

RESOLUTION PC 17-034

**A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES RECOMMENDING
(MISC – 17-002) A CERTIFICATE OF CORRECTION FOR TRACT 900
1200 RAMADA DRIVE
(RICHARD AND MONICA GALLI)
APNs: 009-633-023**

WHEREAS, the Richard and Monica Galli own the property along with the Custom Tube business located at 1200 Ramada Drive; and

WHEREAS, the Galli’s are proposing a new 1,483 square foot addition to the existing Custom Tube building, which would expand beyond the 20-foot setback line; and

WHEREAS, while the City does not require a 20-foot setback in the M-PD zone, since the line is established on the Tract Map, it is requested that the Planning Commission approve a Certificate of Correction that would eliminate the 20-foot setback line for Lot 23; and

WHEREAS, the request is consistent with the Planning Commission’s recent action to remove the setback line to multiple Firestone Brewery lots, also located in Tract 900; and

WHEREAS, the applicants are requesting that the Planning Commission make a recommendation to the County Clerk Recorder that a Certificate of Correction be recorded that would remove the 20-foot setback line on lots on lot 23 of Tract 900 (APNs: 009-633-023); and

WHEREAS, the proposed project is Categorically Exempt from environmental review per Section 15301(Existing Facilities) of the State’s Guidelines to Implement the California Environmental Quality Act (CEQA); and

WHEREAS, a public hearing was conducted by the Planning Commission on August 8, 2017, to consider facts as presented in the staff report prepared for the development plan amendment, and to accept public testimony regarding the application; and

WHEREAS, based upon facts and analysis presented in the staff report and the attachments thereto, the public testimony received, that the Planning Commission finds that based on Table 21.16.210 of the Zoning Code (Development Standards for C-1, C-2, C-3, M and PM Districts) not requiring building setbacks for buildings in the M zoning district, that the 20-foot setback line shown on the lots within Tract 900, conflicts with City setback standards and should be removed.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles does hereby direct staff process a Certificate of Correction with the County of San Luis Obispo Clerk Recorder, to eliminate the 20-foot setback line shown on lot 23 of Tract 900, as shown on Exhibit A.

PASSED AND ADOPTED THIS 8th day of August 2017 by the following roll call vote:

AYES: Commissioners Barth, Rollins, Davis, Agredano, Jorgensen and Chairman Donaldson

NOES:

ABSENT: Commissioner Brennan

ABSTAIN:



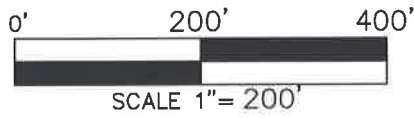
JOHN DONALDSON, CHAIRMAN


ATTEST:



WARREN FRACE, PLANNING COMMISSION SECRETARY

EXHIBIT OF TRACT 900 & "20' BLDG. SETBACK" PER 10/MB/77



 = 20 foot setback line previously removed for Firestone Brewery

"20' BLDG. SETBACK"
PER 10/MB/77

20 foot setback line
for Lot 23 proposed
to be eliminated.

"20' BLDG. SETBACK"
PER 10/MB/77

