounding area, or

be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City, as a result of the landscape screening, and decorative quality fencing materials; and

3. The proposed development plan accommodates the aesthetic quality of the City as a whole, especially where development will be visible from the gateways to the City, scenic corridors; and the public right-of-way; based on the mixture of quality materials and landscaping; and
4. The proposed development plan is compatible with, and is not detrimental to, surrounding land uses and improvements, provides an appropriate visual appearance, and contributes to the mitigation of any environmental and social impacts; and
5. The proposed development plan is compatible with existing scenic and environmental resources such as hillsides, oak trees, vistas, etc.; and
6. The proposed development plan contributes to the orderly development of the city as a whole by providing a well-designed project that is suitable for the location where it is proposed and surrounding land uses including commercial/light industrial, and the existing rural residential in the vicinity; and

Section 3 - Environmental Determination: Pursuant to the Statutes and Guidelines of the California Environmental Quality Act (CEQA), and the City's Procedures for Implementing CEQA, an Initial Study was prepared for the project. Based on the information and analysis contained in the Initial Study, staff determined that the proposed project as designed, and with appropriate mitigation measures added as conditions of approval, will not result in significant environmental impacts, and a Mitigated Negative Declaration was prepared and circulated for public review and comment in full compliance with CEQA

Section 4 - Approval: Planned Development 17-007 is approved subject to the following:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Site Specific Conditions of Approval
B	Standard Conditions of Approval
C	Site Plan
D	Landscaping Plan
E	Floor Plans
F	Architectural Elevations
G	Preliminary Construction Plans

PASSED AND ADOPTED THIS 22nd day of August 2017, by the following roll call vote:

AYES: Commissioners Agredano, Brennan, Davis, Jorgensen, and Chairman Donaldson
NOES:
ABSENT: Commissioners Barth and Rollins
ABSTAIN:



JOHN DONALDSON, CHAIRPERSON

ATTEST:



WARREN FRACE, PLANNING COMMISSION SECRETARY

Exhibit A

Site Specific Conditions of Approval – PD 17-007

Planning Division Conditions:

1. The applicant/developer shall comply with the checked standard Conditions of Approval, attached hereto as “Exhibit B” and incorporated herein by reference.

NOTE: In the event of conflict or duplication between standard and site-specific conditions, the site-specific condition shall supersede the standard condition.

2. The project shall be constructed in substantial conformance with the Conditions of Approval established by this Resolution and it shall be constructed in substantial conformance with the following Exhibits:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Site Specific Conditions of Approval
B	Standard Conditions of Approval
C	Site Plan
D	Landscaping Plan
E	Floor Plans
F	Architectural Elevations
G	Preliminary Construction Plans

3. Any condition imposed by the Planning Commission in approving this Development Plan may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the granting of the original permit. No such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use under the Development Plan.
4. Approval of this project is valid for a period of two (2) years from date of approval. Unless construction permits have been issued and site work has begun, the approval of Planned Development 17-007 shall expire on August 22, 2019. The Planning Commission may extend this expiration date if a Time Extension application has been filed with the City along with the fees before the expiration date.
5. All outdoor storage shall be located no closer to the front property line than the rear elevation of the office building.
6. In the event that buried or otherwise unknown cultural resources are discovered during construction work in the area of the find, work shall be suspended and the City of Paso Robles should be contacted immediately, and appropriate mitigations measures shall be developed by qualified archeologist or historian if necessary, at the developers expense.

7. An 8-foot tall brown slatted chain-link fence shall be installed along the rear and side parcel lines, subject to a 100-foot street setback. Fencing within 100-feet of Dallons Road shall be a 6-foot tall tubular black metal fence.

Engineering Division Conditions:

1. An Encroachment Permit is required for the proposed work in the public right-of-way.
2. The applicant shall provide a R7-9a No Parking Bike Lane sign, installed per City Standard C-15, somewhere after the drive approach nearer to Golden Hill Road. Use Punch Post and install in the landscape area.
3. The drive approach accessing the construction yard needs to be thickened to from 6 to 8 inches. Prior to issuance of a grading permit, City Standard Drawing C-9 shall be modified indicating the thickened drive approach.
4. Any new utilities will need to be installed underground.
5. Prior to grading permit issuance, the applicant shall enroll in the Stormwater control measure maintenance program.

Mitigation Measures – Conditions of Approval:

- BR-1. Prior to issuance of grading and/or construction permits, the applicant shall submit evidence to the City of Paso Robles, Community Development Department (see contact information below) that states that one or a combination of the following three San Joaquin kit fox mitigation measures has been implemented:
- a. Provide for the protection in perpetuity, through acquisition of fee or a conservation easement of 8.34 acres (2.78 acres disturbed area multiplied by 3 as a result of an applied 3:1 mitigation ratio) of suitable habitat in the kit fox corridor area (e.g. within the San Luis Obispo County kit fox habitat area, northwest of Highway 58), either on-site or off-site, and provide for a non-wasting endowment to provide for management and monitoring of the property in perpetuity. Lands to be conserved shall be subject to the review and approval of the California Department of Fish and Wildlife and the City. This mitigation alternative (a.) requires that all aspects of this program must be in place before City permit issuance or initiation of any ground disturbing activities.
 - b. Deposit funds into an approved in-lieu fee program, which would provide for the protection in perpetuity of suitable habitat in the kit fox corridor area within San Luis Obispo County, and provide for a non-wasting endowment for management and monitoring of the property in perpetuity. Mitigation alternative (b) above can be completed by providing funds to The Nature Conservancy (TNC) pursuant to the Voluntary Fee-Based Compensatory Mitigation Program (Program). The Program was established in agreement between the CDFW and TNC to preserve San Joaquin kit fox habitat, and to provide a voluntary mitigation alternative to project proponents who must mitigate the impacts of projects in accordance with the California Environmental Quality Act (CEQA). The fee, payable to “The Nature Conservancy,” would total: \$20,850 (8.34 multiplied by \$2,500).

This fee is calculated based on the current cost-per-unit of \$2500 per acre of mitigation, which is scheduled to be adjusted to address the increasing cost of property in San Luis Obispo County; your actual cost may increase depending on the timing of payment. This fee must be paid after the CDFW provides written notification about your mitigation options but prior to City permit issuance and initiation of any ground disturbing activities.

- c. Purchase credits in a CDFW-approved conservation bank, which would provide for the protection in perpetuity of suitable habitat within the kit fox corridor area and provide for a non-wasting endowment for management and monitoring of the property in perpetuity. Mitigation alternative (c) above can be completed by purchasing credits from the Palo Prieto Conservation Bank (see contact information below). The Palo Prieto Conservation Bank was established to preserve San Joaquin kit fox habitat, and to provide a voluntary mitigation alternative to project proponents who must mitigate the impacts of projects in accordance with the California Environmental Quality Act (CEQA). The cost for purchasing credits is payable to the owners of The Palo Prieto Conservation Bank, and would total: \$20,850 (8.34 multiplied by \$2,500).

This fee is calculated based on the current cost-per-credit of \$2,500 per acre of mitigation. The fee is established by the conservation bank owner and may change at any time. Your actual cost may increase depending on the timing of payment. Purchase of credits must be completed prior to City permit issuance and initiation of any ground disturbing activities.

BR-2. In accordance with the County Guide to SJKF Mitigation Procedures Under CEQA, the project owner shall adopt the Standard Kit Fox CEQA Mitigation Measures and shall be included on development plans. The following summarizes those that are applicable to this project:

- A maximum 25 mph speed limit shall be required at the project site during construction activities.
- All construction activities shall cease at dusk and not start before dawn.
- A qualified biologist shall be on-site immediately prior to initiation of project activities to inspect for any large burrows(e.g, known and potential dens) and to ensure no wildlife are injured during project activities. If dens are encountered, they should be avoided as discussed below.
- Exclusion zone boundaries shall be established around all known and potential kit fox dens.
- All excavations deeper than 2 feet shall be completely covered at the end of each working day.
- All pipes, culverts, or similar structures shall be inspected for SJKF and other wildlife before burying, capping, or moving.
- All exposed openings of pipes, culverts, or similar structures shall be capped or temporarily sealed prior to the end of each working day.
- All food-related trash shall be removed from the site at the end of each work day.
- Project-related equipment shall be prohibited outside of designated work areas and access routes.

- No firearms shall be allowed in the project area.
- Disturbance to burrows shall be avoided to the greatest extent feasible.
- No rodenticides or herbicides should be applied in the project area.
- Permanent fences shall allow for SJKF passage through or underneath (i.e., an approximate 4-inch passage gap shall remain at ground level).

BR-3. Prior to issuance of grading and/or construction permit and within 30 days prior to initiation of site disturbance and/or construction, all personnel associated with the project shall attend a worker education training program, conducted by a qualified biologist, to avoid or reduce impacts on sensitive biological resources (i.e. San Joaquin kit fox). At a minimum, as the program relates to the kit fox, the training shall include the kit fox's life history, all mitigation measures specified by the City, as well as any related biological report(s) prepared for the project. The applicant shall notify the City shortly prior to this meeting. A kit fox fact sheet shall also be developed prior to the training program, and distributed at the training program to all contractors, employers and other personnel involved with the construction of the project.

BR-4. During the site-disturbance and/or construction phase, any contractor or employee that inadvertently kills or injures a San Joaquin kit fox or who finds any such animal either dead, injured, or entrapped shall be required to report the incident immediately to the applicant and City. In the event that any observations are made of injured or dead kit fox, the applicant shall immediately notify the USFWS and CDFW by telephone. In addition, formal notification shall be provided in writing within three working days of the finding of any such animal(s). Notification shall include the date, time, location and circumstances of the incident. Any threatened or endangered species found dead or injured shall be turned over immediately to CDFW for care, analysis, or disposition.

BR-5. Impacts to oak trees shall be assessed by a licensed Arborist on the City's Certified Arborist List. Prior to issuance of a grading and/or construction permit, the Arborist Report shall be updated reflecting tree protection measures for Trees #2, 3, and 4 in accordance with the City of Paso Robles Oak Tree Preservation Ordinance. Tree protection measures during construction as well as post-construction shall be included in the report. All oak tree protection measures outlined in the updated Arborist Report shall be complied with to the satisfaction of the Project Arborist. An acknowledgement from the Arborist will be required prior to the issuance of a permit.

BR-6. Prior to issuance of a grading and/or construction permit, the project owner shall obtain an Oak Tree Removal Permit from the Community Development Department for the removal of Tree #1.

Exhibit B

CITY OF EL PASO DE ROBLES STANDARD DEVELOPMENT CONDITIONS

Planned Development _____ Conditional Use Permit _____

Tentative Parcel Map _____ Tentative Tract Map _____

Approval Body: PC

Date of Approval: August 22, 2017

Applicant: Leo Tidwell III

Location: Dallons Dr. west of Golden Hill Rd.

APN: 025-423-003

The following conditions that have been checked are standard conditions of approval for the above referenced project. The checked conditions shall be complied with in their entirety before the project can be finalized, unless otherwise specifically indicated. In addition, there may be site specific conditions of approval that apply to this project in the resolution.

COMMUNITY DEVELOPMENT DEPARTMENT - The applicant shall contact the Community Development Department, (805) 237-3970, for compliance with the following conditions:

A. GENERAL CONDITIONS – PD/CUP:

- 1. This project approval shall expire on August 23, 2019 unless a time extension request is filed with the Community Development Department, or a State mandated automatic time extension is applied prior to expiration.
- 2. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Planned Development process shall not waive compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
- 3. To the extent allowable by law, Owner agrees to hold City harmless from costs and expenses, including attorney's fees, incurred by City or held to be the liability of City in connection with City's defense of its actions in any proceeding brought in any State or Federal court challenging the City's actions with respect to the project. Owner understands and acknowledges that City is under no obligation to defend any legal actions challenging the City's actions with respect to the project.

(Adopted by Planning Commission Resolution _____)

- 4. Any site specific condition imposed by the Planning Commission in approving this project (**Planned Development**) may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the approval of this project. No such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use for this approval.
- 5. The site shall be kept in a neat manner at all times and the landscaping shall be continuously maintained in a healthy and thriving condition.
- 6. All signs shall be subject to review and approval as required by Municipal Code Section 21.19 and shall require a separate application and approval prior to installation of any sign.
- 7. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 8. Prior to the issuance of a Building Permit a landscape and irrigation plan consistent with the Landscape and Irrigation Ordinance, shall be submitted for City review and approval. The plan needs to be designed in a manner that utilizes drought tolerant plants, trees and ground covers and minimizes, if not eliminates the use of **turf**. The irrigation plan shall utilize drip irrigation and limit the use of spray **irrigation**. All existing and/or new landscaping shall be installed with automatic irrigation systems.
- 9. A reciprocal parking and access easement and agreement for site access, parking, and maintenance of all project entrances, parking areas, landscaping, hardscape, common open space, areas and site lighting standards and fixtures, shall be recorded prior to or in conjunction with the Final Map. Said easement and agreement shall apply to all properties, and be referenced in the site Covenants, Conditions and Restrictions (CC&Rs).
- 10. All outdoor storage shall be screened from public view by landscaping and walls or fences per Section 21.21.110 of the Municipal Code.
- 11. For commercial, industrial, office or multi-family projects, all refuse enclosures are required to provide adequate space for recycling bins. The enclosure shall be architecturally compatible with the primary building. Gates shall be view obscuring and constructed of durable materials. Check with Paso Robles Waste Disposal to determine the adequate size of enclosure based on the number and

(Adopted by Planning Commission Resolution _____)

size of containers to be stored in the enclosure.

- 12. For commercial, industrial, office or multi-family projects, all existing and/or new ground-mounted appurtenances such as air-conditioning condensers, electrical transformers, backflow devices etc., shall be screened from public view through the use of decorative walls and/or landscaping subject to approval by the Community Development Director or his designee. Details shall be included in the building plans.
- 13. All existing and/or new roof appurtenances such as air-conditioning units, grease hoods, etc. shall be screened from public view. The screening shall be architecturally integrated with the building design and constructed of compatible materials to the satisfaction of the Community Development Director or his designee. Details shall be included in the building plans.
- 14. All existing and/or new lighting shall be shielded so as to be directed downward in such a manner as to not create off-site glare or adversely impact adjacent properties. The style, location and height of the lighting fixtures shall be submitted with the building plans and shall be subject to approval by the Community Development Director or his designee.
- 15. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 16. It is the property owner's responsibility to insure that all construction of private property improvements occur on private property. It is the owner's responsibility to identify the property lines and insure compliance by the owner's agents.
- 17. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No.835 N.S., Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to removal.
- 18. No storage of trash cans or recycling bins shall be permitted within the public right-of-way.
- 19. Prior to recordation of the map or prior to occupancy of a project, all conditions of approval shall be completed to the satisfaction of the City Engineer and Community Developer Director or his designee.
- 20. Two sets of the revised Planning Commission approved plans incorporating all

(Adopted by Planning Commission Resolution _____)

Conditions of Approval, standard and site specific, shall be submitted to the Community Development Department prior to the issuance of building permits.

- 21. Prior to the issuance of building permits, the
 - Development Review Committee shall approve the following:
 - Planning Division Staff shall approve the following:
 - a. A detailed site plan indicating the location of all structures, parking layout, outdoor storage areas, walls, fences, light fixtures and trash enclosures;
 - b. A detailed landscape plan;
 - c. Detailed building elevations of all structures indicating materials, colors, and architectural treatments;
 - d. Other:

B. GENERAL CONDITIONS – TRACT/PARCEL MAP:

- 1. In accordance with Government Section 66474.9, the subdivider shall defend, indemnify and hold harmless the City, or its agent, officers and employees, from any claim, action or proceeding brought within the time period provided for in Government Code section 66499.37, against the City, or its agents, officers, or employees, to attack, set aside, void, annul the City's approval of this subdivision. The City will promptly notify subdivider of any such claim or action and will cooperate fully in the defense thereof.
- 2. The Covenants, Conditions, and Restrictions (CC&Rs) and/or Articles Affecting Real Property Interests are subject to the review and approval of the Community Development Department, the Public Works Department and/or the City Attorney. They shall be recorded concurrently with the Final Map or prior to the issuance of building permits, whichever occurs first. A recorded copy shall be provided to the affected City Departments.
- 3. The owner shall petition to annex residential Tract (or Parcel Map)_____ into the City of Paso Robles Community Facilities District No. 2005-1 for the purposes of mitigation of impacts on the City's Police and Emergency Services Departments.
- 4. Street names shall be submitted for review and approval by the Planning Commission, prior to approval of the final map.
- 5. The following areas shall be permanently maintained by the property owner, Homeowners' Association, or other means acceptable to the City:

_____.

(Adopted by Planning Commission Resolution _____)

ENGINEERING DIVISION- The applicant shall contact the Engineering Division, (805) 237-3860, for compliance with the following conditions:

All conditions marked are applicable to the above referenced project for the phase indicated.

C. PRIOR TO ANY PLAN CHECK:

- 1. The applicant shall enter into an Engineering Plan Check and Inspection Services Agreement with the City.

D. PRIOR TO ISSUANCE OF A GRADING PERMIT:

- 1. Prior to approval of a grading plan, the developer shall apply through the City, to FEMA and receive a Letter of Map Amendment (LOMA) issued from FEMA. The developer's engineer shall provide the required supporting data to justify the application.
- 2. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No. 553, Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to its removal.
- 3. A complete grading and drainage plan shall be prepared for the project by a registered civil engineer and subject to approval by the City Engineer. The project shall conform to the City's Storm Water Discharge Ordinance.
- 4. A Preliminary Soils and/or Geology Report providing technical specifications for grading of the site shall be prepared by a Geotechnical Engineer.
- 5. A Storm Water Pollution Prevention Plan per the State General Permit for Storm Water Discharges Associated with Construction Activity shall be provided for any site that disturbs greater than or equal to one acre, including projects that are less than one acre that are part of a larger plan of development or sale that would disturb more than one acre.

E. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

- 1. All off-site public improvement plans shall be prepared by a registered civil engineer and shall be submitted to the City Engineer for review and approval. The improvements shall be designed and placed to the Public Works Department Standards and Specifications.

(Adopted by Planning Commission Resolution _____)

- 2. The applicant shall submit a composite utility plan signed as approved by a representative of each public utility.
- 3. Landscape and irrigation plans for the public right-of-way shall be incorporated into the improvement plans and shall require approval by the Streets Division Supervisor and the Community Development Department.
- 4. In a special Flood Hazard Area as indicated on a Flood Insurance Rate Map (FIRM) the owner shall provide an Elevation Certificate in accordance with the National Flood Insurance program. This form must be completed by a land surveyor or civil engineer licensed in the State of California.

F. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY OR RECORDATION OF THE FINAL MAP:

The Planning Commission has made a finding that the fulfillment of the construction requirements listed below are a necessary prerequisite to the orderly development of the surrounding area.

- 1. The applicant shall pay any current and outstanding fees for Engineering Plan Checking and Construction Inspection services.
- 2. All public improvements are completed and approved by the City Engineer, and accepted by the City Council for maintenance.
- 3. The owner shall offer to dedicate and improve the following street(s) to the standard indicated:

Street Name	City Standard	Standard Drawing No.

- 4. If, at the time of approval of the final map, any required public improvements have not been completed and accepted by the City the owner shall be required to enter into a Subdivision Agreement with the City in accordance with the Subdivision Map Act.

Bonds required and the amount shall be as follows:
 Performance Bond.....100% of improvement costs.
 Labor and Materials Bond.....50% of performance bond.

- 5. If the existing City street adjacent to the frontage of the project is inadequate for the traffic generated by the project, or will be severely damaged by the construction, the applicant shall excavate the entire structural section and replace it with a standard half-width street plus a 12' wide travel lane and 8' wide graded shoulder adequate to provide for two-way traffic.

(Adopted by Planning Commission Resolution _____)

6. If the existing pavement and structural section of the City street adjacent to the frontage of the project is adequate, the applicant shall provide a new structural section from the proposed curb to the edge of pavement and shall overlay the existing paving to centerline for a smooth transition.
7. Due to the number of utility trenches required for this project, the City Council adopted Pavement Management Program requires a pavement overlay on _____ along the frontage of the project.
8. The applicant shall install all utilities. Street lights shall be installed at locations as required by the City Engineer. All existing overhead utilities adjacent to or within the project shall be relocated underground except for electrical lines 77 kilovolts or greater. All utilities shall be extended to the boundaries of the project.
9. The owner shall offer to dedicate to the City the following easement(s). The location and alignment of the easement(s) shall be to the description and satisfaction of the City Engineer:
- a. Public Utilities Easement;
 - b. Water Line Easement;
 - c. Sewer Facilities Easement;
 - d. Landscape Easement;
 - e. Storm Drain Easement.
10. The developer shall annex to the City's Landscape and Lighting District for payment of the operating and maintenance costs of the following:
- a. Street lights;
 - b. Parkway/open space landscaping;
 - c. Wall maintenance in conjunction with landscaping;
 - d. Graffiti abatement;
 - e. Maintenance of open space areas.
11. For a building with a Special Flood Hazard Area as indicated on a Flood Insurance Rate Map (FIRM), the developer shall provide an Elevation Certificate in accordance with the National Flood Insurance Program. This form must be completed by a lands surveyor or civil engineer licensed in the State of California.
12. All final property corners shall be installed.
13. All areas of the project shall be protected against erosion by hydro seeding or landscaping.
14. All construction refuse shall be separated (i.e. concrete, asphalt concrete, wood gypsum board, etc.) and removed from the project in accordance with the City's Source Reduction and Recycling Element.

(Adopted by Planning Commission Resolution _____)

- 15. Clear blackline mylars and paper prints of record drawings, signed by the engineer of record, shall be provided to the City Engineer prior to the final inspection. An electronic autocad drawing file registered to the California State Plane – Zone 5 / NAD83 projected coordinate system, units in survey feet, shall be provided.

PASO ROBLES DEPARTMENT OF EMERGENCY SERVICES- The applicant shall contact the Department of Emergency Services, (805) 227-7560, for compliance with the following conditions:

G. GENERAL CONDITIONS

- 1. Prior to the start of construction:
 - Plans shall be reviewed, approved and permits issued by Emergency Services for underground fire lines.
 - Applicant shall provide documentation to Emergency Services that required fire flows can be provided to meet project demands.
 - Fire hydrants shall be installed and operative to current, adopted edition of the California Fire Code.
 - A based access road sufficient to support the department's fire apparatus (HS-20 truck loading) shall be constructed and maintained for the duration of the construction phase of the project.
 - Access road shall be at least twenty (20) feet in width with at least thirteen (13) feet, six (6) inches of vertical clearance.

- 2. Provide central station monitored fire sprinkler system for all residential, commercial and industrial buildings that require fire sprinklers in current, adopted edition of the California Building Code, California Fire Code and Paso Robles Municipal Code.
 - Plans shall be reviewed, approved and permits issued by Emergency Services for the installation of fire sprinkler systems.

- 3. Provide central station monitored fire alarm system for all residential, commercial and industrial buildings that require fire alarm system in current, adopted edition of the California Building Code, California Fire Code and Paso Robles Municipal Code.

- 4. If required by the Fire Chief, provide on the address side of the building if applicable:
 - Fire alarm annunciator panel in weatherproof case.
 - Knox box key entry box or system.
 - Fire department connection to fire sprinkler system.

(Adopted by Planning Commission Resolution _____)

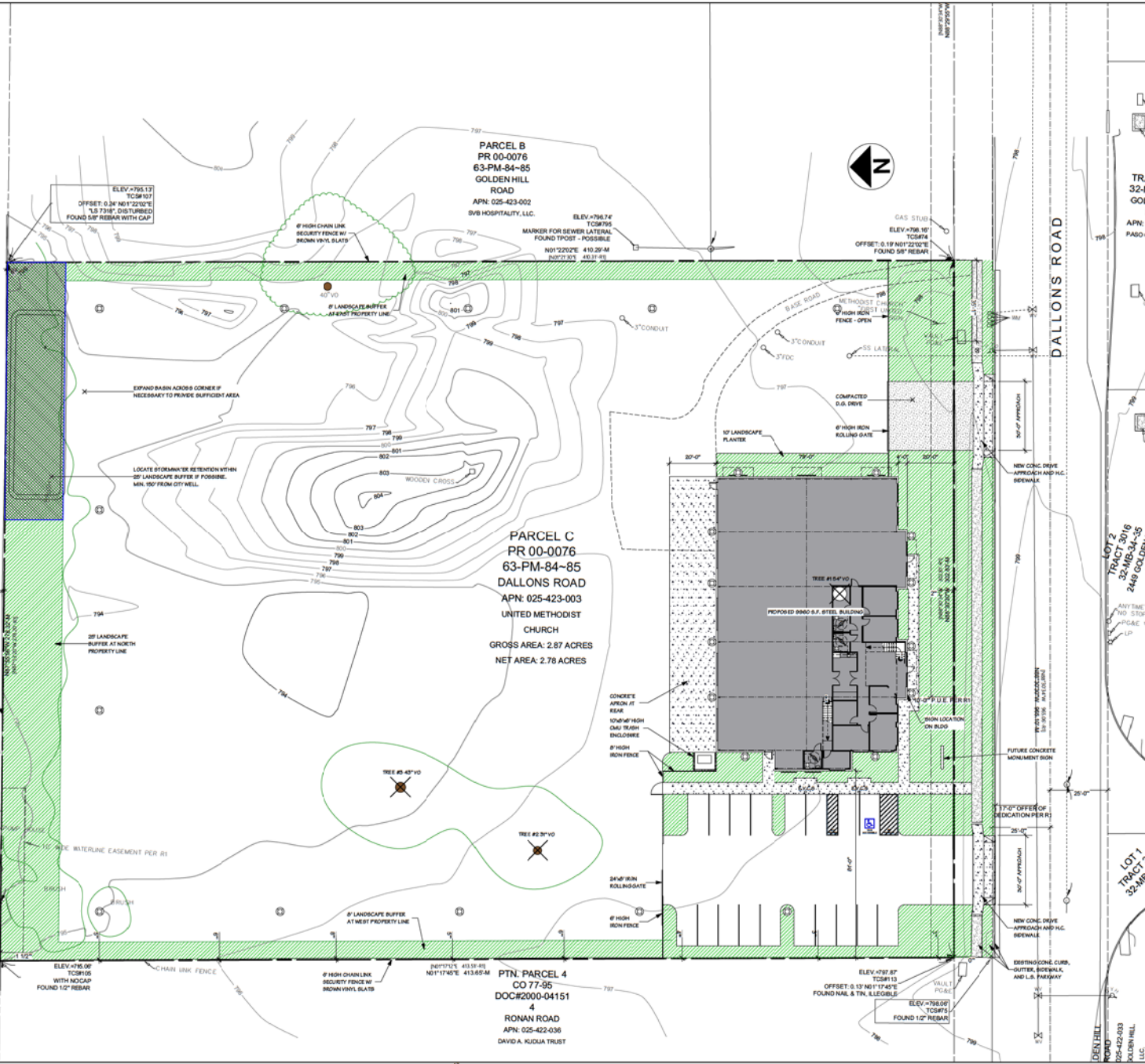
5. Provide temporary turn-around to current City Engineering Standard for phased construction streets that exceed 150 feet in length.
6. Project shall comply with all requirements in current, adopted edition of California Fire Code and Paso Robles Municipal Code.
7. Prior to the issuance of Certificate of Occupancy:
 - Final inspections shall be completed on all underground fire lines, fire sprinkler systems, fire alarm systems and chemical hood fire suppression systems.
 - Final inspections shall be completed on all buildings.

(Adopted by Planning Commission Resolution _____)

SITE AND PROJECT DATA

ASSESSORS PARCEL NUMBER : 025 - 423 - 003
 LEGAL DESCRIPTION - PARCEL C PR 00-0076 63 PM 84-85
 PARCEL SIZE : 2.87 ACRES (GROSS) / 2.78 ACRES (NET)
 PROPOSED BUILDING FOOTPRINT : 9960 S.F.
 PROPOSED BUILDING AREA BREAKDOWN :
 MAIN FLOOR OFFICE AREA : 2088 S.F.
 UPPER FLOOR AREA (FUTURE OFFICES) : 2088 S.F.
 LIGHT MAINTENANCE SHOP AREA : 3976 S.F.
 MAIN FLOOR STORAGE AREA : 3896 S.F.
 BUILDING OCCUPANCY GROUP : (MIXED) GROUP 'B' / 'S-1'
 BUILDING CONSTRUCTION TYPE : TYPE 'V-B'
 BUILDING HEIGHT : 25'-0"
 CLIMATE ZONE : ZONE '4'
 FIRE SEVERITY ZONE : 'HIGH'
 PROPOSED HOURS OF OPERATION FOR THIS FACILITY : 6 A.M. / 5 P.M. (MON / SAT)
 NUMBER OF EMPLOYEES : THERE ARE NO SHIFTS. EXCEPT FOR A FULL TIME OFFICE STAFF OF 4 EMPLOYEES AND 1 MECHANIC. ALL OTHER LITEC EMPLOYEES WORK OUT OF THE LOCAL AREA OR COUNTY FOR THE ENTIRE WEEK, RETURNING ON THURSDAY OR FRIDAY P.M.
 OUTDOOR STORAGE YARD FOR : COMMERCIAL TRUCKS AND TRAILERS, BACKHOES, EXCAVATORS, PIPE ROLLS, PIPE STICKS, UNDERGROUND UTILITY MATERIALS, MOST VEHICLES AND EQUIPMENT GO OUT TO THE JOBSITE MONDAY MORNING AND RETURN ON THURSDAY OR FRIDAY EVENINGS. ON SOME OCCASIONS, INDIVIDUAL PIECES OF CONSTRUCTION EQUIPMENT WILL BE ROTATED OUT OF THE VARIOUS JOBSITES.

INDICATES LOCATION OF WALL PACK OR POLE MOUNTED (ALL 12'-0" HIGH) FULL CUT-OFF L.E.D. LIGHT FIXTURES (LITHONIA OLW-31 AT PARKING LOT LIGHTS / OLW-23 WALL PACKS)



ROBERT FISHER
 ARCHITECT
 8725 San Rafael Road
 Menlo Park, CA 94025
 650-461-4804
 rfisher@robertfisher.com

LOT 3
 TRACT 30
 32-MB-34
 GOLDEN HILL
 ROAD
 APN: 025-422-4
 PASO GOLDEN HILL, LLC.



Shade Tree
 Home
 Design
 & Drafting

Joe Duhan
 458-6713 - phone
 461-6713 - fax
 joe@shadetree.com

PREPARED FOR:
 LOT 3
 TRACT 30
 32-MB-34-35
 2449 GOLDEN HILL
 ROAD
 APN: 025-422-423
 PASO GOLDEN HILL, LLC.

A NEW COMMERCIAL SERVICE BUILDING FOR
 LEO TIDWELLE EXCAVATING CORP.
 DALLONS ROAD
 PASO ROBLES, CA 93446
 APN 1025-423-003

DATE: 05/12/17
 REVISION: 06/23/17

PRELIMINARY SITE
 DEVELOPMENT PLAN
 SCALE: 1"=30'-0"
 SHEET

A0

ROBERT FISHER
ARCHITECT & DESIGNER

8725 San Rafael Road
Menlo Park, CA 94028
415-461-4804
Email: robert@robertfisher.com

LOT 3
TRACT 30
32-MB-34-
GOLDEN HILL
ROAD
PASO GOLDEN HILL
LLC
APN: 025-422-4



Shade Tree
Home
Design
& Drafting

Joe Duhan
459-6713 - phone
461-6713 - fax
joed@shadetree.com

PREPARED FOR:

A NEW COMMERCIAL SERVICE BUILDING FOR
LEO TIPWELL EXCAVATING CORP.
PASO ROBLES, CA 93446
APN: 025-423-005

DATE: 05/11/2017
REVISION: 06/23/2017

PRELIMINARY
LANDSCAPE PLAN
SCALE: 1"=30'

SHEET
A0.1

PRELIMINARY LANDSCAPE PLANT LIST

TREES

- 15 GAL. PLATANUS ACERIFOLIA "LONDON PLANE TREE"
- 24" BOX SEQUOIA SEMPERVIRENS "APTOS BLUE REDWOOD"
- 15 GAL. ARBUTUS MENZIESII "STRAWBERRY MADRONE"
- 15 GAL. OLEA SWAN HILL "FRUITLESS OLIVE"
- 15 GAL. SCHNUS WOLLE "CALIFORNIA PEPPER"
- 15 GAL. PISTACHIA CHINENSIS "CHINESE PISTACHE"

SCREENING SHRUBS

- 5 GAL. CEANOTHUS "DARK STAR"
- 5 GAL. HETEROMELES ARBUTIFOLIA OR MACROCARPA "TOYON"
- 5 GAL. BACCHARIS PILULARIS SSP. "CONSANGUINEA"
- 5 GAL. PHOTINIA FRASERI
- 5 GAL. RHAMNUS ACATERNIS "COFFEEBERRY"
- 5 GAL. CISTUS LADANIFER "CRIMSON SPOT ROCKROSE"

MISCELLANEOUS GROUPINGS OF SMALL SHRUBS

- ALL CLUSTERS AND GROUPINGS OF THESE SHRUBS TO BE 1 GALLON
- CISTUS PURPUREUS "ORCHID ROCKROSE"
- LAVANDULA STOECHAS "SPANISH LAVENDER"
- ARCTUSTAPHYLOS DENSIFLORA "EDMUNDSII" LITTLE SUR MANZANITA
- ARCTUSTAPHYLOS DENSIFLORA "HOWARD MANNIN MANZANITA"
- ARCTUSTAPHYLOS DENSIFLORA "SENTINEL MANZANITA"
- PENNISETUM CUPREUM "FOUNTAIN GRASS"
- OLEA EUROPAEA "LITTLE OLLIE / DWARF OLIVE"
- NANDINA DOMESTICA "HEAVENLY BAMBOO"

PARKWAY LANDSCAPE STRIP PLANTING (ALL 1 GALLON)

- NEW PARKWAY PLANTING FOR THIS PARCEL TO MATCH THAT AT EXISTING BUILT-OUT PROPERTY AT CORNER OF GOLDEN HILL RD. AND DALLONS DR. (HANKOMETER BLDG.). LANDSCAPE PLANS PREPARED FOR CONSTRUCTION DOCUMENT PHASE WILL SPECIFY

VINE FOR VERTICAL STEEL ARBOR / TRELLIS

- 5 GAL. CALYSTEgia PURPURATA "PURPLISH MORNING GLORY"



PTN. PARCEL 3
CO 75-314
21-PM-3
GOLDEN HILL
ROAD
APN: 020-011-078
CITY OF PASO ROBLES

PARCEL 1
CO 04-0337
64-PM-91-93
1875 WISTERIA LANE
APN: 020-011-078
PAUL E. & PAULA K.
ROBERTSON

PTN. PARCEL 4
CO 77-95
DOC#2000-04151
4
ROMAN ROAD
APN: 025-422-036
DAVID A. KUDVA TRUST

LOT 1
TRACT 30
32-MB-34-35

LOT 2
TRACT 30
32-MB-34-36
2440 GOLDEN HILL
ROAD
PASO GOLDEN HILL
LLC
APN: 025-423-023

LOT 3
TRACT 30
32-MB-34-37
GOLDEN HILL
ROAD
PASO GOLDEN HILL
LLC
APN: 025-422-4

ROBERT FISHER
ARCHITECT & ENGINEER

8725 San Rafael Road
Menlo Park, CA 94025
805-463-4804
Email: rfisher@rfisher.com

THESE DRAWINGS AND SERVICES ARE THE PROPERTY OF ROBERT FISHER. ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF ROBERT FISHER.

CONSULTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ROBERT FISHER IMMEDIATELY UPON DISCOVERY OF SUCH DISCREPANCIES.



Shade Tree Home Design & Drafting



Joe Duhon
459-6713 - phone
461-6713 - fax
joed@duhon.com

PREPARED FOR:

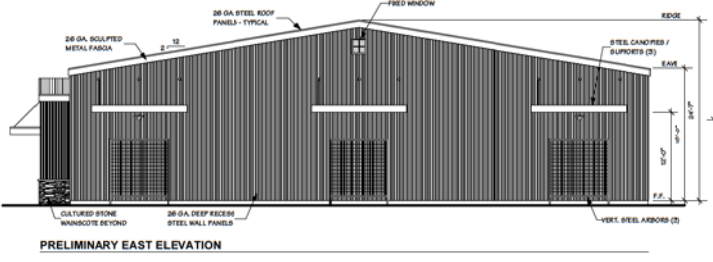
A NEW COMMERCIAL SERVICE BUILDING FOR
LEO TIDWELL EXCAVATING CORP.
DALLONS ROAD
PASO ROBLES, CA 93446
APN 1025-423-003

DATE: 05/11/2017

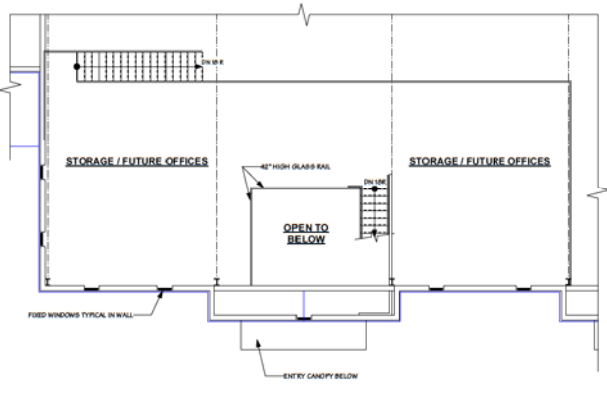
REVISION: 06/23/2017

PRELIMINARY FLOOR PLANS AND ELEVATIONS
SCALE: 1/4" = 1'-0"

A1



PRELIMINARY EAST ELEVATION

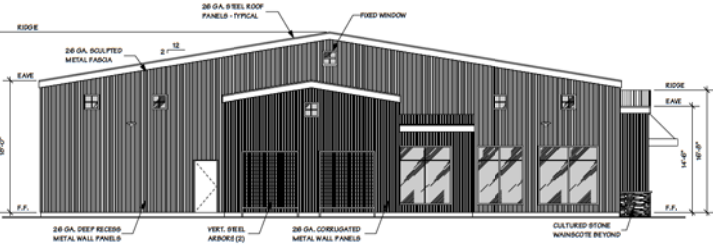


PRELIMINARY WEST ELEVATION AT PARKING LOT

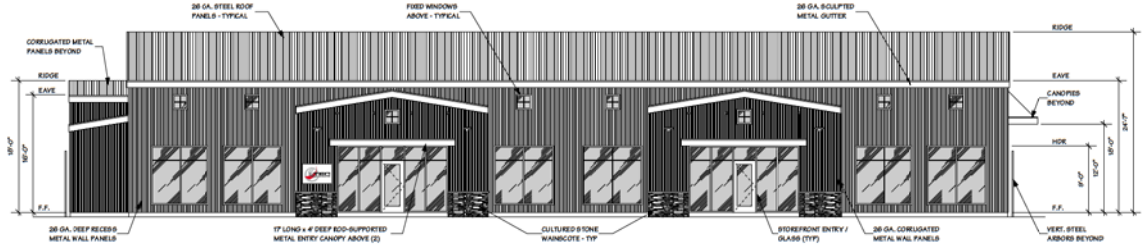


PRELIMINARY MAIN LEVEL FLOOR PLAN

9660 S.F. BUILDING SHEET / APPROX. 2300 S.F. T.I.S.



PRELIMINARY WEST ELEVATION AT PARKING LOT



PRELIMINARY SOUTH ELEVATION AT DALLONS DR

Exhibit F

ROBERT FISHER
AN ARCHITECTURAL CORPORATION



8775 San Rafael Road
Atascadero, CA 93422
805.461.4804
Email:rsfarch@yahoo.com



PRELIMINARY SOUTH ELEVATION AT DALLONS DR

COLOR SCHEME

BODY : OLD TOWN GREY (W25) POP-OUTS : REGAL BLUE (W71) ROOF : OLD ZINC GREY (W74)
EXPOSED METAL : ANODIZED BRONZE FINISH / PAINT WAINSCOTE : CULTURED LEDGESTONE



PRELIMINARY EAST ELEVATION



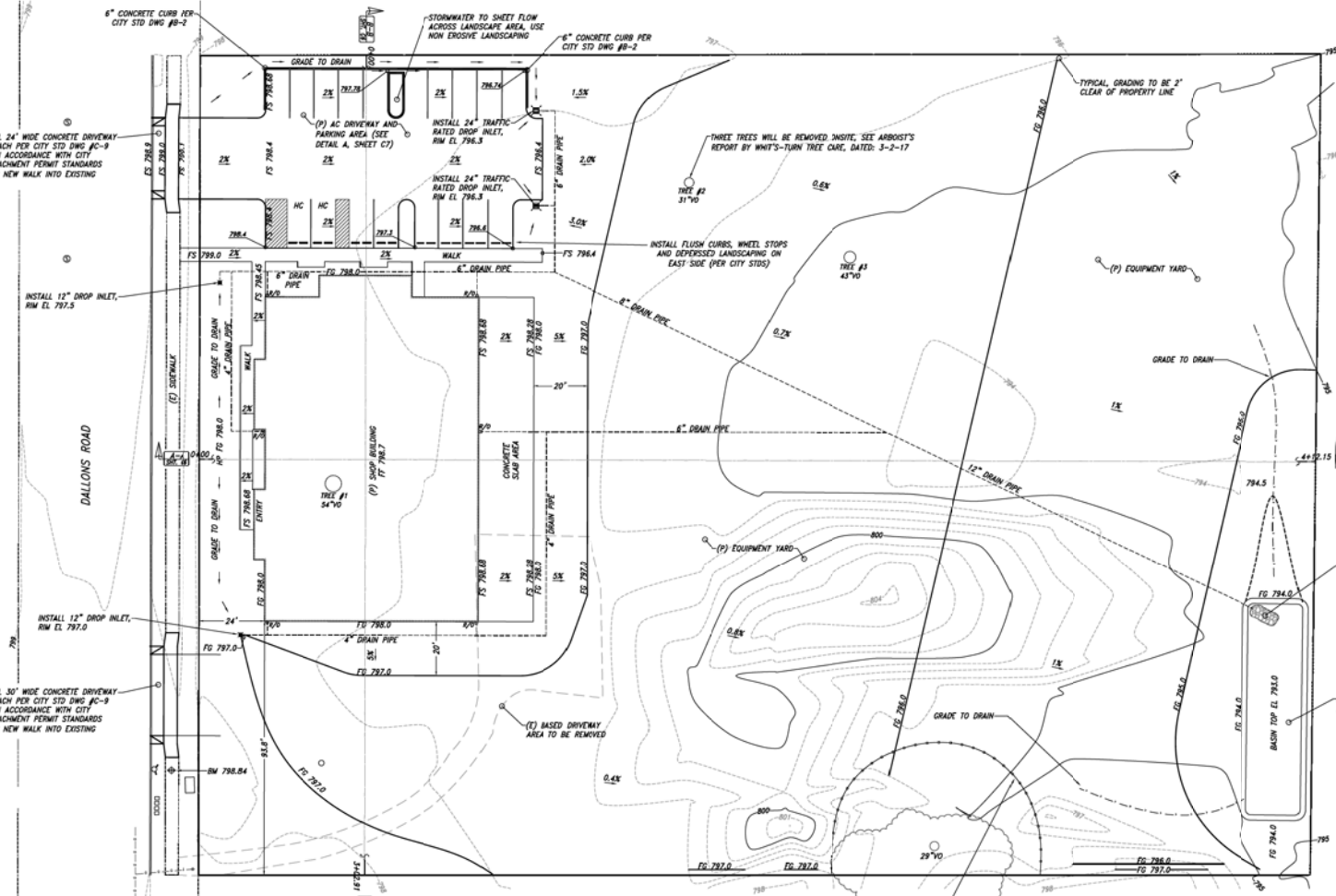
PRELIMINARY WEST ELEVATION AT PARKING LOT

RECEIVED

JUN 30 2017

City of Paso Robles
Community Development Dept.

GRADING AND DRAINAGE PLAN:



BUILDING PAD GRADING REQUIREMENTS:
 1. PRIOR TO ANY BUILDING PAD CONSTRUCTION, THE CONTRACTOR SHALL REVIEW THE ENTIRE CURRENT SOILS REPORT. THE SOILS ENGINEER MUST FIELD VERIFY AND CERTIFY THAT THE BUILDING CONSTRUCTION AREA AND IF APPLICABLE, THAT ANY STRUCTURAL FILL SLOPES ARE IN COMPLETE COMPLIANCE WITH THE SPECIAL INSPECTIONS AND REPORTS TABLE SHOWN ON SHEET C1.

GRADING AND DRAINAGE REQUIREMENTS:
 1. ALL SURFACE DRAINAGE SHALL SLOPE A MINIMUM OF 1/8" PER AT LEAST 10 FEET AWAY FROM THE BUILDING FOUNDATION AND AT LEAST 30" BEYOND THAT UNLESS OTHERWISE INDICATED ON THIS PLAN. ALL SURFACE DRAINAGE SHALL ALSO FOLLOW THE APPROXIMATE PATHWAYS SHOWN ON THIS PLAN.
 2. ALL DRAINAGE STRUCTURES (I.E. ROOF RUNOFF, DROP INLETS, SLOT DRAINAGE, ETC) SHALL BE PRIMED, PIPED AND BACKFILLED AT DESIGNATED AREAS AS SHOWN ON THIS PLAN. THE BUILDING CONTRACTOR IS RESPONSIBLE TO ENSURE ALL DRAINAGE STRUCTURES ARE PROPERLY MAINTAINED TO ENSURE POSITIVE DRAINAGE FLOW THROUGHOUT CONSTRUCTION.

CUT AND FILL ESTIMATES:
 ALL CUT AND FILL ESTIMATES ARE CALCULATED AT PROFILE CENTERLINE. CONTRACTOR'S RESPONSIBILITY TO BID ACCORDINGLY.

DRAINAGE STRUCTURES:
 DROP INLET AND DRAIN PIPE SIZING:
 DROP INLET AREAS:
 * FOR EVERY 1,000 SF OF DRAINAGE AREA A MINIMUM OF 1 SF OF DROP INLET SURFACE AREA IS NEEDED, UNLESS NOTED OTHERWISE
 ROOF AREAS:
 * LESS THAN 1,000 SF OF ROOF AREA THEN USE 4" PVC DRAIN PIPE
 * GREATER THAN 1,000 SF OF ROOF AREA THEN USE 6" PVC DRAIN PIPE
 LANDSCAPE AREAS:
 * LESS THAN 2,000 SF OF LANDSCAPE AREA THEN USE 4" PVC DRAIN PIPE
 * GREATER THAN 2,000 SF OF LANDSCAPE AREA THEN USE 6" PVC DRAIN PIPE

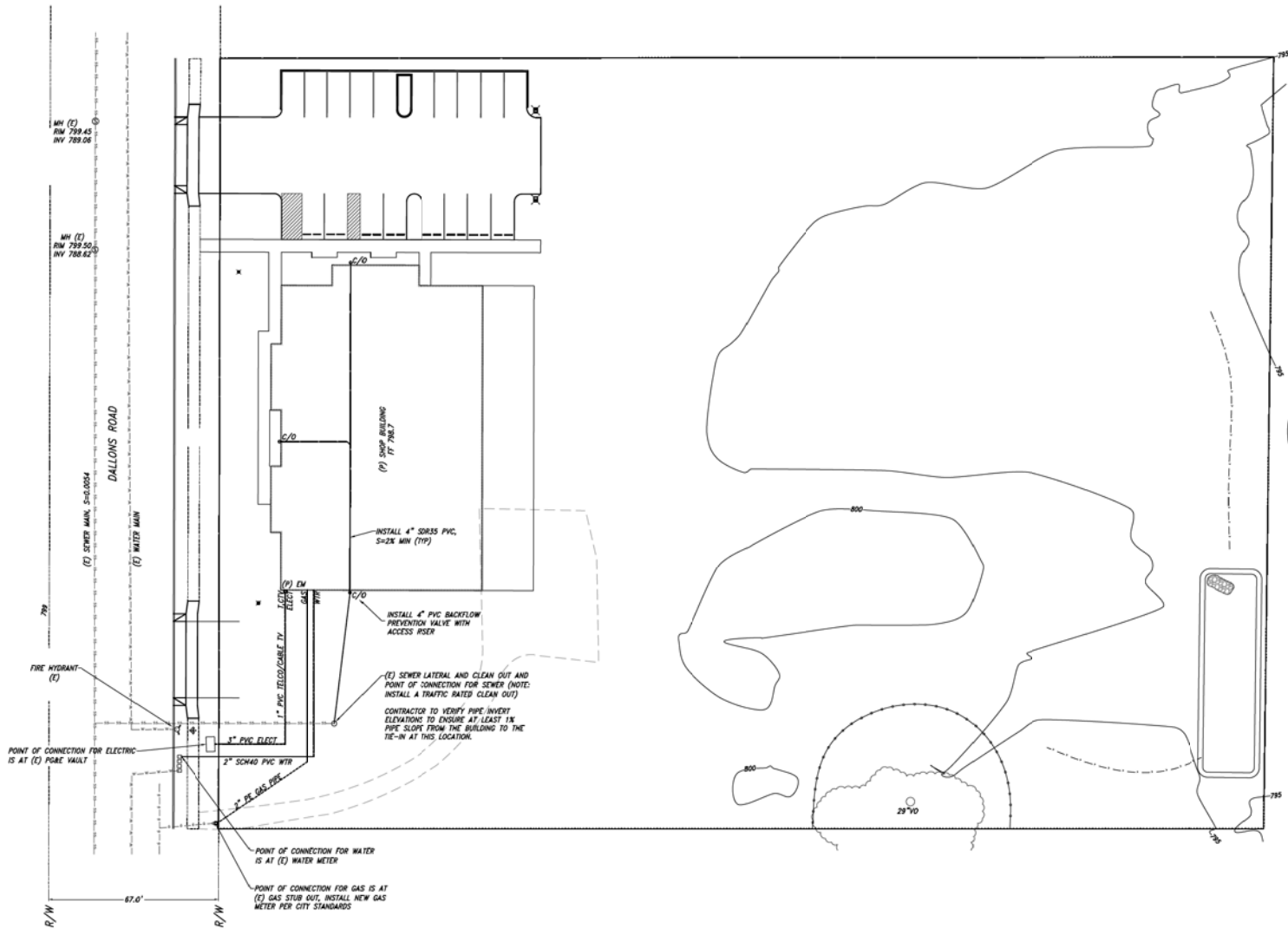
PARKING, PLATWORK AND ACCESS:
 1. ALL PARKING, PLATWORK AND ACCESS MUST CONFORM TO CURRENT CA BUILDING CODE ADA REQUIREMENTS AND APPLICABLE CITY CODES.
 2. DRIVEWAY APPROACHES MUST CONFORM TO CITY STD DWG #C-9 AND MUST BE INSTALLED UNDER AN APPROVED ENCROACHMENT PERMIT ISSUED BY THE CITY ENGINEERING DEPARTMENT.
 3. PARKING LAYOUT MUST CONFORM TO CITY STANDARDS INCLUDING THE TWO ADA PARKING SPACES. 5'-0" SLOPE IN THE ADA PARKING SPACES MAY NOT EXCEED 2% IN ALL DIRECTIONS.
 4. WHERE FLUSH CURBS OR WHERE THE PAVEMENT ABUTS THE SIDEWALK, WHEEL STOPS ARE TO BE INSTALLED TO CITY STANDARDS.
 5. STRIPPING IS REQUIRED IN ALL ADA ACCESS AREA IN CONFORMANCE TO CA BUILDING CODE STANDARDS.



INSTALL 4' HIGH ORANGE SAFETY FENCE DURING CONSTRUCTION ACTIVITIES (1.5 x DIAMETER = 41") (SEE TREE PROTECTION DETAILS AND NOTES ON THESE PLANS AND RECOMMENDATIONS IN ARBORIST REPORTS). ANY GRADING WITHIN THE TREE PROTECTION ZONE TO BE COORDINATED WITH THE PROJECT ARBORIST

REVISIONS 1 2 3		PREPARED BY: J. G. JORDAN DATE: 12-17-17 CHECKED BY: J. G. JORDAN DATE: 12-17-17	SHEET NO. 001 OF 001	PROJECT DESCRIPTION: LEO TOWELL JR. DALLONS ROAD, PASO ROBLES, CA PARCEL C, EAPMBA, APRN: 025-023-001, 2.87 ACRES SHEET DESCRIPTION: GRADING AND DRAINAGE PLAN PLAN #1
APPROVED BY: J. G. JORDAN DATE: 12-17-17		SEAL OF THE STATE OF CALIFORNIA CIVIL ENGINEER No. 53848 Exp. 5/31/18	PROJECT LOCATION: LEO TOWELL JR. DALLONS ROAD, PASO ROBLES, CA PARCEL C, EAPMBA, APRN: 025-023-001, 2.87 ACRES	DATE: 5-15-17
CONTRACTOR: CHA ENGINEERING		CITY PERMITS: DATE: 12-17-17	CITY PERMITS: DATE: 12-17-17	SHEET NO.: 001 OF 001

OVERALL UTILITY PLAN:



- UTILITY NOTES:**
1. ALL ONSITE UTILITIES WILL BE UNDERGROUND TO PROPOSED FACILITY AND SHALL CONFORM TO THE ARCHITECTURAL PLANS, THE MECHANICAL/ELECTRICAL PLANS, THE MANUFACTURERS SPECIFICATIONS (ALL SUCH PLANS AND SPECIFICATIONS ARE BY OWNER). NO ABOVE GROUND UTILITIES ARE PROPOSED FOR THIS PROJECT. (SEE UTILITY TRENCH DETAIL C, SHEET C7).
 2. ALL ONSITE WATER WILL BE SUPPLIED BY PASO ROBLES MUTUAL WATER COMPANY.
 3. ALL SEWER LATERALS AND CLEAN OUTS ARE TO BE INSTALLED AS SHOWN.
 4. ALL ELECTRICAL, TELCO AND GAS CONNECTIONS, DISTRIBUTION, SIZING AND LOCATIONS FOR THIS PROJECT IS TO BE DETERMINED IN THE FIELD BASED ON THE CURRENT UTILITY DEMANDS. ALL ELECTRICAL, TELCO AND GAS LOCATIONS SHOWN ARE FOR INFORMATION ONLY AND SHOULD NOT BE CONSIDERED FINAL DESIGN. UTILITY PURPOSES MAY NEED TO ALTER THIS PROPOSED UTILITY PLAN BASED UPON FUTURE DESIGN MODIFICATIONS, UTILITY DEMANDS OR IN FIELD CONSTRUCTION CHANGES.
 5. PRIOR TO FINAL PROJECT APPROVAL IT WILL BE THE OWNERS RESPONSIBILITY TO VERIFY FINAL UTILITY ALIGNMENTS AND ENSURE THAT ADEQUATE EASEMENTS FOR SUCH FACILITIES ARE APPROVED. ALL PROPOSED UTILITIES SHOWN ON THIS PLAN SHALL BE APPROVED AND ACTUALIZED PRIOR TO OCCUPANCY. ANY RELOCATIONS OR REVISIONS TO ANY UTILITY SHOWN HEREIN WILL NEED PRIOR APPROVAL OF THE CITY AND/OR THE CURRENT UTILITY PURVEYOR.
 6. AN EFFORT HAS BEEN MADE TO LOCATE ALL EXISTING UNDERGROUND UTILITIES AND RELATED FACILITIES WITHIN THE JOB SITE. CONTRACTOR SHALL PROTECT AND ASSUME SOLE AND COMPLETE RESPONSIBILITY WHILE TRENCHING IN THE AREA TO PLACE PROPOSED UNDERGROUND UTILITIES AND RELATED FACILITIES. CONTACT UNDERGROUND SERVICE ALERT (U.S.A.) AT (800) 227-8800 TWO WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
 7. UTILITY PIPE AND CONDUIT SIZES SHOULD BE AS FOLLOWS UNLESS OTHERWISE DETERMINED BASED ON DEMAND:
 - 2" WATER (SCH40) FROM WATER METER TO BUILDING
 - 4" SEWER (SDR35PVC) FROM BUILDING TO AND FROM SEWER LATERAL
 - 3" ELECTRIC CONDUIT (PVC) FROM METER TO BUILDING
 - 2" GAS (PE) FROM METER TO BUILDING
 - 1" PVC CONDUITS FOR TELCO AND CABLE TV

UTILITY TRENCHING NOTE:
 ALL ONSITE UTILITIES WILL BE UNDERGROUND TO (P) RESIDENCE (SEE DETAIL C, SHEET C7)

NOTE:
 WHERE APPLICABLE PG&E SERVICE DETAILS AND SPECIFICATIONS OVERRIDE THE UTILITY TRENCH DETAIL PROVIDED IN THESE PLANS FOR ELECTRICAL SUPPLY TO SITE

NOTE: SEE ARCHITECTURAL PLANS FOR ADDITIONAL HORIZONTAL CONTROL AND PROPERTY SET BACKS

NORTH

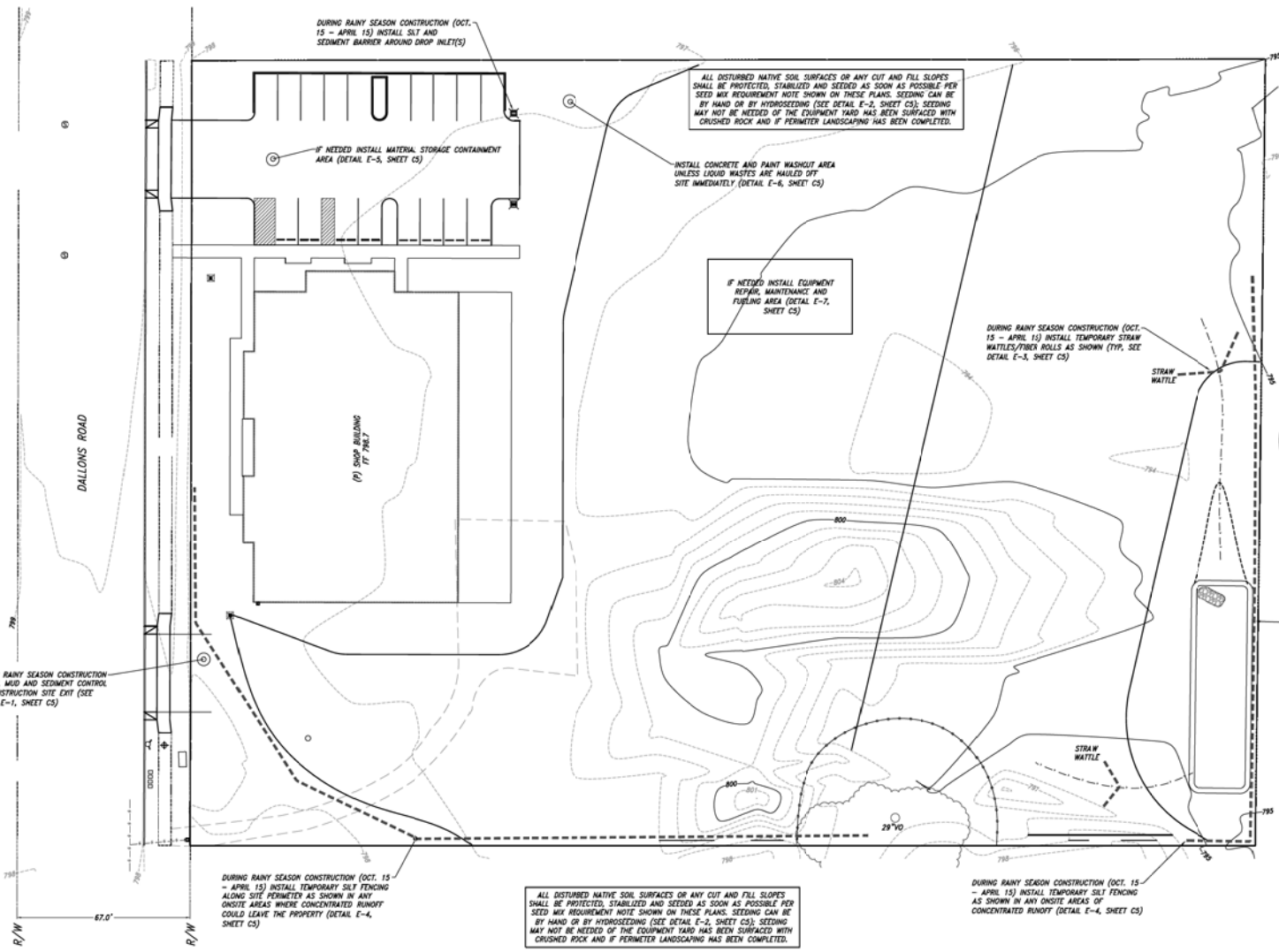
1" = 20'

SCALE: 1"=20'

REVISIONS 1 2 3	ISSUING ENGINEER: [Signature] [Title]	DATE: 5/15/17	PROJECT DESCRIPTION: LEO TOWELL JR. DALLONS ROAD, PASO ROBLES, CA PARCEL C, EAPMBA, APRN: 025-023-001, 2.87 ACRES	PROJECT NUMBER: 17-017	DATE: 5-15-17		
						APPROVED: [Signature] [Title]	DATE: 5/15/17
						SCALE: 1"=20'	DATE: 5/15/17

Exhibit G

EROSION, SEDIMENT AND ENVIRONMENTAL CONTROL PLAN:



TEMPORARY EROSION AND ENVIRONMENTAL CONTROL MEASURES:

1. ALL TEMPORARY EROSION, SEDIMENT AND ENVIRONMENTAL CONTROL MEASURES MUST BE IN PLACE, FUNCTIONAL, MAINTAINED AND MONITORED BY THE OWNER, GENERAL CONTRACTOR OR GRADING CONTRACTOR.
2. THE TEMPORARY EROSION, SEDIMENT AND ENVIRONMENTAL CONTROL MEASURES SHOWN ON THESE PLANS ARE TO BE IMPLEMENTED AS NECESSARY TO ENSURE REDUCED POLLUTANT RELEASES AND MINIMIZE POTENTIAL ENVIRONMENTAL IMPACTS OF THE PROJECT. ALL PROPOSED ENVIRONMENTAL CONTROL MEASURES AND LOCATIONS ARE SHOWN ON THE PROPOSED EROSION CONTROL PLAN. THE IMPLEMENTATION OF ALL ENVIRONMENTAL CONTROL MEASURES MAY NOT BE NECESSARY (e.g. IF ONSITE EQUIPMENT FUELING DOES NOT OCCUR, THEN A FUELING AREA WILL NOT BE NEEDED).

DURING RAINY SEASON CONSTRUCTION (OCT. 15 - APRIL 15) INSTALL SILT AND SEDIMENT CONTROL AT CONSTRUCTION SITE EXIT (SEE DETAIL E-1, SHEET C5)

DURING RAINY SEASON CONSTRUCTION (OCT. 15 - APRIL 15) INSTALL TEMPORARY SILT FENCING ALONG SITE PERIMETER AS SHOWN IN ANY ONSITE AREAS WHERE CONCENTRATED RUNOFF COULD LEAVE THE PROPERTY (DETAIL E-4, SHEET C5)

ALL DISTURBED NATIVE SOIL SURFACES ON ANY CUT AND FILL SLOPES SHALL BE PROTECTED, STABILIZED AND SEEDED AS SOON AS POSSIBLE PER SEED MIX REQUIREMENT NOTE SHOWN ON THESE PLANS. SEEDING CAN BE BY HAND OR BY HYDROSEEDING (SEE DETAIL E-2, SHEET C5). SEEDING MAY NOT BE NEEDED IF THE EQUIPMENT YARD HAS BEEN SURFACED WITH CRUSHED ROCK AND IF PERIMETER LANDSCAPING HAS BEEN COMPLETED.

DURING RAINY SEASON CONSTRUCTION (OCT. 15 - APRIL 15) INSTALL TEMPORARY SILT FENCING AS SHOWN IN ANY ONSITE AREAS OF CONCENTRATED RUNOFF (DETAIL E-4, SHEET C5)

DURING RAINY SEASON CONSTRUCTION (OCT. 15 - APRIL 15) INSTALL TEMPORARY SILT FENCING ALONG SITE PERIMETER AS SHOWN IN ANY ONSITE AREAS WHERE CONCENTRATED RUNOFF COULD LEAVE THE PROPERTY (DETAIL E-4, SHEET C5)

ALL DISTURBED NATIVE SOIL SURFACES ON ANY CUT AND FILL SLOPES SHALL BE PROTECTED, STABILIZED AND SEEDED AS SOON AS POSSIBLE PER SEED MIX REQUIREMENT NOTE SHOWN ON THESE PLANS. SEEDING CAN BE BY HAND OR BY HYDROSEEDING (SEE DETAIL E-2, SHEET C5). SEEDING MAY NOT BE NEEDED IF THE EQUIPMENT YARD HAS BEEN SURFACED WITH CRUSHED ROCK AND IF PERIMETER LANDSCAPING HAS BEEN COMPLETED.

INSTALL CONCRETE AND PAINT WASHOUT AREA UNLESS LIQUID WASTES ARE HAULED OFF SITE IMMEDIATELY (DETAIL E-6, SHEET C5)

IF NEEDED INSTALL EQUIPMENT REPAIR, MAINTENANCE AND FUELING AREA (DETAIL E-7, SHEET C5)

DURING RAINY SEASON CONSTRUCTION (OCT. 15 - APRIL 15) INSTALL TEMPORARY STRAW WATTLES/FIBER ROLLS AS SHOWN (TYP. SEE DETAIL E-5, SHEET C5)

DURING RAINY SEASON CONSTRUCTION (OCT. 15 - APRIL 15) INSTALL TEMPORARY SILT FENCING AS SHOWN IN ANY ONSITE AREAS OF CONCENTRATED RUNOFF (DETAIL E-4, SHEET C5)

NO.	REVISIONS
1	
2	
3	

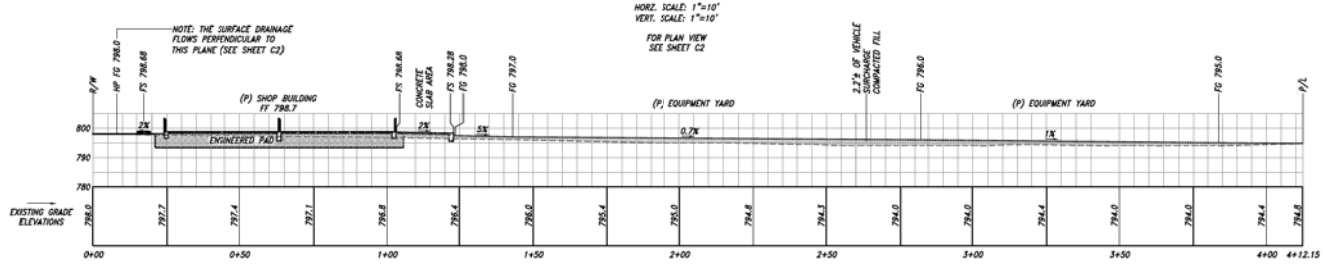
PERFORMING SURVEY BY:
TERRY C. GIBSON, INC.
12121 HIGHWAY 99, SUITE 111
PASO ROBLES, CA 94551
TEL: 805-789-6724



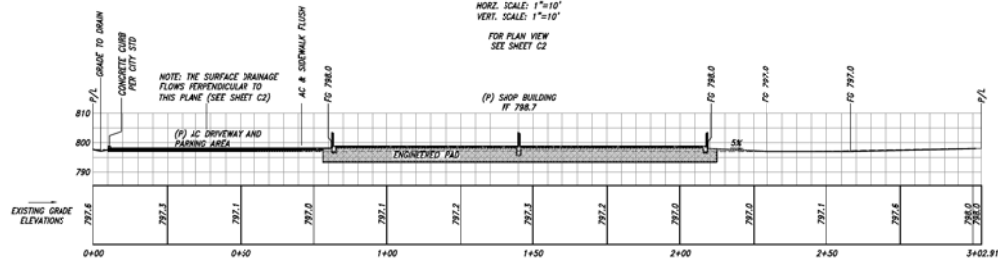
PROJECT DESCRIPTION: LEO TOWELL JR., DALLONS ROAD, PASO ROBLES, CA, PARCEL C, SUPPLEMENTAL APRN 025-023-001, 2.87 ACRES	
SHEET DESCRIPTION: EROSION, SEDIMENT AND ENVIRONMENTAL CONTROL PLAN	PLAN #1
DATE: 12-17-17	DATE: 5-15-17
PROJECT NUMBER: 17-017	DATE: 5-15-17
PROJECT AGENT: LEO TOWELL JR.	DATE: 5-15-17
PROJECT AGENT: LEO TOWELL JR.	DATE: 5-15-17

OVERALL SITE PROFILES:

SITE PROFILE A-A



SITE PROFILE B-B



BUILDING PAD GRADING REQUIREMENTS:

1. PRIOR TO ANY BUILDING PAD CONSTRUCTION, THE CONTRACTOR SHALL REVIEW THE ENTIRE CURRENT SOILS REPORT. THE SOILS ENGINEER MUST FIELD VERIFY AND CERTIFY THAT THE BUILDING CONSTRUCTION AREA AND IF APPLICABLE, THAT ANY STRUCTURAL FILL, SLOPES ARE IN COMPLETE COMPLIANCE WITH THE SPECIAL INSPECTIONS AND REPORTS TABLE SHOWN ON SHEET C1.

DRIVEWAY AND PARKING GRADING REQUIREMENTS:

1. DRIVEWAY AND PARKING AREA: PRIOR TO ANY DRIVEWAY AND PARKING AREA CONSTRUCTION ACTIVITIES REVIEW THE ENTIRE CURRENT SOILS REPORT.
2. PRIOR TO DRIVEWAY AND PARKING FINAL INSPECTION, ALL AREAS SHALL BE FIELD VERIFIED TO BE IN CONFORMANCE WITH CA ADA BUILDING CODE AND CITY STANDARDS.
3. SEE ALSO THE EMERGENCY VEHICLE ACCESS ROAD/DRIVEWAY REQUIREMENTS NOTE.
4. ALL SURFACE DRAINAGE SHALL SLOPE A MINIMUM OF 5% FOR AT LEAST 10 FEET AWAY FROM THE BUILDING FOUNDATION AND AT LEAST 2% BEYOND THAT UNLESS OTHERWISE INDICATED ON THIS PLAN. ALL SURFACE DRAINAGE SHALL ALSO FOLLOW THE APPROXIMATE PATHWAYS SHOWN ON THIS PLAN.
5. ALL DRAINAGE STRUCTURES (i.e. ROOF RUNOFF, DROP INLETS, SLOT DRAINS, etc.) SHALL BE PLUMBED, PIPED AND DAYLIGHTED AT DESIGNATED AREAS AS SHOWN ON THIS PLAN. THE BUILDING CONTRACTOR IS RESPONSIBLE TO ENSURE ALL DRAINAGE STRUCTURES ARE PROPERLY MAINTAINED TO ENSURE POSITIVE DRAINAGE FLOW THROUGHOUT CONSTRUCTION.

PARKING, FLATWORK AND ACCESS:

1. ALL PARKING, FLATWORK AND ACCESS MUST CONFORM TO CURRENT CA BUILDING CODE ADA REQUIREMENTS AND APPLICABLE CITY CODES.
2. DRIVEWAY APPROACHES MUST CONFORM TO CITY STD DWG FC-9 AND MUST BE INSTALLED UNDER AN APPROVED ENCRONCHMENT PERMIT ISSUED BY THE CITY ENGINEERING DEPARTMENT.
3. PARKING LAYOUT MUST CONFORM TO CITY STANDARDS INCLUDING THE TWO ADA PARKING SPACES. 3% SLOPE IN THE ADA PARKING SPACES W/ NOT EXCEED 2% IN ALL DIRECTIONS.
4. WHERE FLUSH CURBS OR WHERE THE PAVEMENT ABUTS THE SIDEWALK, WHEEL STOPS ARE TO BE INSTALLED TO CITY STANDARDS.
5. STRIPING IS REQUIRED IN ALL ADA ACCESS AREA IN CONFORMANCE TO CA BUILDING CODE STANDARDS.

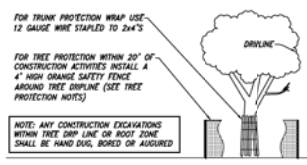
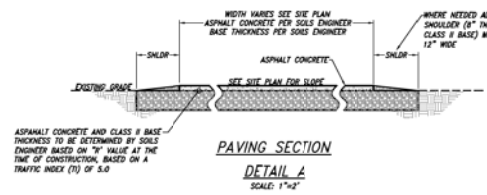
REVISIONS 1 2 3		PREPARED BY: J. GIBSON, P.E. DATE: 05/15/17	SHEET NO. 12 OF 12 PROJECT NO. 17-017
DISCLAIMER: THESE PLANS, SPECIFICATIONS AND CONTRACT ARE PREPARED BY THE ENGINEER AND ARE TO BE USED IN ACCORDANCE WITH THE PROFESSIONAL SEAL AND LICENSE NO. 33348. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE DATA PROVIDED BY THE CLIENT OR THE RESULTS THEREOF. THE ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT AND SHALL NOT BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, OR MAINTENANCE OF ANY OTHER PROJECTS.		SEAL OF THE STATE OF CALIFORNIA CIVIL ENGINEER J. GIBSON, P.E. No. 33348 Exp. 5/31/18	PROJECT DESCRIPTION: LEO TOWELL JR. DALLONS ROAD, PASO ROBLES, CA PARCEL C, ERM064, APR. 025-423-001, 2.87 ACRES SHEET DESCRIPTION: OVERALL SITE PROFILES PLAN #1 CITY PLAN CHECKED: [Signature] CITY PERM NUMBER: [Signature] DATE: 5-15-17 CALIFORNIA CONTRACT NO.: [Signature] SHEET: C6

TREE PROTECTION NOTES:

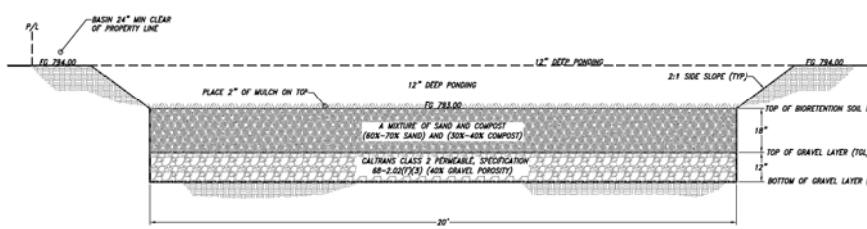
1. GRADING CONTRACTOR MUST REVIEW THE ARBORIST REPORT AND TREE PROTECTION PLAN PRIOR TO ANY CONSTRUCTION ACTIVITIES.
2. THREE NATIVE TREES ARE TO BE REMOVED DURING THIS PROJECT. SEE ARBORIST REPORT.
3. IF NEEDED PRIOR TO CONSTRUCTION ACTIVITIES PRUNE LOWER LIMBS IN THE CONSTRUCTION AREA TO CITY TREE PROTECTION STANDARDS TO MINIMIZE NATIVE TREE DAMAGE.
4. ALL NATIVE TREES WITHIN 20' OF CONSTRUCTION ACTIVITIES WILL BE PROTECTED BY INSTALLING A 4' HIGH ORANGE SAFETY FENCE AROUND TREE DRIFLINE. ALL FENCING MUST BE IN PLACE PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES. FENCE PLACEMENT CAN BE TO THE CONTRACTOR'S DISCRETION AS LONG AS IT MEETS CITY TREE PROTECTION REQUIREMENTS (SEE TREE PROTECTION FENCE DETAIL).
5. ALL CONSTRUCTION ACTIVITIES WITHIN NATIVE TREE DRIP LINES SHALL BE DONE CAREFULLY TO MINIMIZE ROOT DISTURBANCE. ANY TRENCHING OR EXCAVATIONS WITHIN THE TREE DRIP LINE OR ROOT ZONE OF A NATIVE TREE SHALL BE HAND DUG, AUGURED OR BORED. ALL JAILOR ROOTS SHALL BE AVOIDED WHENEVER POSSIBLE AND IF NOT, ALL ROOTS LARGER THAN ONE INCH IN DIAMETER SHALL BE CUT CLEAN, NOT RAGGED, THEN CAPPED (SEE TREE TRUNK PROTECTION MAP DETAIL).
6. SEE ARBORISTS REPORT FOR RECOMMENDED PRACTICES ASSOCIATED WITH FENCING, SOIL AERATION, CHIP MULCH APPLICATION, TRENCHING WITHIN DRIFLINES, GRADING WITHIN DRIFLINES, EXPOSED ROOTS, PAVING WITH DRIFLINES, EQUIPMENT OPERATIONS, EXISTING SOIL SURFACES, CONSTRUCTION MATERIALS AND WASTE, PRUNING, MONITORING, UTILITY PLACEMENT, FERTILIZATION AND CULTURAL PRACTICES.

GENERAL CONSTRUCTION, GRADING & DRAINAGE NOTES:

1. THE APPROVED PLANS ARE TO BE ON THE JOB AT ALL TIMES DURING CONSTRUCTION. ALL WORK SHALL BE PERFORMED ACCORDING TO THE APPROVED PLANS. NO CHANGES OR REVISIONS TO THE APPROVED PLANS OR SPECIFICATIONS ARE PERMITTED UNLESS SUBMITTED TO AND APPROVED BY THE CITY BUILDING DEPARTMENT. THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING DEPARTMENT FROM REQUIRING CORRECTION OF ERRORS OR OMISSIONS FROM THE APPROVED PLANS. REVISIONS SHALL BE REVIEWED BY THE BUILDING ENGINEER PRIOR TO IMPLEMENTATION. THE CONTRACTOR SHALL REMEDY THE WORK TO COMPLY WITH THE PLANS AND APPROVED REVISIONS TO THE SATISFACTION OF THE BUILDING OFFICIAL AND DESIGN ENGINEER.
2. A SEPARATE PERMIT IS REQUIRED FOR GRADING AND BUILDING CONSTRUCTION. IF APPLICABLE A SEPARATE PERMIT IS ALSO REQUIRED FOR ANY RETAINING WALLS OR SWIMMING POOLS. THE CITY PERMIT ISSUED SHALL EXPIRE BY LIMITATION IF PERMIT AUTHORIZED WORK IS NOT COMMENCED WITHIN 180 DAYS FROM THE DATE OF PERMIT ISSUANCE OR IF WORK IS SUSPENDED FOR A PERIOD EXCEEDING 180 DAYS AFTER WORK HAS COMMENCED.
3. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT AND MUST BE APPROVED PRIOR TO IMPLEMENTATION. ANY OFFSITE GRADING OR OTHER CONSTRUCTION WORK OUTSIDE THE PUBLIC RIGHT-OF-WAY REQUIRES PERMIT FROM THE OFFSITE LAND OWNER.
4. PRIOR TO CALLING FOR FINAL INSPECTION, THE ENGINEER OF RECORD MUST CERTIFY IN WRITING TO THE BUILDING OFFICIAL THAT FINAL GRADING, DRIVEWAY SURFACE AND DRAINAGE CONFORMS TO THE APPROVED PLANS, PRIOR TO CALLING FOR A FOUNDATION INSPECTION.
5. THE BUILDING OFFICIAL MAY REQUIRE THE DRIVEWAY SLOPE BE CERTIFIED NOT TO EXCEED 20% BY THE RESPONSIBLE DESIGN PROFESSIONAL OR A LICENSED SUPERVISOR PRIOR TO THE FOUNDATION INSPECTION. A DRIVEWAY ACCESS ROADWAY NOT COMPLYING WILL REQUIRE REGRADING AND CERTIFICATION OF BEING LESS THAN 20% PRIOR TO FURTHER INSPECTIONS.
6. THE SOILS ENGINEER OR ENGINEERING GEOLOGIST OF RECORD SHALL INSPECT SOIL PREPARATION AND SITE GRADING DURING THE GRADING OPERATIONS. THE SOILS ENGINEER SHALL CERTIFY THE WORK (CUT, FILL & COMPACTION) AS BEING DONE ACCORDING TO THE APPROVED RECOMMENDATIONS OR PROVIDE REVISED RECOMMENDATIONS IF NEEDED. PRIOR TO PLACEMENT OF THE BUILDING FOUNDATION, THE SOILS ENGINEER MUST ALSO CERTIFY THAT THE FOUNDATION PLACEMENT AND DEPTH IS ADEQUATE TO CONFORM TO CBC STANDARDS (SECTION 1808.1-1808.5).
7. THE CONTRACTOR IS RESPONSIBLE TO ENSURE PROPER LABOR AND EQUIPMENT ARE EMPLOYED TO PREVENT CONSTRUCTION FROM DAMAGING PROPERTY OR CAUSING ANNUANCE TO PERSONS IN THE VICINITY OF THE JOB SITE. THE CONTRACTOR ASSUMES SOLE RESPONSIBILITY FOR THE SAFETY OF ALL PERSONS AND PROPERTY DURING AND NON-WORK HOURS.
8. ALL CONTRACTORS AND SUBCONTRACTORS MUST HAVE ON FILE, WITH THE BUILDING DEPARTMENT, A LIST OF ALL CONTRACTORS AND SUBCONTRACTORS USED INCLUDING APPROPRIATE CURRENT CITY BUSINESS LICENSE NUMBERS.
9. SEDIMENTATION AND EROSION CONTROL MEASURES, INCLUDING TEMPORARY EROSION CONTROL MEASURES, APPROVED BY THE BUILDING DEPARTMENT, SHALL BE IN PLACE BETWEEN OCTOBER 15TH AND APRIL 15TH. INTERIM GRADING MAY AFFECT OFFSITE PROPERTIES. INSPECTIONS MAY BE ORDERED UNTIL APPROPRIATE CONTROL MEASURES ARE IMPLEMENTED.
10. THE ISSUANCE OR DENIAL OF A PERMIT OR APPROVED PLANS, SPECIFICATIONS AND COMPUTATIONS SHALL NOT BE CONSIDERED TO BE PERMIT FOR, OR APPROVAL OF, ANY VIOLATION OF THE PROVISIONS OF THE CODES OR OF ANY OTHER ORDINANCE OF THE CITY JURISDICTION. PERMITS PRESUMING TO CITY AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF THIS CODE OR OTHER CITY ORDINANCES SHALL NOT BE VALID.
11. PRIOR TO CALLING FOR A FOUNDATION INSPECTION, ENGINEER OF RECORD, MUST CERTIFY TO BUILDING OFFICIAL (IN WRITING) THAT ROUGH GRADING AND STRUCTURE LOCATION CONFORMS TO APPROVED PLANS.



- BIO RETENTION BASIN NOTES:**
1. MAINTAIN 18\"/>



20'x78'x12\"/>

SEE STORMWATER CONTROL PLAN PREPARED BY WALSH ENGINEERING COMPANY, DATED APRIL 10, 2012, FOR DETAILS

GRADING & DRAINAGE NOTES:

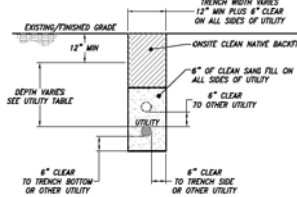
1. GRADING SHALL BE KEPT TO A MINIMUM AND SHALL CONFORM TO CHAPTER 18 OF THE CALIFORNIA BUILDING CODE AND SHALL CONFORM TO ANY SOILS REPORT PREPARED FOR THE PROJECT, UNLESS OTHERWISE APPROVED.
2. ALL FILL WITHIN THE STRUCTURAL FOOTPRINT SHALL BE COMPACTED TO A SOIL RELATIVE DENSITY AND SHALL BE CERTIFIED BY AN APPROPRIATELY REGISTERED ENGINEER OR CERTIFIED FOUNDATION ENGINEER. A COMPACTION REPORT IS TO BE SUBMITTED TO THE CITY PRIOR TO FOUNDATION INSPECTION. IF COMPACTION IS TO BE PERFORMED WITHIN THE STRUCTURAL FOOTPRINT, UNLESS OTHERWISE APPROVED, ALL FOUNDATION EXCAVATIONS ARE TO BEAR IN LIKE MATERIALS.
3. ALL AREAS RECEIVING STRUCTURAL FILL ARE TO BE CLEARED, SCARIFIED AND INSPECTED BY THE SOILS ENGINEER OR CERTIFIED ENGINEERING GEOLOGIST PRIOR TO FILL PLACEMENT. CLEARING SHALL REMOVE AT LEAST THE UPPER 4 INCHES OF EXISTING SURFACE SOIL AND DEBRIS (SEE NOTE 1 BELOW).
4. NEITHER ORGANIC WASTES NOR BouldERS (GREATER THAN 6\"/>
5. SLOPES CREATED BY CUTS OR FILLS SHALL NOT EXCEED 2:1 GRADE (HORIZONTAL:VERTICAL). VARIATIONS MUST BE SUPPORTED BY TECHNICAL DOCUMENTATION SIGNED BY A REGISTERED ENGINEER (SOILS ENGINEER) OR A CERTIFIED ENGINEERING GEOLOGIST AND MUST BE APPROVED BY THE CITY.
6. THE TOP OF ALL COMPACTED STRUCTURAL FILLS IS TO BE PROPERLY KEYED OR BENDED TO NATIVE SOILS AS REQUIRED BY CHAPTER 18 OF C.B.C. (10 FT MIN) UNLESS OTHERWISE IDENTIFIED IN THE SITE SPECIFIC SOILS REPORT OR REQUIRED BY THE CITY.
7. THE SITE IS TO BE GRADED TO DIRECT ALL SURFACE DRAINAGE AWAY FROM CUT AND FILL SLOPES. THE BUILDING FOUNDATION AND THE SEPTIC SYSTEM (AS SHOWN BY ARROWS), UNLESS OTHERWISE NOTED, ALL GRADING SHALL HAVE A MINIMUM SLOPE OF 5% FOR A MINIMUM OF 10' AND 2% MINIMUM THEREAFTER.
8. ROOF DRAINAGE SHALL BE DIRECTED AWAY FROM CUT AND FILL SLOPES AND TOWARD THE STREET OR THE NATURAL DRAINAGE SYSTEM.
9. TOP SOIL SHOULD BE STOCKPILED AND REDISTRIBUTED OVER DISTURBED SURFACES ONCE FINAL GRADE IS ESTABLISHED.
10. ALL DISTURBED AREAS ARE TO BE NATIVE GRASS MIX HYDROSEEDED TO MINIMIZE EROSION, UNLESS PERMANENT LANDSCAPING IS INSTALLED PRIOR TO THE FINAL INSPECTION. VEGETATION SHOULD BE WELL ESTABLISHED PRIOR TO FINAL INSPECTION. TEMPORARY EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS SHOWN & RUNOFF OCCURS DURING CONSTRUCTION ACTIVITIES AND MUST BE AVAILABLE ON-SITE BETWEEN OCTOBER 15TH AND APRIL 15TH. IF GRADING OCCURS BETWEEN OCTOBER 15TH AND APRIL 15TH, DISTURBED SURFACES ARE TO BE SEEDED AND COVERED WITH STORM MULCH IMMEDIATELY.
11. UNDERGROUND UTILITIES MUST BE LOCATED PRIOR TO CONSTRUCTION BY CALLING USA AT 1-800-227-2600.

ONSITE UTILITIES

CABLE TV SERVICE	24\"/>
ELECTRICAL SERVICE	36\"/>
GAS SERVICE	30\"/>
SEWER SERVICE	24\"/>
STORM DRAINAGE	12\"/>
TELEPHONE SERVICE	12\"/>
WATER SERVICE	24\"/>

TRENCHING NOTES:

1. ALL ONSITE UTILITY TRENCHES WILL BE UNDERGROUND AND TO THE CITY SPECIFICATIONS.
2. ALL SIZING OF THE UTILITY PIPING AND CONDUITS FOR THIS PROJECT IS TO BE DETERMINED IN THE FIELD BASED ON THE CURRENT UTILITY DEMANDS. ANY SIZE WE INDICATE IS FOR GENERAL INFORMATION ONLY.
3. WHERE APPLICABLE ROAD SERVICE DETAILS AND SPECIFICATIONS OVERSIDE THIS TRENCH DETAIL FOR ELECTRICAL SUPPLY TO SITE, IF SO THEN SEE JOINT TRENCH CONFIGURATIONS AND OCCUPANCY GUIDE BY PUMP FOR ADDITIONAL DETAIL AND CLARIFICATION ON ELECTRICAL TRENCHING.
4. WET UTILITIES MUST HAVE A MINIMUM OF 36\"/>
5. SEPTIC SERVICE, STORM DRAINAGE AND WATER SERVICE MUST NOT BE IN THE SAME TRENCH AS THE ELECTRICAL SERVICE.



UTILITY TRENCH DETAIL C
SCALE: 1\"/>

REVISIONS 1 2 3	APPROVING SURVEY: [Signature]	ENGINEER OF RECORD: [Signature]	PROJECT DESCRIPTION: LEO TOWELL, JR. DALLONS ROAD, PASO ROBLES, CA PARCEL C, EXHIBIT A, APRIL 925-423-001, 2.87 ACRES
	DATE: 12-11-17	PROJECT NUMBER: P-17-010	CONSTRUCTION NOTES AND SITE DETAILS: PLAN #1
	DATE: 12-11-17	DATE: 5-15-17	DATE: 12-11-17

