

**RESOLUTION PC 17-032**

**A RESOLUTION OF THE PLANNING COMMISSION  
OF THE CITY OF EL PASO DE ROBLES  
APPROVING VESTING TENTATIVE TRACT MAP 3105 OF THE RIVER OAKS II MASTER  
DEVELOPMENT PLAN**

**BORKEY AREA SPECIFIC PLAN SUBAREA A  
APPLICANT – ESTRELLA ASSOCIATES  
RIVER OAKS II - APN: 025-390-009**

**WHEREAS**, Estrella Associates (“Applicant”), in connection with the proposed development of a project known as River Oaks II (the “Project”), has filed a proposed Vesting Tentative Tract Map 3105 (VTTM 3105) for the Project; and

**WHEREAS**, VTTM 3105 is located in the northeastern area of the City of Paso Robles, within the Borkey Area Specific Plan area (Subarea A), north of State Route 46 East, west of Buena Vista Drive, and east of the Salinas River; and

**WHEREAS**, the City Council approved a General Plan Amendment, Borkey Area Specific Plan Amendment, Rezone, and a Master Development Plan in June, 21 2016. The amendments designated and zoned the property primarily for 271 residential units, with certain areas to be maintained as Agriculture and/or Parks and Open Space; and

**WHEREAS**, VTTM 3105 is a request to subdivide an approximately 131 acre property into 298 total parcels consisting of 271 residential lots (including 144 single-family residential lots as part of the “Traditions” active-adult community, 127 single-family residential larger-lots, and 24 open space and 3 road lots), as shown in Exhibit B; and

**WHEREAS**, the proposed subdivision and site development is required to be in substantial conformance with the approved 6/21/16 Master Development Plan Design Manual (MDP). The proposed subdivision maintains the approved concepts for extending the existing Traditions neighborhood on the west side of the project as a gated, age-restricted neighborhood, and the new, larger-lot neighborhoods on the east side of the site. It includes maintaining and enhancing the existing spa, lake area, and pavilion facilities, integration of open space and agricultural land, and a multi-purpose trail system; and

**WHEREAS**, the proposed subdivision plan includes a proposed grading plan that demonstrates how the site would be re-contoured to create residential building pads and street network. The proposed grading plan would result in a significant amount of grading cuts on hilltops and fills in lower areas. The applicant proposes to use contour-grading techniques to help blend the changes in topography in with the surrounding landscape. The grading plan incorporates rear yard slopes that exceed the City Grading Ordinance standard of 12 feet, however, given the site configuration, exceeding the rear yard slope standard would not result in negative impacts that could affect the health, safety, convenience, comfort or welfare of properties and improvements in the vicinity; and

**WHEREAS**, the grading plan also includes grading on property owned by Cuesta College (on the east side of the site), to provide a smooth transition between properties in this area. Cuesta College has provided documentation that it would provide an easement to accommodate the proposed grading on its property. The project also includes grading and entry road improvements on adjacent property at the far northeast area of the project at Buena Vista Drive. The applicant has provided documentation of acceptance for an easement with the property owner (Strouds) for this purpose; and

**WHEREAS**, the proposed project includes landscape details and a fencing plan for improvements along streets, open space areas, and private property fencing. These features would provide seamless integration with the existing improvements in the River Oaks development; and

**WHEREAS**, several Conditions of Approval that apply to the proposed tract map pertaining to extension of infrastructure improvements, maintenance of facilities, grading, and mitigation measures and are included in Exhibit A; and

**WHEREAS**, the proposed Project is consistent with and supports implementation of the *Paso Robles Economic Strategy* since it proposes new housing opportunities, infrastructure and investment in the community; and

**WHEREAS**, the proposed grading plan would necessitate the removal of 33 oak trees. An Arborist Report was prepared for the project and includes oak tree mitigation measures included in the report. A Condition of Approval is included in Exhibit A that requires City Council approval to remove the oak trees. If the City Council does not approve removal of all 33 oak trees, then the project grading plan will need to be modified accordingly to protect and preserve oak trees identified to retain; and

**WHEREAS**, in accordance with the California Environmental Quality Act (CEQA), an Environmental Impact Report (EIR) was prepared for the Borkey Area Specific Plan, which analyzed development of property in this area. A Mitigated Negative Declaration (MND) was subsequently approved for the River Oaks II Expansion entitlements, including the Borkey Area Specific Plan Amendment, General Plan amendment, Zoning Amendment and Master Development Plan. The MND evaluated all potential environmental impacts that may result from the project, including development of 271 lots and ancillary land uses in the MDP. Applicable mitigation measures incorporated into the MND Mitigation Monitoring and Reporting Program. Since VTTM 3105 is consistent with the Borkey Area Specific Plan (for which an EIR was adopted), the MDP density, development program, and circulation plan, therefore, no further environmental analysis is required for this project; and

**WHEREAS**, the Development Review Committee (DRC) reviewed the proposed subdivision layout for consistency with the MDP on March 13, 2017, and found it generally consistent with the MDP. The DRC supported proposed modifications regarding road alignments along the northern property line and agricultural buffers required; and

**WHEREAS**, the Planning Commission held a duly noticed public hearing on August 8, 2017 on this project to accept public testimony on VTTM 3105.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Commission of the City of Paso Robles, as follows:

Section 1. All of the above recitals are true and correct and incorporated herein by reference.

Section 2 Findings. Based upon the facts and analysis presented in the staff report, and public testimony received, and subject to the Conditions of Approval and attachments hereto, the Planning Commission makes the following findings:

- a. The VTTM 3105 subdivision and circulation plan is consistent with the adopted 6/21/16 River Oaks II Master Development Plan Design Manual, and would be consistent with: (1) the goals and policies established by the General Plan; (2) the policies and development standards established by the

Zoning Ordinance; and Borkey Area Specific Plan; (3) all other adopted codes, policies, standards, and plans of the city.

- b. VTTM 3105 would be consistent with the surrounding neighborhood development pattern and land uses.
- c. VTTM 3105 will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the residents living in or near the proposed neighborhoods, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the city.
- d. VTTM 3105 accommodates the aesthetic quality of the city as a whole, and will fit in with the established surrounding quality of development, especially where development will be visible from public views, gateways to the city and scenic corridors.
- e. VTTM 3105 is compatible with, and is not detrimental to, surrounding land uses and improvements, circulation system, provides an appropriate visual appearance, and contributes to the mitigation of any environmental impacts through implementation of the Mitigation Monitoring and Reporting Program, and participation in Development Impact Fee Program.
- f. The proposed grading plan and changes to hillside ridgelines are consistent with the intent of the City's Grading Ordinance since these are minor topographic features and contour grading techniques will be incorporated to achieve a natural-appearing landform.
- g. Deviation from the City's Grading Ordinance standards to allow for 5 parcels to exceed the rear yard slope standards may be permitted in accordance with provisions established in the Grading Ordinance for Specific Plans. The proposed rear yard slope standard exception allowing 5 parcels to exceed 12 foot high rear yard slopes, up to 16 feet in height would not result in negative visual and functional impacts (e.g. drainage or soil erosion) to the 5 properties or surrounding properties.
- h. In accordance with CEQA, all potential environmental impacts that may result from this project have been fully evaluated in an adopted Mitigated Negative Declaration, and potential impacts will be mitigated to a less than significant level.
- i. Necessary oak tree removals are conditioned in the project Conditions of Approval (Exhibit A of this Resolution), to be considered and approved by the City Council. If any oak trees necessary to be removed to accommodate grading for this project are not approved by the City Council, the project grading plan will need to be redesigned and approved by the Planning Commission.
- j. The City of Paso Robles has adequate water and wastewater resources and service capacity to serve VTTM 3105 with up to 271 new homes, and ancillary site improvements.

Section 3. Approval The Planning Commission does hereby approve of VTTM 3105, subject to the Conditions of Approval, attached hereto as Exhibits A & B, VTTM 3104, attached hereto as Exhibit C, Grading Plans attached hereto as Exhibit D, Landscape and Site Details Plans attached hereto as Exhibit E. Exhibits A, B, C, D, E and F are incorporated herein.

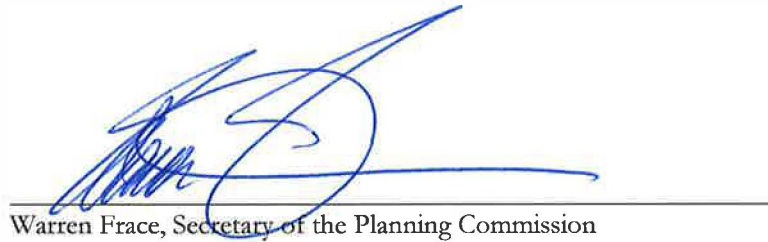
**PASSED AND ADOPTED THIS** 8th day of August, 2017 by the following Roll Call Vote:

AYES: Commissioners Rollins, Barth, Davis, Agredano, Jorgensen and Chairman Donaldson  
NOES:  
ABSENT: Commissioner Brennan  
ABSTAIN:



John Donaldson, Planning Commission Chair

ATTEST:



Warren Frace, Secretary of the Planning Commission

Exhibit A – Project Conditions of Approval  
Exhibit B - Standard Conditions of Approval  
Exhibit C – VTTM 3105  
Exhibit D – Grading Plans  
Exhibit E – Landscape and Site Details  
Exhibit F – Grading Heat Map and Cross Sections

# Exhibit A

## River Oaks II - VTTM 3105

### Conditions of Approval

**Planning Division Conditions:**

1. The final map, grading and site improvement of VTTM 3105 shall be constructed in substantial conformance with the Conditions of Approval established by this Resolution and it shall be constructed in substantial conformance with the following Exhibits:

<b>EXHIBIT</b>	<b>DESCRIPTION</b>
B	Standard Conditions of Approval
C	VTTM 3105
D	Grading Plan
E	Landscape and Site Details

2. The final map shall create no more than 271 residential parcels. All other parcels created by the final map for open space, agriculture, road or drainage purposes shall include deed restriction that limit the lot to a non-residential use.
3. In accordance with the Recreation Element of the General Plan property located between the Salinas River waterway and North River Road was dedicated to the City. A 100% credit shall be granted toward the Parks and Recreation Development Impact Fee, in effect at the time of issuance, for every single-family residential building permit issued consistent with the VTTM 3105 (not to exceed 271 single-family residential units).
4. The applicant shall submit draft Covenants, Conditions and Restrictions (CC&Rs) for review and approval by the Community Development Director with each subdivision phase of development. CC&Rs shall reference agricultural disclosure agreements, and disclosure agreements for potential future recreation-oriented uses related to noise and lighting for the future City-owned river parcel.
5. All multi-purpose trails and walkways shall be open to the general public, except for the trail section within the Traditions planning area west of Clubhouse Drive. The Homeowners Association may limit the hours of public use to daytime hours, and may restrict access during maintenance activities, as provided for in the project CC&Rs.
6. All streets within Subarea A will be private streets maintained by the Master Homeowners Association. Clubhouse Drive, Village Drive, and all local streets east of Clubhouse Drive will be accessible to the public.
7. The age restricted portion of the project, west of Clubhouse Drive (aka Traditions 2) may install security gates on all street connections subject to the approval of the Fire Chief. All other streets shall not be gated and be available to the public.
8. A Common Interest Development Homeowners Association shall be formed with responsibility to maintain private streets, stormwater facilities, right of way landscaping, trails, walkways, open space areas, and common landscape areas. All private streets shall be covered with Public Utility Easements, and

specific easement agreements in favor of the City for maintenance of sanitary sewers and water facilities with language approved by the Public Works Director. Any maintenance and/or repairs performed by the municipal agency shall be to the then current Department of Public Works Standard Detail and Specifications.

9. Site mass grading shall utilize contour landscape grading techniques to avoid angular, unnatural slopes.
10. A comprehensive storm water control plan shall be prepared demonstrating compliance with all applicable storm water management and permit requirements, and that addresses all proposed phases of development in a form acceptable to the City Engineer prior to issuance of any grading permits or approval of any subdivisions.
11. Future site development of the site shall utilize landform, contour grading techniques to reduce the appearance of unnatural, angled slopes to help graded slopes blend in with the surrounding landscape. All exposed graded slopes shall be landscaped to soften the appearance of and camouflage graded slopes to be compatible with the surrounding development pattern and landscape.
12. An agricultural buffer setback from the northern property shall not be less than 75 feet. The applicant shall plant a row of trees and a hedgerow to reduce dust along the northern property line.
13. A disclosure agreement describing potential agricultural related nuisances (e.g., dust, noise, pesticide spraying, lights, etc.) associated with normal agricultural operations shall be recorded on the property title with the recordation of all subdivision maps within the River Oaks II expansion project area.
14. A “right-to-farm” notice in a form approved by the Community Development Director shall be recorded on the deed of each property within this project area.
15. The project shall use recycled water consistent with the blending provisions of condition 39, when it becomes available for landscape irrigation and agricultural purposes.
16. All on- and off-site wells permitted for use with this project, except for geo-thermal wells and river underflow wells, shall have well meters installed per Public Works standards prior to recordation of the Final Map.
17. The applicant shall incorporate all storm water control measures to meet the Regional Water Quality Control Board requirements by incorporating low-impact development features into the future project design.
18. The applicant shall incorporate all storm water control measures to manage potential post-construction hydromodification per the Regional Water Quality Control Board requirements into the future project design.
19. State Route 46/Buena Vista Drive. Add a second eastbound left-turn lane. This maintains LOS C conditions during the AM/PM peaks. Queue lengths would be reduced to acceptable levels with the second left-turn lane. This project is included in the City’s Traffic Impact Fee program. The timing for this improvement depends on growth in the area, particularly increases in staffing and enrollment at Cuesta College North. Payment of the City’s impact fees would address this deficiency.
20. All site amenities shall be completed as follows:
  - a. The multi-purpose trail system shall be completed prior to the issuance of the 200<sup>th</sup> residential building permit.

- b. The open space, agricultural improvements, pools, community room, and other ancillary site work shall be completed prior to issuance of the 271<sup>th</sup> residential building permit.
- 21. The applicant shall obtain approval from the City Council for the 33 oak tree removals necessary to carry out the grading plan. If City Council does not approve the 33 oak tree removals, the applicant will be required to modify the grading plans to be approved by the Planning Commission.
- 22. The applicant shall submit documentation of acceptance of mitigation from the California Department of Fish and Wildlife for impacts to San Joaquin Kit Fox habitat prior to site grading disturbance.

**Prior to Occupancy of the First Unit in Phase 1**

- 23. Complete frontage, stormwater, and underground improvements required for Phase I including the sewage disposal system (lift station or gravity sewer as required by the Wastewater Department), water main connection at Club House Drive, and stormwater lift station.
- 24. A 24-inch recycled water main shall be constructed from N. River Road to Clubhouse Drive, and then along the southern boundary of Phase I and Phase II to the Cuesta College property boundary. Credit shall be provided for over-sizing the line beyond 8-inch. Minimum 25-foot easements shall be provided to the City where public or private right-of-way does not exist. Where public or private right-of-way exists the recycled water line shall be placed in the right of-way. Upon the extension of this recycled water line to its intersection with Buena Vista Drive the applicant shall be provided a tie-in at no additional cost.

**25. Prior to Occupancy of the 26<sup>th</sup> Unit in Phase 1**

Two sources of water service must be provided to the Traditions neighborhood upon development of over 25 homes. The second point of connection for water to the Traditions Neighborhood may be Waterford Court if modeling demonstrates that suitable volumes for fire protection are adequate. The connection from Waterford Court must be made at the northern end of Clubhouse Drive. The distribution plan must be accepted by the City Water Division. The remaining development of River Oaks II must be served by the extension of the 12-inch water main in Buena Vista Drive.

**Prior to Occupancy of the First Unit in Phase 2**

- 26. Complete frontage, stormwater, and underground improvements required for Phase 2.

**Prior to Occupancy of the 90<sup>th</sup> Unit in Phase 2**

- 27. Reconstruct the intersection of North River Road and River Oaks Drive in accordance with the concept plan adopted by the City Council October 19, 2010. Reimbursement for the project will be provided through the City's AB 1600 program.

**Prior to Occupancy of the first unit in Phase 3.**

- 28. Complete frontage, stormwater, and underground improvements required for Phase 3.

29. Complete Village Drive surface and underground improvements to Buena Vista Road. (See requirements for Buena Vista Road in Offsite Improvements).
30. Complete the Buena Vista Water Line extension and connection.
31. The applicant shall reconstruct the sidewalk returns on the west side of the intersection of River Oaks Drive and Buena Vista Drive with the improvement of Buena Vista Drive from the project entrance south to the City. This work will be recommended to be included in an update of the City's AB 1600 program and thereby be reimbursable to the developer.
32. Buena Vista Drive pavement shall be rehabilitated to City Standard structural stability and widened to accommodate two travel lanes, bike lanes on each side (no sidewalks) extending from the project entrance south to the City boundary. Buena Vista Drive improvements will be constructed at the time of connection to Buena Vista Drive with development of River Oaks II. Improvements along the frontage of Cuesta College property are subject to reimbursement from the AB 1600 program.

**Prior to the Occupancy of the first Unit in Phase 4**

33. Complete frontage, stormwater, and underground improvements required for Phase 4.

**Prior to the Occupancy of the first unit in Phase 5**

34. Complete frontage, stormwater, and underground improvements required for Phase 5.

**Prior to Final Map:**

35. Submit signed and notarized Temporary Grading Easement, acceptable to the City Engineer and City Attorney, providing permission to access and grade the Cuesta College property.
36. Submit a signed and notarized Easement for temporary grading, acceptable to the City Engineer and City Attorney, providing permission to grade the Stroud property for the installation of an access road to Buena Vista Drive.
37. Submit a signed and notarized irrevocable access easement, acceptable to the City Engineer and City Attorney, to allow the construction and maintenance of Village Drive on the adjacent Stroud Property.
38. A minimum 25-foot wide recycled water line easement shall be shown on the Final Map, where City right-of-way does not exist. Where public or private right-of-way exists the recycled water line shall be placed in the right of-way.
39. The applicant shall sign an agreement acceptable to the City Attorney and Public Works Director that requires, including successive owner(s) and or the Homeowner's Association to connect to recycled water when service becomes available. The applicant shall connect all irrigated lands to the City recycled water system and utilize recycled water as an irrigation supply. Per City Ordinance No. 1021 N.S., the City's Public Works Director will allow the existing well(s) to remain in service to meet demands suitable for the landscape and irrigation of the continuous and long-term maintenance of all areas to be irrigated. The applicant and/or its successors shall have the right to blend its existing river underflow well water with reclaimed water as necessary to meet its desired project water quality goals subject to a minimum



percentage of 25% recycled water with a target of 50% recycled water. Connection to the City recycled water system shall be subject to the cost parameters pursuant to the terms and conditions set forth in Section 4 (4.1) of the “Corrective Deeds and Agreement RE Offer To Dedicate” dated 5/28/2003 and recorded as Doc. 2003056981. Concurrently, the applicant will void the quality parameters pursuant to the terms and conditions set forth in Section 4 (4.2 & 4.3) of the “Corrective Deeds and Agreement RE Offer To Dedicate” dated 5/28/2003 and recorded as Doc. 2003056981.

40. Water and recycled water piping design shall meet the satisfaction of the City Engineer and the Water Division Manager.
41. Water piping and connections at Clubhouse Drive and Village Drive shall be configured to provide two sources of water to the first phase of the project and allow separate flow in parallel lines on Clubhouse Drive using a valved “H” configuration, or similar.
42. Vertical separation between water piping and other utilities shall comply with the California Water Code requirements.
43. The applicant shall design and construct recycled water improvements, including the segment connecting to North River Rd. Note 4 on Sheet C6 should be revised to specify responsibility of applicant to design and construct recycled water improvements shown, for clarity, and the leader reading “recycled water design and construction by others” should be omitted.
44. The proposed 20-foot wide section of recycled water easement between Lots 61 and 62 will be acceptable for this segment of recycled water line provided no other utilities will be located within the 20-foot easement.
45. Provide valves on all ends of tee, wye, and cross fittings (multiple locations).
46. Provide inline valves at increments of 600 feet on continuous lines without main intersections (e.g. C and D streets). Space valves such that no more than 2 FHs would be out of service with one segment isolated.
47. FH locations shall be checked and confirmed with Emergency Services.
48. Provide horizontal and vertical separation from SS, SSFM, SD, and RW lines consistent with DDW and City requirements.
49. Submittal and approval of a Landscape Documentation Package (LDP) for the project will be required prior to the recordation of the final map. LDPs shall include Water Efficient landscape (WEL) calculations specific to residential and non-residential portions of the project, landscape design plans, irrigation design plans, soil management report, and grading design plan will be required for the LDP submittal. Landscape and irrigation designs, and LDP shall comply with the City’s Landscape and Irrigation Ordinance and the current Landscape and Irrigation Design Guide.
50. The storm drain lift station will be equipped with the following items prior to grading final:
  - a. auxiliary power in cases of power outages
  - b. high-level alarms to alert the potential for flooding/surging.
  - c. A notification system (auto-dialer, telemetry) to alert responsible party (HOA) of any malfunction.

51. The HOA shall establish a long-term operations and maintenance program for all bioretention areas located within the development as well as the storm drain lift station prior to grading final.
52. The responsible party shall obtain authorization by the Regional Water Quality Control Board or any other relevant regulatory agency to utilize the basin for the combined purpose of stormwater retention and recycled water storage prior to grading final.
53. Prior to Recordation of a Final Map for VTTM 3105:
  - a) Applicant must submit a technical memorandum with exhibits demonstrating that a gravity flow connection to the City sewer system is not feasible before the City will consider approval and/or receive a new sanitary sewage lift station. The technical memorandum must be prepared and stamped by a registered professional engineer. The analysis must consider shifting the low point of the new sewer network for development phases 1 and 2 to the south, and constructing either a connection to an existing deep manhole in Robie Court (e.g., via the same easement as the recycled water line), or constructing a segment of new gravity sewer line North River Road. The analysis must include an estimate of the life-cycle cost (construction, operation, and maintenance cost) of a gravity sewer connection versus a new sanitary sewage lift station since the City will be accepting and maintaining the lift station. Should applicant/developer elect to provide a private sewage lift station as referenced in 53c below the analysis referenced above shall not be required.
  - b) If the sewage lift station lifecycle cost analysis demonstrates that a gravity sewer connection is not feasible, the applicant shall prepare and submit a preliminary design (plan and profile) of the sanitary sewage lift station for City Engineer and Wastewater Manager review and approval. The lift station shall be designed and constructed in accordance with the City Wastewater Department standard lift station design criteria. Minimum distance from the lift station to any residence shall be 50 feet. The lift station shall include the following reliability features: 1) wet well with volume adequate to store two hours of peak wastewater flow from the tributary area in the event of a power outage or pump failure, 2) two Hidrostral pumps with type 316 stainless steel force main piping and rails inside the wet well, 3) electrical gear and control systems enclosed within a light-colored air-conditioned cabinet, 4) standby power provided by a fixed generator with automatic transfer switch, and 5) an alarm system (instruments, alarming device (typically the programmable logic controller), radio, antenna, battery backup, etc.) that is fully-integrated with the City's existing remote telemetry system. Should applicant/developer elect to provide a private sewage lift station as referenced in 53c. below the design criteria referenced above shall not be required.
  - c) If the sewage lift station final criteria referenced above becomes financially infeasible the applicant may elect to provide a private sewage lift station. The applicant shall prepare and submit a design (plan and profile) of the private sanitary sewage lift station which shall be prepared and stamped by a registered professional engineer. Minimum distance from the lift station to any residence shall be 50 feet.

# EXHIBIT B

## City of El Paso De Robles Standard Development Conditions

Planned Development

Conditional Use Permit

Tentative Parcel Map

Vesting Tentative Tract Map 3105

Approval Body: Planning Commission

Date of Approval: August 8, 2017:

Applicant: Estrella Associates

Location: River Oaks II

APN: 025-390-009

The following conditions that have been checked are standard conditions of approval for the above referenced project. The checked conditions shall be complied with in their entirety before the project can be finalized, unless otherwise specifically indicated. In addition, there may be site specific conditions of approval that apply to this project in the resolution.

**COMMUNITY DEVELOPMENT DEPARTMENT - The applicant shall contact the Community Development Department, (805) 237-3970, for compliance with the following conditions:**

### A. GENERAL CONDITIONS – PD/CUP:

- 1. This project approval shall expire on \_\_\_\_\_ unless a time extension request is filed with the Community Development Department, or a State mandated automatic time extension is applied prior to expiration.
- 2. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Planned Development process shall not waive compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
- 3. To the extent allowable by law, Owner agrees to hold City harmless from costs and expenses, including attorney's fees, incurred by City or held to be the liability of City in connection with City's defense of its actions in any proceeding brought in any State or Federal court challenging the City's actions with respect to the project. Owner understands and acknowledges that City is under no obligation to defend any legal actions challenging the City's actions with respect to the project.
- 4. Any site specific condition imposed by the Planning Commission in approving this project (**Conditional Use Permit**) may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the approval of this project. No such

modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use for this approval.

- 5. The site shall be kept in a neat manner at all times and the landscaping shall be continuously maintained in a healthy and thriving condition.
- 6. All signs shall be subject to review and approval as required by Municipal Code Section 21.19 and shall require a separate application and approval prior to installation of any sign.
- 7. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 8. Prior to the issuance of a Building Permit a landscape and irrigation plan consistent with the Landscape and Irrigation Ordinance, shall be submitted for City review and approval. The plan needs to be designed in a manner that utilizes drought tolerant plants, trees and ground covers and minimizes, if not eliminates the use of turf. The irrigation plan shall utilize drip irrigation and limit the use of spray irrigation. All existing and/or new landscaping shall be installed with automatic irrigation systems.
- 9. A reciprocal parking and access easement and agreement for site access, parking, and maintenance of all project entrances, parking areas, landscaping, hardscape, common open space, areas and site lighting standards and fixtures, shall be recorded prior to or in conjunction with the Final Map. Said easement and agreement shall apply to all properties, and be referenced in the site Covenants, Conditions and Restrictions (CC&Rs).
- 10. All outdoor storage shall be screened from public view by landscaping and walls or fences per Section 21.21.110 of the Municipal Code.
- 11. For commercial, industrial, office or multi-family projects, all refuse enclosures are required to provide adequate space for recycling bins. The enclosure shall be architecturally compatible with the primary building. Gates shall be view obscuring and constructed of durable materials. Check with Paso Robles Waste Disposal to determine the adequate size of enclosure based on the number and size of containers to be stored in the enclosure.
- 12. For commercial, industrial, office or multi-family projects, all existing and/or new ground-mounted appurtenances such as air-conditioning condensers, electrical transformers, backflow devices etc., shall be screened from public view through the use of decorative walls and/or landscaping subject to approval by the Community Development Director or his designee. Details shall be included in the building plans.
- 13. All existing and/or new roof appurtenances such as air-conditioning units, grease hoods, etc. shall be screened from public view. The screening shall be

architecturally integrated with the building design and constructed of compatible materials to the satisfaction of the Community Development Director or his designee. Details shall be included in the building plans.

14. All existing and/or new lighting shall be shielded so as to be directed downward in such a manner as to not create off-site glare or adversely impact adjacent properties. The style, location and height of the lighting fixtures shall be submitted with the building plans and shall be subject to approval by the Community Development Director or his designee.

15. It is the property owner's responsibility to insure that all construction of private property improvements occur on private property. It is the owner's responsibility to identify the property lines and insure compliance by the owner's agents.

16. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No.835 N.S., Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to removal.

17. No storage of trash cans or recycling bins shall be permitted within the public right-of-way.

18. Prior to recordation of the map or prior to occupancy of a project, all conditions of approval shall be completed to the satisfaction of the City Engineer and Community Developer Director or his designee.

19. Two sets of the revised Planning Commission approved plans incorporating all Conditions of Approval, standard and site specific, shall be submitted to the Community Development Department prior to the issuance of building permits.

20. Prior to the issuance of building permits, the

- Development Review Committee shall approve the following:
- Planning Division Staff shall approve the following:
  - a. A detailed site plan indicating the location of all structures, parking layout, outdoor storage areas, walls, fences and trash enclosures;
  - b. A detailed landscape plan;
  - c. Detailed building elevations of all structures indicating materials, colors, and architectural treatments;
  - d. Other: grading plan review

**B. GENERAL CONDITIONS – TRACT/PARCEL MAP:**

1. In accordance with Government Section 66474.9, the subdivider shall defend, indemnify and hold harmless the City, or its agent, officers and employees, from any claim, action or proceeding brought within the time period provided for in

Government Code section 66499.37, against the City, or its agents, officers, or employees, to attack, set aside, void, annul the City's approval of this subdivision. The City will promptly notify subdivider of any such claim or action and will cooperate fully in the defense thereof.

- 2. The Covenants, Conditions, and Restrictions (CC&Rs) and/or Articles Affecting Real Property Interests are subject to the review and approval the Community Development Director, the Public Works Director and/or the City Attorney. They shall be recorded concurrently with the Final Map or prior to the issuance of building permits, whichever occurs first. A recorded copy shall be provided to the affected City Departments.
- 3. Prior to recordation of any Final Map, the owner shall petition to annex residential Tract (or Parcel Map) 3105 into the City of Paso Robles Community Facilities District No. 2005-1 for the purposes of mitigation of impacts on the City's Police and Emergency Services Departments.
- 4. Street names shall be submitted for review and approval by the Planning Commission, prior to approval of the final map.
- 5. The following areas shall be permanently maintained by the property owner, Homeowners' Association, or other means acceptable to the City:
  - All Streets and lighting
  - All Trails
  - All common landscape areas, fence and walls
  - All storm drainage facilities, basins and pipes

\*\*\*\*\*

**ENGINEERING DIVISION- The applicant shall contact the Engineering Division, (805) 237-3860, for compliance with the following conditions:**

All conditions marked are applicable to the above referenced project for the phase indicated.

**C. PRIOR TO ANY PLAN CHECK:**

- 1. The applicant shall enter into an Engineering Plan Check and Inspection Services Agreement with the City.

**D. PRIOR TO ISSUANCE OF A GRADING PERMIT:**

- 1. Prior to approval of a grading plan, the developer shall apply through the City, to FEMA and receive a Letter of Map Amendment (LOMA) issued from FEMA. The developer's engineer shall provide the required supporting data to justify the application.
- 2. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No. 553, Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree

inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to its removal.

- 3. A complete grading and drainage plan shall be prepared for the project by a registered civil engineer and subject to approval by the City Engineer. The project shall conform to the City's Storm Water Discharge Ordinance.
- 4. A Preliminary Soils and/or Geology Report providing technical specifications for grading of the site shall be prepared by a Geotechnical Engineer.
- 5. A Storm Water Pollution Prevention Plan per the State General Permit for Storm Water Discharges Associated with Construction Activity shall be provided for any site that disturbs greater than or equal to one acre, including projects that are less than one acre that are part of a larger plan of development or sale that would disturb more than one acre.

**E. PRIOR TO ISSUANCE OF A BUILDING PERMIT:**

- 1. All off-site public improvement plans shall be prepared by a registered civil engineer and shall be submitted to the City Engineer for review and approval. The improvements shall be designed and placed to the Public Works Department Standards and Specifications or as required by the City Engineer to enable orderly development.
- 2. The applicant shall submit a composite utility plan signed as approved by a representative of each public utility.
- 3. Landscape and irrigation plans for the public right-of-way shall be incorporated into the improvement plans and shall require approval by the Streets Division Supervisor and the Community Development Department.
- 4. In a special Flood Hazard Area as indicated on a Flood Insurance Rate Map (FIRM) the owner shall provide an Elevation Certificate in accordance with the National Flood Insurance program. This form must be completed by a land surveyor or civil engineer licensed in the State of California.

**F. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY OR RECORDATION OF THE FINAL MAP:**

**The Planning Commission has made a finding that the fulfillment of the construction requirements listed below are a necessary prerequisite to the orderly development of the surrounding area.**

- 1. The applicant shall pay any current and outstanding fees for Engineering Plan Checking and Construction Inspection services.
- 2. All public improvements are completed and approved by the City Engineer, and accepted by the City Council, except for maintenance which will be provided by

the Home Owners Association..

3. The owner shall improve the all of streets indicated on the map to the standard indicated in the River Oaks II Design Manual:

4. If, at the time of approval of the final map, any required public improvements have not been completed and accepted by the City the owner shall be required to enter into a Subdivision Agreement with the City in accordance with the Subdivision Map Act.

Bonds required and the amount shall be as follows:  
Performance Bond.....100% of improvement costs including contingencies.  
Labor and Materials Bond.....50% of performance bond including contingencies

5. If the existing City street adjacent to the frontage of the project is inadequate for the traffic generated by the project, or will be severely damaged by the construction, the applicant shall excavate the entire structural section and replace it with a standard half-width street plus a 12' wide travel lane and 8' wide graded shoulder adequate to provide for two-way traffic.

6. If the existing pavement and structural section of the City street adjacent to the frontage of the project is adequate, the applicant shall provide a new structural section from the proposed curb to the edge of pavement and shall overlay the existing paving to centerline for a smooth transition.

7. Due to the number of utility trenches required for this project, the City Council adopted Pavement Management Program requires a pavement overlay on \_\_\_\_\_ along the frontage of the project.

8. The applicant shall install all utilities. Street lights shall be installed at locations as required by the City Engineer. All existing overhead utilities adjacent to or within the project shall be relocated underground except for electrical lines 77 kilovolts or greater. All utilities shall be extended to the boundaries of the project.

9. The owner shall offer to dedicate to the City the following easement(s). The location and alignment of the easement(s) shall be to the description and satisfaction of the City Engineer:

- a. Public Utilities Easement;
- b. Water Line Easement;
- c. Sewer Facilities Easement;
- d. Landscape Easement;
- e. Storm Drain Easement.
- e. Recycled Water Line Easement.

10. The developer shall annex to the City's Landscape and Lighting District for payment



of the operating and maintenance costs of the following:

- a. Street lights;
  - b. Parkway/open space landscaping;
  - c. Wall maintenance in conjunction with landscaping;
  - d. Graffiti abatement;
  - e. Maintenance of open space areas.
- 
- 11. For a building with a Special Flood Hazard Area as indicated on a Flood Insurance Rate Map (FIRM), the developer shall provide an Elevation Certificate in accordance with the National Flood Insurance Program. This form must be completed by a lands surveyor or civil engineer licensed in the State of California.
  - 12. All final property corners shall be installed after prior to occupancy of any unit.
  - 13. All areas of the project shall be protected against erosion by hydro seeding or landscaping.
  - 14. All construction refuse shall be separated (i.e. concrete, asphalt concrete, wood gypsum board, etc.) and removed from the project in accordance with the City's Source Reduction and Recycling Element.
  - 15. Clear blackline mylars and paper prints of record drawings, signed by the engineer of record, shall be provided to the City Engineer prior to the final inspection. An electronic autocad drawing file registered to the California State Plane – Zone 5 / NAD83 projected coordinate system, units in survey feet, shall be provided.

\*\*\*\*\*

**PASO ROBLES DEPARTMENT OF EMERGENCY SERVICES- The applicant shall contact the Department of Emergency Services, (805) 227-7560, for compliance with the following conditions:**

**G. GENERAL CONDITIONS**

- 1.  Prior to the start of construction:
  - Plans shall be reviewed, approved and permits issued by Emergency Services for underground fire lines.
  - Applicant shall provide documentation to Emergency Services that required fire flows can be provided to meet project demands.
  - Fire hydrants shall be installed and operative to current, adopted edition of the California Fire Code.
  - A based access road sufficient to support the department's fire apparatus (HS-20 truck loading) shall be constructed and maintained for the duration of the construction phase of the project.
  - Access road shall be at least twenty (20) feet in width with at least thirteen (13) feet, six (6) inches of vertical clearance.
  
- 2.  Provide central station monitored fire sprinkler system for all residential, commercial and industrial buildings that require fire sprinklers in current, adopted edition of the California Building Code, California Fire Code and Paso Robles Municipal Code.

- Plans shall be reviewed, approved and permits issued by Emergency Services for the installation of fire sprinkler systems.
  
- 3.
  
- 4.  If required by the Fire Chief, provide on the address side of the building if applicable:
  - Fire alarm annunciator panel in weatherproof case.
  - Knox box key entry box or system.
  - Fire department connection to fire sprinkler system.
  
- 5.  Provide temporary turn-around to current City Engineering Standard for phased construction streets that exceed 150 feet in length.
  
- 6.  Project shall comply with all requirements in current, adopted edition of California Fire Code and Paso Robles Municipal Code.
  
- 7.  Prior to the issuance of Certificate of Occupancy:
  - Final inspections shall be completed on all underground fire lines, fire sprinkler systems, fire alarm systems and chemical hood fire suppression systems.
  
  - Final inspections shall be completed on all buildings.

# Vesting Tentative Tract Map No. 3105

IN THE CITY OF PASO ROBLES, CALIFORNIA

BEING A SUBDIVISION OF LOTS 1 THROUGH 4 OF TRACT 3097 FILED IN BOOK 36 OF MAPS AT PAGES 63 THROUGH 66 IN THE OFFICE OF THE COUNTY RECORDER, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA.

## OWNER

RIVER OAKS II, LLC  
P.O. BOX 4280  
PASO ROBLES, CA 93271  
(805) 238-1688

WES WILLHOIT  
ESTRELLA ASSOCIATES, INC  
P.O. BOX 4280  
PASO ROBLES, CA 93271  
(805) 238-1688

## PROJECT STATISTICS

DESCRIPTION (INCLUDED LOTS)	LOT AREA (# OF LOTS)
RESIDENTIAL LOTS (LOTS 1-144)	20.16 ac (144)
RESIDENTIAL LOTS (LOTS 145-271)	35.32 ac (127)
HOA LOTS (LOT 272 + 700 + 701)	25.41 ac (3)
POCKET PARKS (LOTS 501-516)	1.49 ac (16)
OPEN SPACE LOTS (LOT 1000-1006)	22.11 ac (7)
EXISTING LOT	7.31 ac (1)
<b>Total Area</b>	<b>111.80 ac (297)</b>

## SHEET INDEX

C1.....	TITLE SHEET
C2.....	EXISTING CONDITIONS MAP
C3.....	VESTING TENTATIVE MAP (TN)
C4.....	VESTING TENTATIVE MAP (RH)
C5.....	PHASING PLAN
C6.....	COMPOSITE UTILITY PLAN (TN)
C7.....	COMPOSITE UTILITY PLAN (RH)
C8.....	PRELIMINARY GRADING & DRAINAGE (TN)
C9.....	PRELIMINARY GRADING & DRAINAGE (RH)
C10.....	SITE SECTIONS
C11.....	HORIZONTAL & VERTICAL CONTROL
C12.....	OFF-SITE IMPROVEMENTS

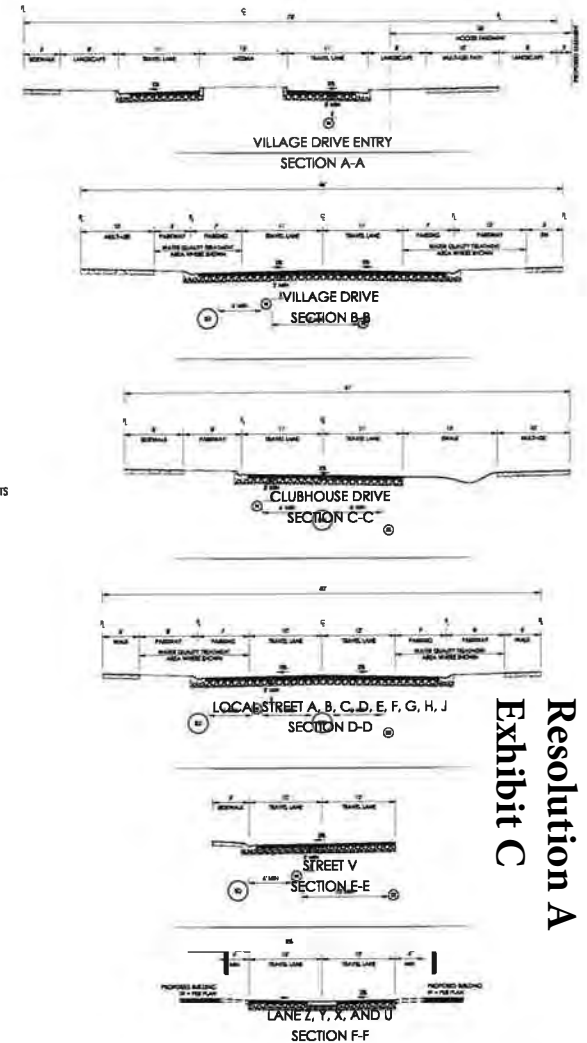
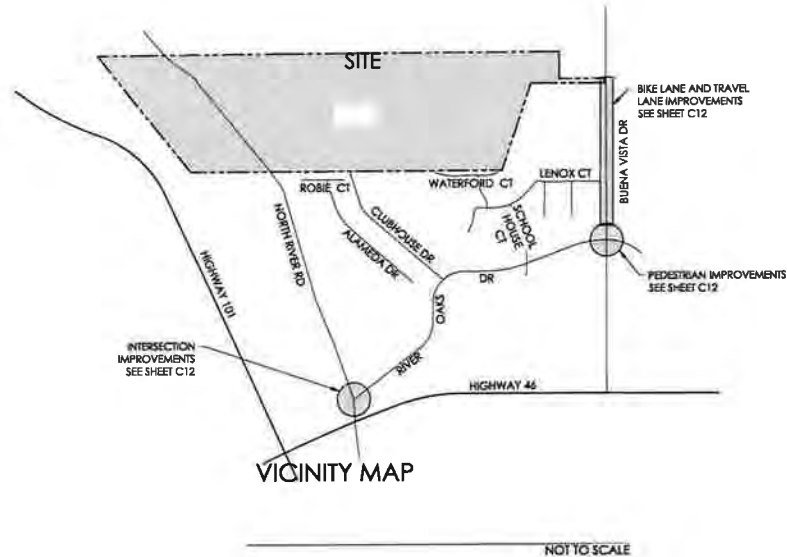
THE BASIS OF BEARING FOR THIS MAP BEING BETWEEN FOUND MONUMENTS ALONG THE SOUTHEAST LINE OF PARCEL 1 AS DESCRIBED IN CERTIFICATE OF COMPLIANCE NO. 2010049556 AND PER 104/RS/28 SURVEY, BEARING BEING N19°55'08"E

## TOPOGRAPHY

EXISTING AERIAL TOPOGRAPHIC MAPPING PROVIDED BY OTHERS.

ADDITIONAL TOPOGRAPHY PROVIDED BY RRM DESIGN ON APRIL 2017

ELECTRIC..... PACIFIC GAS & ELECTRIC  
TELEPHONE..... AT&T  
CABLE..... CHARTER COMMUNICATIONS  
GAS..... SOUTHERN CALIFORNIA GAS COMPANY  
SEWER..... CITY OF PASO ROBLES  
WATER..... CITY OF PASO ROBLES



Resolution A  
Exhibit C

TITLE SHEET

RIVER OAKS II  
TRACT 3105

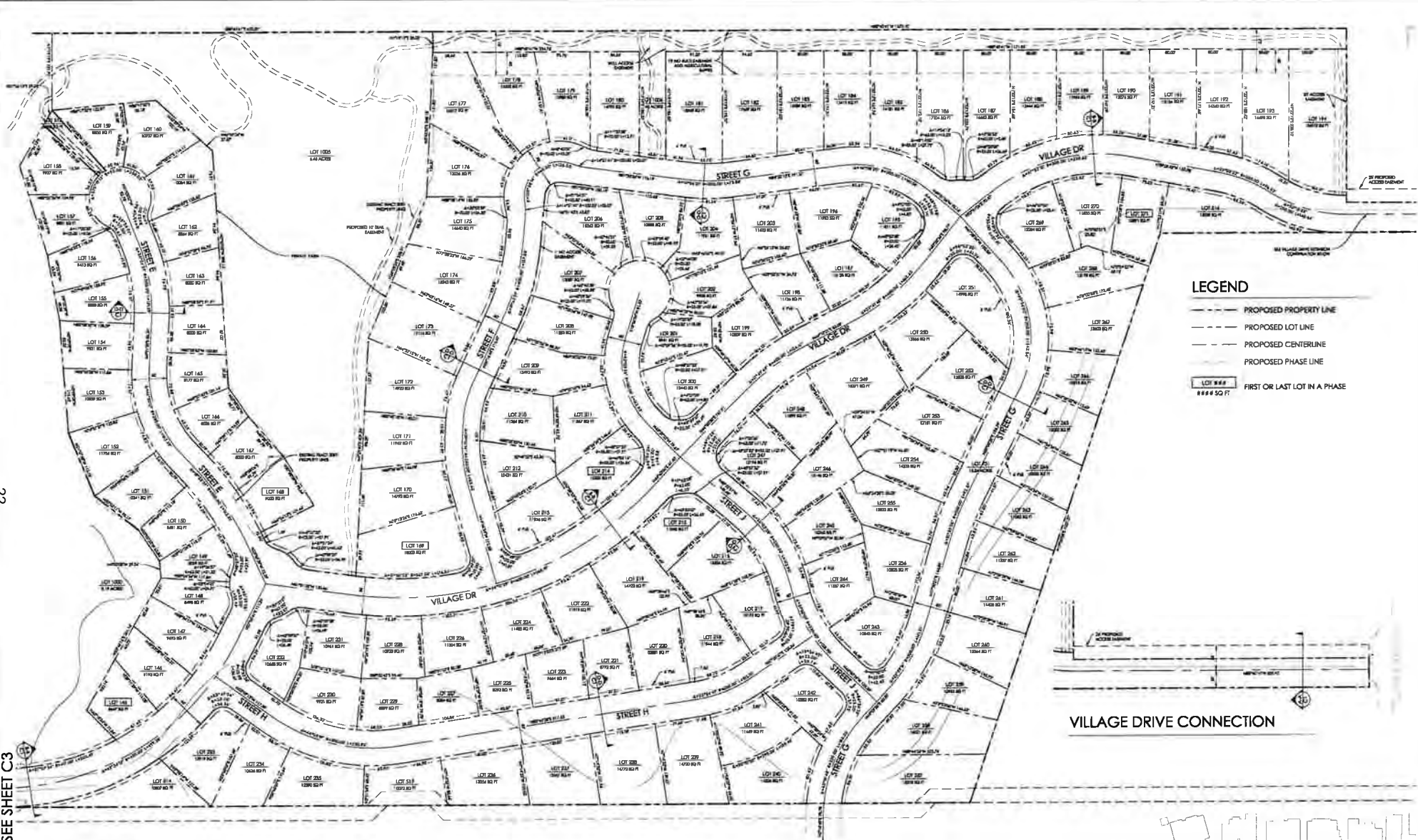
C1





22

SEE SHEET C3



**LEGEND**

- PROPOSED PROPERTY LINE
- PROPOSED LOT LINE
- PROPOSED CENTERLINE
- PROPOSED PHASE LINE
- LOT ####  
### SQ FT
- FIRST OR LAST LOT IN A PHASE

VILLAGE DRIVE CONNECTION

**NOTES**

ALL STREETS AND UTILITIES (UNLESS NOTED OTHERWISE) SHALL BE PRIVATELY MAINTAINED

PUBLIC UTILITY EASEMENT MAY BE ADJUSTED TO ACCOMMODATE TRANSFORMER AND VAULT LOCATIONS AS NECESSARY

SEE C2 FOR DISPOSITION OF EXISTING STRUCTURES AND EXISTING EASEMENT INFORMATION

SEE C5 FOR PHASING INFORMATION AND CONSTRUCTION

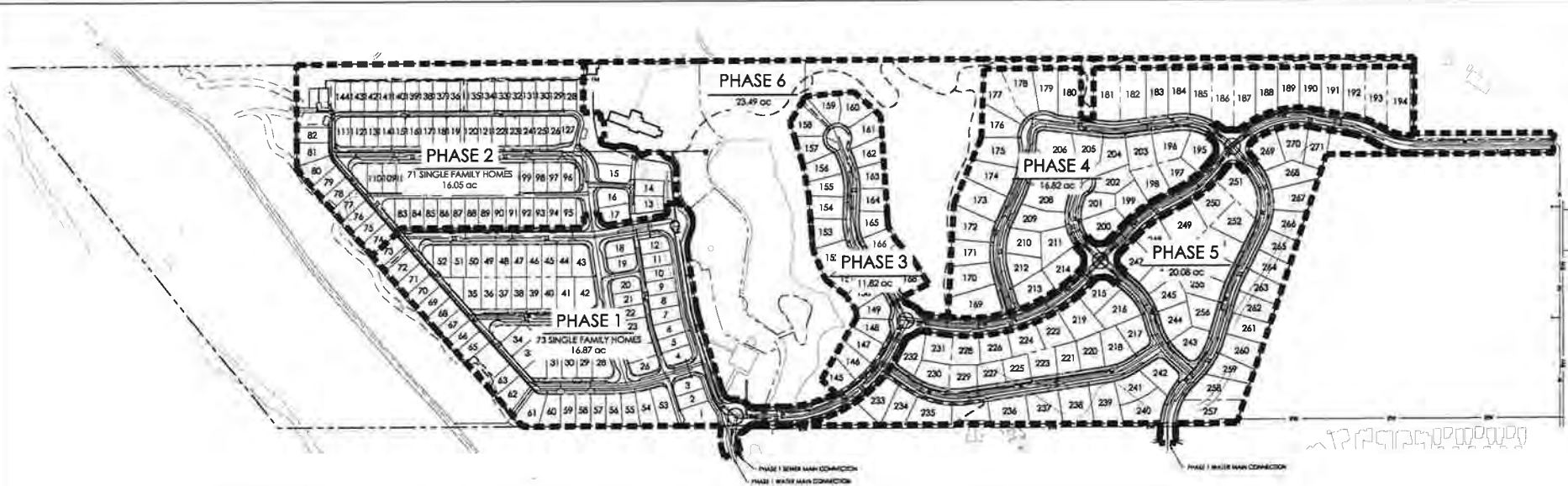
ALL ON-SITE AND OFF-SITE WELLS SHALL HAVE WELL METERS INSTALLED PER PUBLIC WORKS STANDARDS



**VESTING TENTATIVE MAP (RH)**  
July 13, 2017 — REVISED July 27, 2017



**RIVER OAKS II**  
TRACT 3105 **C4**



**PHASING TABLE**

- PHASE I — 16.67 ac**
  - LOTS 1 THROUGH 73 AND RELEVANT FRONTAGE IMPROVEMENTS
  - WATER MAIN CONNECTION AT CLUBHOUSE DR AND CONNECTION AT WATERFORD CT
  - SEWER LIFT STATION AND FORCE MAIN INFRASTRUCTURE
  - STORM DRAIN LIFT STATION AND OUTLET STRUCTURE
- PHASE II — 16.05 ac**
  - LOTS 74 THROUGH 144 AND RELEVANT FRONTAGE IMPROVEMENTS
- PHASE III — 11.82 ac**
  - LOTS 145 THROUGH 168 AND RELEVANT FRONTAGE IMPROVEMENTS
  - VILLAGE DRIVE SURFACE AND UNDERGROUND IMPROVEMENTS TO BUENA VISTA CONNECTION
  - BUENA VISTA WATER LINE EXTENSION AND CONNECTION
  - BUENA VISTA SURFACE IMPROVEMENTS (TWO TRAVEL LANES AND BIKE LANES ON EACH SIDE — NO SIDEWALKS)
  - BUENA VISTA AND RIVER OAKS DRIVE INTERSECTION IMPROVEMENTS
- PHASE IV — 16.82 ac**
  - LOTS 169 THROUGH 214 AND RELEVANT FRONTAGE IMPROVEMENTS
- PHASE V — 20.08 ac**
  - LOTS 215 THROUGH 271 AND RELEVANT FRONTAGE IMPROVEMENTS
- PHASE VI — 23.49 ac**
  - LOT 1003 SPA FACILITY EXPANSION, ACCESS, AND PARKING LOT IMPROVEMENTS
  - PRIVATE AMENITY IMPROVEMENTS
  - PRIVATE FARM AND TRAIL IMPROVEMENTS

**EARTHWORK BY PHASE**

	RAW CUT	RAW FILL	SUBTOTAL	
PHASE I	+32,700	-17,500	+15,200	cu yd
PHASE II	+29,800	-79,400	-49,600	cu yd
PHASE III	+10,900	-140,400	-129,500	cu yd
PHASE IV	+153,500	-129,000	+24,500	cu yd
PHASE V	+265,500	-196,300	+69,200	cu yd
PHASE VI	+75,900	-50,300	+25,600	cu yd
<b>SUBTOTAL</b>	<b>+508,700</b>	<b>-612,900</b>	<b>+104,200</b>	<b>cu yd</b>
<b>SHRINKAGE</b>	<b>-104,200 (17%)</b>	<b>0</b>	<b>0</b>	<b>cu yd</b>
<b>TOTALS</b>	<b>-0-</b>	<b>-0-</b>	<b>-0-</b>	<b>cu yd</b>

**EARTHWORK BALANCE NECESSITATES BORROWING OR STOCKPILING FOR ANY PHASE FROM ANY OTHER GIVEN PHASE.**

QUANTITY ESTIMATES ON THESE PLANS ARE TO BE USED FOR PERMIT PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL QUANTITIES FOR THE PURPOSE OF CONSTRUCTION.

THE RAW EARTHWORK QUANTITIES SHOWN HEREON REPRESENT THE ESTIMATED VOLUMETRIC DIFFERENCE BETWEEN THE PROPOSED ROUGH GRADE AND THE LIMITED TOPOGRAPHIC EXISTING GRADES. THESE ESTIMATES DO NOT MAKE CONSIDERATIONS FOR LOSSES OR BULKING DUE TO: SHRINKAGE, SOIL AMENDMENTS, STABILIZATION, CONSTRUCTION TECHNIQUE, FOOTING & TRENCHING SPOILS, ETC. THESE, IN ADDITION TO ACTUAL FIELD CONDITIONS AND THE FINAL RECOMMENDATIONS OF THE SOILS ENGINEER MAY SIGNIFICANTLY EFFECT THE FINAL IMPORT/EXPORT QUANTITIES.

**OFF-SITE IMPROVEMENTS**

THE NORTH RIVER ROAD AND RIVER OAKS DRIVE INTERSECTION SHALL BE RECONSTRUCTED IN ACCORDANCE WITH THE CONCEPT PLAN ADOPTED BY THE CITY COUNCIL ON OCTOBER 19TH, 2010 PRIOR TO THE 90TH BUILDING PERMIT OCCUPANCY.

SEE SHEET C12 FOR OFFSITE IMPROVEMENT DETAILS



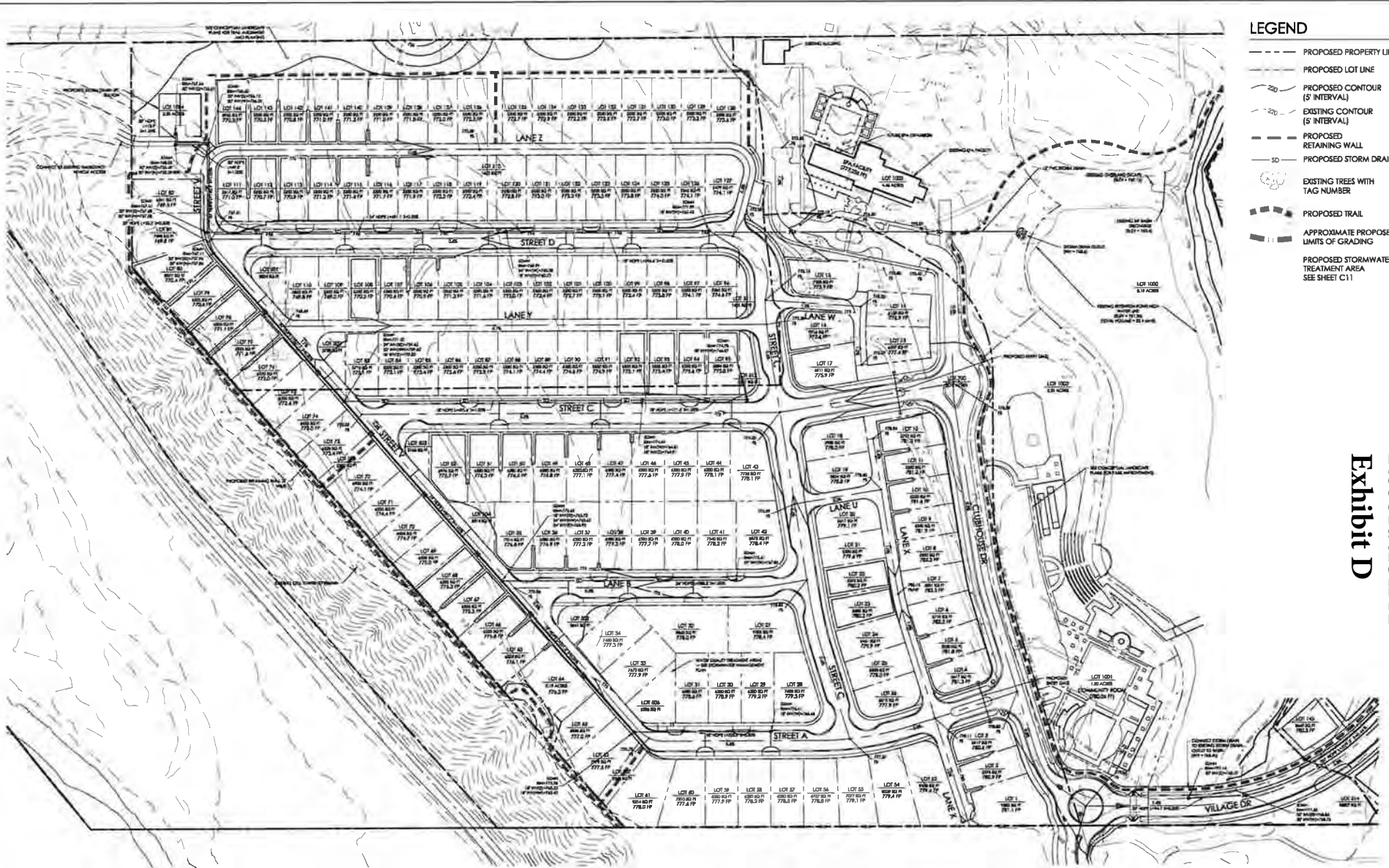
**PHASING PLAN**

July 13, 2017 — REVISED July 27, 2017



**RIVER OAKS II**  
**TRACT 3105**

**C5**



- LEGEND**
- PROPOSED PROPERTY LINE
  - PROPOSED LOT LINE
  - - - - PROPOSED CONTOUR (5' INTERVAL)
  - - - - EXISTING CONTOUR (5' INTERVAL)
  - - - - PROPOSED RETAINING WALL
  - - - - PROPOSED STORM DRAIN
  - ⊙ EXISTING TREES WITH TAG NUMBER
  - - - - PROPOSED TRAIL
  - - - - APPROXIMATE PROPOSED LIMITS OF GRADING
  - - - - PROPOSED STORMWATER TREATMENT AREA SEE SHEET C11

**NOTES**

SEE C2 FOR DISPOSITION OF EXISTING STRUCTURES AND EXISTING EASEMENT INFORMATION

SEE C5 FOR PHASING INFORMATION AND CONSTRUCTION

THE ARBORIST'S REPORT IDENTIFIES 33 OAK TREES IMPACTED PER THIS MAP. PLEASE SEE THE FULL REPORT FOR TREE REMOVALS AND TREATMENT.

STORM DRAIN INFRASTRUCTURE SHALL BE PRIVATELY MAINTAINED

**GRADING PLAN (TN)**  
 July 13, 2017 — REVISED July 27, 2017



**RIVER OAKS II**  
 TRACT 3105

SCALE: 1" = 40'

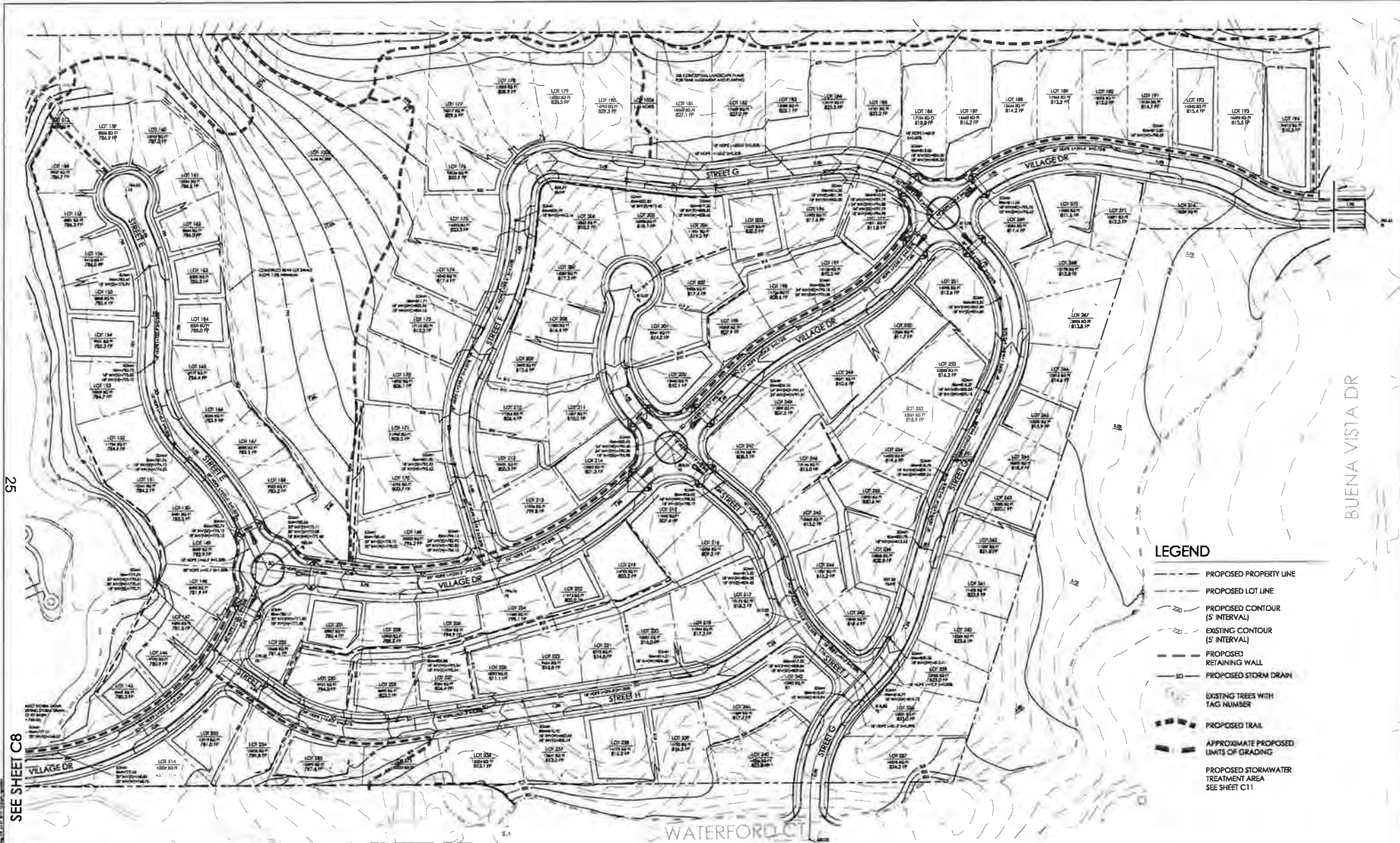
**C8**

Resolution A  
 Exhibit D  
 SEE SHEET C9



25

SEE SHEET C8



**LEGEND**

- PROPOSED PROPERTY LINE
- PROPOSED LOT LINE
- PROPOSED CONTOUR (5' INTERVAL)
- EXISTING CONTOUR (5' INTERVAL)
- PROPOSED RETAINING WALL
- PROPOSED STORM DRAIN
- EXISTING TREES WITH TAG NUMBER
- PROPOSED TRAIL
- APPROXIMATE PROPOSED LIMITS OF GRADING
- PROPOSED STORMWATER TREATMENT AREA SEE SHEET C11

**NOTES**

SEE C2 FOR DISPOSITION OF EXISTING STRUCTURES AND EXISTING EASEMENT INFORMATION

SEE C5 FOR PHASING INFORMATION AND CONSTRUCTION

THE ARBORIST'S REPORT IDENTIFIES 33 OAK TREES IMPACTED PER THIS MAP. PLEASE SEE THE FULL REPORT FOR TREE REMOVALS AND TREATMENT.

STORM DRAIN INFRASTRUCTURE SHALL BE PRIVATELY MAINTAINED



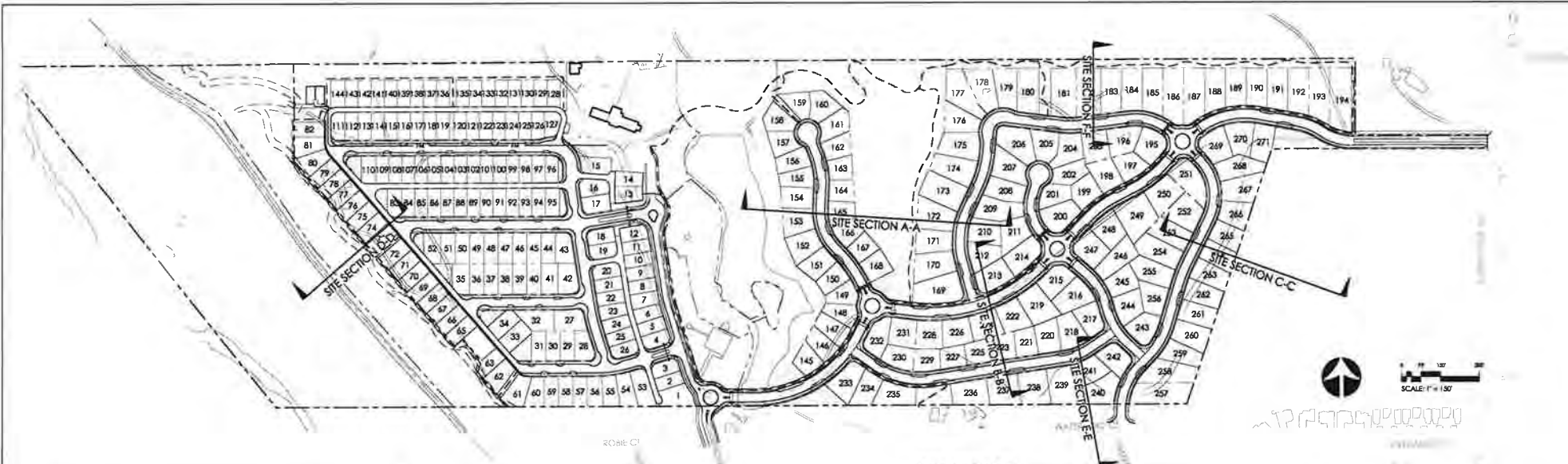
**GRADING PLAN (RH)**

July 13, 2017 — REVISED July 27, 2017



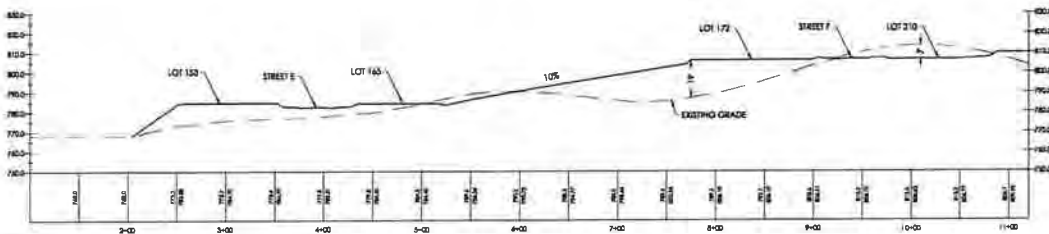
**RIVER OAKS II**  
TRACT 3105

**C9**



**SITE SECTION A-A**

HORIZ: 1" = 50'  
VERT: 1" = 25'



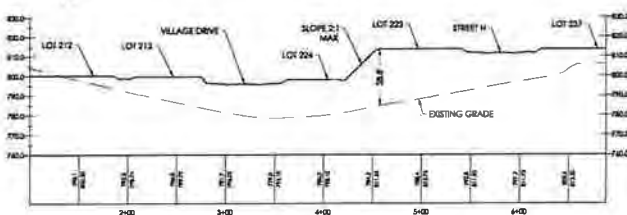
**SITE SECTION C-C**

HORIZ: 1" = 50'  
VERT: 1" = 25'



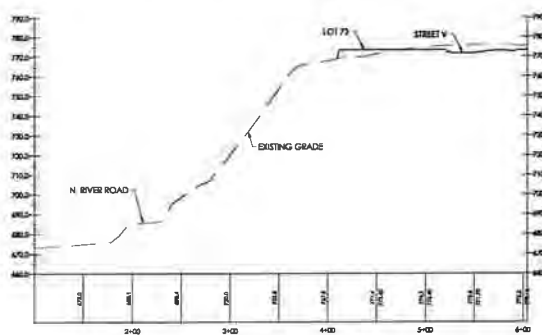
**SITE SECTION B-B**

HORIZ: 1" = 50'  
VERT: 1" = 25'



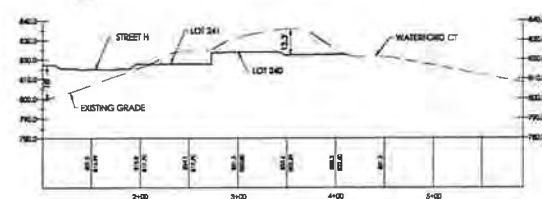
**SITE SECTION D-D**

HORIZ: 1" = 50'  
VERT: 1" = 25'



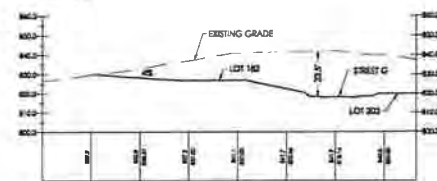
**SITE SECTION E-E**

HORIZ: 1" = 50'  
VERT: 1" = 25'



**SITE SECTION F-F**

HORIZ: 1" = 50'  
VERT: 1" = 25'



26



**SITE SECTIONS**

July 13, 2017 — REVISED July 27, 2017

**RIVER OAKS II C10**  
TRACT 3105



# Exhibit E

## PLANT SCHEDULE SHINGLE

TREES	BOTANICAL NAME	COMMON NAME	COBT	W/COLS	REMARKS
	PISTACHIA CHAMENSIS	CHAMISE PISTACHE	24"X20"	LOW	STD
	PODOCARPUS MACROPHYLLUS 'MAY'	SHRUBBY YEW	24"X20"	MODERATE	
	STREET TREE REFER TO STREET TREE PLANS 24"X20"				
SHRUBS	BOTANICAL NAME	COMMON NAME	SPACING	REMARKS	
	CAREX TURKICICOLA	BERKELEY SEDGE	24" x 6"		
	CARPENTERIA CALIFORNICA	BUSH ANEMONE	24" x 6"		
	FLOERBA CARPET ROSE 'RED'	RED CARPET ROSE	36" x 6"		
	SPHACELIPIS UMBELLATA 'MINOR'	YEDDA HAWTHORN	36" x 6"		
	VERBENA RIGIDA	SANDPAPER VERBENA	36" x 6"		
GROUND COVERS	BOTANICAL NAME	COMMON NAME	REMARKS		
	PARKWAY PLANTING REFER TO STREETSCAPE PLANS				
	SOD				

## PLANT SCHEDULE PRAIRIE

TREES	BOTANICAL NAME	COMMON NAME	COBT	W/COLS	REMARKS
	PISTACHIA CHAMENSIS	CHAMISE PISTACHE	24"X20"	LOW	STD
	PODOCARPUS MACROPHYLLUS 'MAY'	SHRUBBY YEW	24"X20"	MODERATE	
	STREET TREE REFER TO STREET TREE PLANS 24"X20"				
SHRUBS	BOTANICAL NAME	COMMON NAME	SPACING	REMARKS	
	CAREX TURKICICOLA	BERKELEY SEDGE	24" x 6"		
	MALLUS ALBERTANUS	STICKY MONKEY FLOWER	24" x 6"		
	SALVIA CLEVELANDI	CLEVELAND Sage	48" x 6"		
GROUND COVERS	BOTANICAL NAME	COMMON NAME	REMARKS		
	PARKWAY PLANTING REFER TO STREETSCAPE PLANS				
	SOD				

## PLANT SCHEDULE MONTEREY

TREES	BOTANICAL NAME	COMMON NAME	COBT	W/COLS	REMARKS
	ABUTILON 'STANDARD'	ABUTILON STANDARD	24"X20"	LOW	STD
	PODOCARPUS MACROPHYLLUS 'MAY'	SHRUBBY YEW	24"X20"	MODERATE	
	STREET TREE REFER TO STREET TREE PLANS 24"X20"				
SHRUBS	BOTANICAL NAME	COMMON NAME	SPACING	REMARKS	
	ACHILLEA MILEFOLIUM 'MOONSHINE'	YARROW	24" x 6"		
	CAREX TURKICICOLA	BERKELEY SEDGE	24" x 6"		
	EUDYMIUS JAPONICUS	JAPANESE SPINDLE	36" x 6"		
	MELICENBERGIA RIGIDA	DEER GRASS	36" x 6"		
GROUND COVERS	BOTANICAL NAME	COMMON NAME	REMARKS		
	PARKWAY PLANTING REFER TO STREETSCAPE PLANS				
	SOD				

Visit <http://www.berkeleywater.org/ir/ircalculator/ircalculator.aspx>

**Site Information**

Site Name:   
 Site Type:   
 Annual Rain (inches/yr):

Hydrozone or Planting Strategy	Plant Factor (PF)	Irrigation Method	Application Efficiency (E)	ETAF (PF/E)	Reference Area (sq-ft)	ETAF x Area	Estimated Total Water Use (gal/yr)
1	0.7	High	0.95	0.74	200	148	6,232
2	0.7	Low	0.85	0.82	800	656	27,440
				<b>SUBTOTAL</b>	<b>1,000</b>	<b>804</b>	<b>33,672</b>
<b>Special Landscaping Areas</b>							
3					0	0	0
4					0	0	0
5					0	0	0
6					0	0	0
7					0	0	0
8					0	0	0
				<b>SUBTOTAL</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>Estimated Total Water Use (ETWU)</b>							<b>33,672</b>
<b>Maximum Allowed Water Allowance (MAWA)</b>							<b>21,952</b>

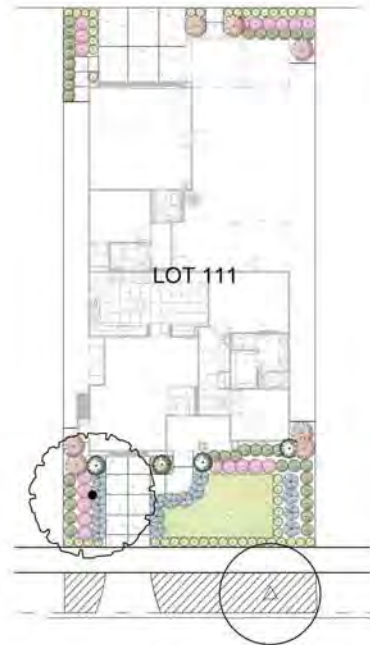
**ETAF Calculations:**

Special Landscaping Area	Total ETAF x Area	148
Total Area	Average ETAF	0.82
Special Landscaping Area	Total ETAF x Area	0
Total Area	Average ETAF	0.76

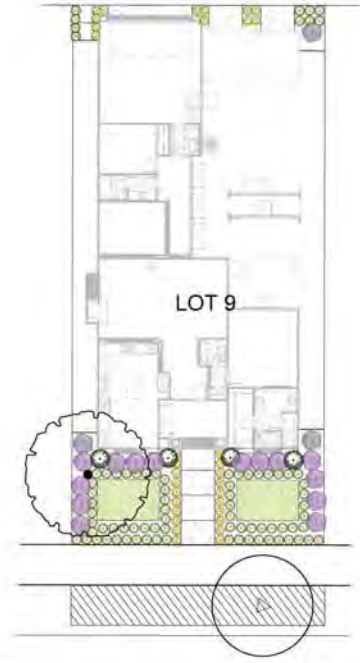
**Notes:**

ETWU uses 0.55-0.65 default evapotranspiration coefficient for this site type.

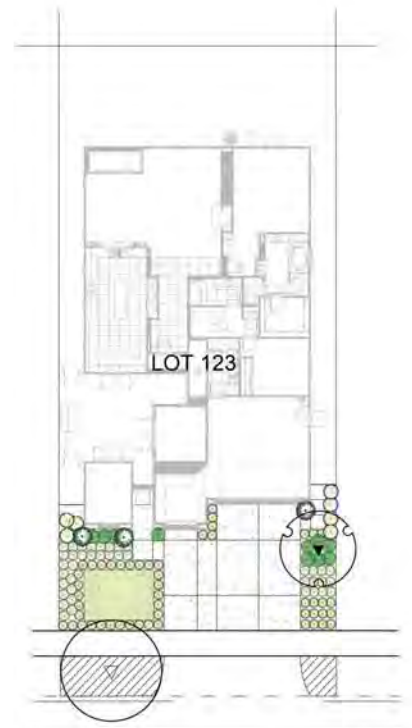
Consultation required July 21, 2025.  
 This calculation is for estimating purposes only.  
 Review evapotranspiration coefficient for use of this calculation.



1 SHINGLE (TYPICAL) LANE LOADED



2 PRAIRIE (TYPICAL) LANE LOADED



3 MONTEREY (TYPICAL) FRONT LOADED

- NOTE: ALL PLANTER AREAS TO RECEIVE 3" LAYER OF BARK MULCH.
- NOTE: FRONT YARD TYPICAL TO BE IRRIGATED PER CURRENT STATE OF CALIFORNIA WATER USE MANDATE.
- NOTE: IRRIGATION CONTROLLER TO BE AUTOMATIC WEATHER BASED SYSTEMS AS REQUIRED BY CALIFORNIA STATE MANDATE.
- NOTE: ALL TREES WITHIN 5' OF HARDSCAPE TO RECEIVE LINEAR ROOT BARRIERS.

## PLANT SCHEDULE ARTS AND CRAFTS

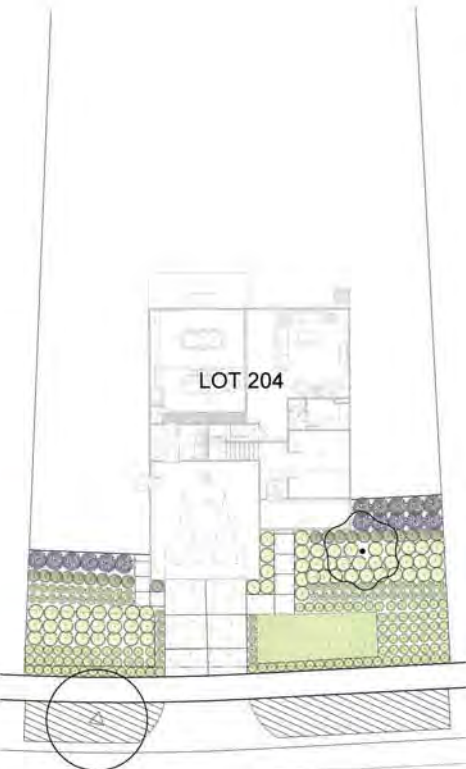
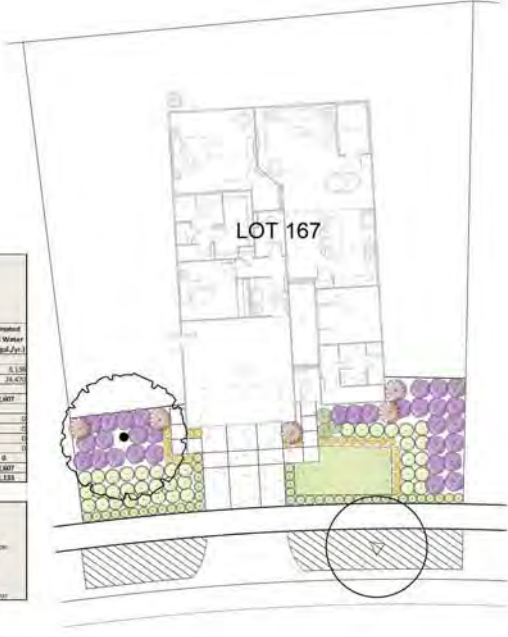
TREES	BOTANICAL NAME	COMMON NAME	CONT.	WINDS	REMARKS
5	PISTACIA CHINENSIS	CHINESE PISTACHE	24"BOX	LOW	STD
5	STREET TREE	REFER TO STREET TREE PLANS	24"BOX		
SHRUBS	BOTANICAL NAME	COMMON NAME	SPACING	REMARKS	
5	CALAMAGROSTIS X ACUTIFLORA 'KARL FORBSTER'	FEATHER REED GRASS	36" x 6"		
5	CAREX TAMBULICOLA	BERKELEY SEDGE	24" x 6"		
5	CARPENTERIA CALIFORNICA	BUSH ANEMONE	36" x 6"		
5	MABULUS AURANTACUS	STICKY MONKEY FLOWER	24" x 6"		
5	MULLENBERGIA FICENS	DEER GRASS	36" x 6"		
5	SALVIA CLEVELANDI	CLEVELAND BASIL	48" x 6"		
GROUND COVERS	BOTANICAL NAME	COMMON NAME	REMARKS		
		PARKWAY PLANTING REFER TO STREETSCAPE PLANS			
		SOD			

## PLANT SCHEDULE WINE COUNTRY

TREES	BOTANICAL NAME	COMMON NAME	CONT.	WINDS	REMARKS
5	LAURISTROEMA INDICA	GRAPE MYRTLE	24"BOX	LOW	STD
5	STREET TREE	REFER TO STREET TREE PLANS	24"BOX		
SHRUBS	BOTANICAL NAME	COMMON NAME	SPACING	REMARKS	
5	CAREX TAMBULICOLA	BERKELEY SEDGE	24" x 6"		
5	OSTRIS X PURPUREUS	ORCHID ROCKPOSE	48" x 6"		
5	HELICHRIS MAURIA 'SANTA ANA CARDINAL'	ISLAND ALUM ROOT	24" x 6"		
5	MULLENBERGIA FICENS	DEER GRASS	36" x 6"		
5	RYPHILOPSIS LAMPELLATA 'MINOR'	YOGA HAWTHORN	36" x 6"		
GROUND COVERS	BOTANICAL NAME	COMMON NAME	REMARKS		
		PARKWAY PLANTING REFER TO STREETSCAPE PLANS			
		SOD			

## PLANT SCHEDULE FARMHOUSE

TREES	BOTANICAL NAME	COMMON NAME	CONT.	WINDS	REMARKS
5	ARALIS X MARINA	ARBITUS STANDARD	24"BOX	LOW	STD
5	STREET TREE	REFER TO STREET TREE PLANS	24"BOX		
SHRUBS	BOTANICAL NAME	COMMON NAME	SPACING	REMARKS	
5	PODOCARPUS MACROPHYLUS 'BAKI'	SHRUBBY YEW	24"BOX	MODERATE	
5	CALAMAGROSTIS X ACUTIFLORA 'KARL FORBSTER'	FEATHER REED GRASS	36" x 6"		
5	COTONE COGONORA 'PINK CHAMPAGNE'	PINK CHAMPAGNE SMOKY TREE	18" x 6"		
5	EVONYMUS JAPONICUS	JAPANESE SPINDLE	36" x 6"		
5	HEMEROCALLIS X 'STELLA DE ORC'	STELLA DE ORC DAYLILY	24" x 6"		
5	MULLENBERGIA FICENS	DEER GRASS	36" x 6"		
5	PEROVSKIA ATRIPLEXIFOLIA	RUSSIAN SAGE	36" x 6"		
5	PHOTINA X FRASERI	PHOTINA	72" x 6"		
GROUND COVERS	BOTANICAL NAME	COMMON NAME	REMARKS		
		PARKWAY PLANTING REFER TO STREETSCAPE PLANS			
		SOD			



**Site Information**

Site Name: River Oaks II - River Oaks  
 Site Type: Residential  
 Annual Rain (Inches/Yr): 42.5

Hydrozone of Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAP (ET/FT)	Hydrozone Area (sq-ft)	ETAP x Area	Estimated Total Water Use (gal/yr)
Regular Landscape Area	1	High	Overhead Sprink	0.70	0.4	225	6,136
	2	Low	None	0.50	0.5	250	24,452
				<b>SUBTOTAL</b>	<b>3,900</b>	<b>941</b>	<b>32,607</b>
Special Landscape Area							
8							
10							
11							
12							
				<b>SUBTOTAL</b>	<b>0</b>	<b>0</b>	<b>0</b>
				<b>Estimated Total Water Use (ETAWU)</b>			<b>32,607</b>
				<b>Maximum Allowed Water Allowance (MAWA)</b>			<b>43,133</b>

**ETAP Calculations**

Regular Landscape Area: 3,900 sq-ft  
 Total ETAP x Area: 941  
 Total Area: 3,900  
 Average ETAP: 0.68

**Notes:**

ETAP entry 6844 requirements.  
 Average ETAP exceeds requirement for this site type.  
 Calculator developed July 27, 2023.  
 This calculation is for estimated purposes only.  
 Owner assumes no liability for use of this calculator.

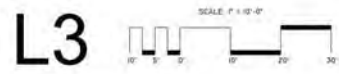
- NOTE: ALL PLANTER AREAS TO RECEIVE 3" LAYER OF BARK MULCH.
- NOTE: FRONT YARD TYPICAL TO BE IRRIGATED PER CURRENT STATE OF CALIFORNIA WATER USE MANDATE.
- NOTE: IRRIGATION CONTROLLER TO BE AUTOMATIC WEATHER BASED SYSTEMS AS REQUIRED BY CALIFORNIA STATE MANDATE.
- NOTE: ALL TREES WITHIN 5' OF HARDSCAPE TO RECEIVE LINEAR ROOT BARRIERS.

1 ARTS AND CRAFTS (TYPICAL)

2 WINE COUNTRY (TYPICAL)

3 FARMHOUSE CORNER LOT

## RIVER OAKS II - TENTATIVE MAP 3105 Front Yard Typical Conceptual Landscape Plan (RH)



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 LANDSCAPE ARCHITECTURE  
 www.landscapestudios.com

488 Pali Street, Suite 26  
 Palo Alto, California 94301  
 Phone: 650-266-1810  
 Fax: 650-266-1811

Use design values unless otherwise indicated in schedule or notes.

Site Information  
 Site Name → River Oaks II - Phase 2B (Riverside)  
 Site Type → Residential  
 Annual Eto (inches/yr) → 62.5

Hydrozone or Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Hydrozone Area (sqft)	ETAF x Area	Estimated Total Water Use (gal./yr)	
Regular Landscape Areas								
1	0.3	Low	DSR	0.8	4,509	1,705	10,513	
SUBTOTAL →							4,509	1,705
Special Landscape Areas								
9					1	0	0	
10					1	0	0	
11					1	0	0	
12					1	0	0	
SUBTOTAL →							0	0
Estimated Total Water Use (ETWU) →							65,918	
Maximum Allowed Water Allowance (MAWA) →							97,888	

ETAF Calculations	Notes
Regular Landscape Areas	ETWU meets MAWA requirements.
Total ETAF x Area	Average ETAF meets requirements for this site type.
Total Area	
Average ETAF	

All Landscape Areas
Total ETAF x Area
Total Area
Average ETAF

Calculator developed July 27, 2023  
 This calculator is for conceptual purposes only.  
 Water quantities are highly dependent on site conditions.

- NOTE:** ROUNDABOUT TO HAVE LIGHT FIXTURES PLACED THROUGHOUT AS NECESSARY PER PHOTOMETRIC STUDY.
- NOTE:** ALL PLANTER AREAS TO RECEIVE 3" LAYER OF BARK MULCH.
- NOTE:** ROUNDABOUT WILL BE IRRIGATED PER CURRENT STATE OF CALIFORNIA WATER USE MANDATE.
- NOTE:** IRRIGATION CONTROLLER TO BE AUTOMATIC WEATHER BASED SYSTEMS AS REQUIRED BY CALIFORNIA STATE MANDATE.
- NOTE:** ALL TREES WITHIN 5' OF HARDSCAPE TO RECEIVE LINEAR ROOT BARRIERS.

### PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT.	USUCLC	REMARKS
	AMBITUS X MARINA	AMBUTUS STANDARD	24"BOX	LOW	STD.
	QUERCUS AGROFOLIA	COAST LIVE OAK	48"BOX	VERY LOW	STD.
	QUERCUS AGROFOLIA	COAST LIVE OAK	48"BOX	VERY LOW	NATURAL (S)
SHRUBS	BOTANICAL NAME	COMMON NAME	SPACING	REMARKS	
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	30" c.c.		
	CAREX TURKICOLA	BERKELEY SEDGE	30" c.c.		
	HEUCHERA MAXIMA 'SANTA ANA CARDINAL'	ISLAND ALUM ROOT	30" c.c.		



1 ROUNDABOUT PERSPECTIVE





# Exhibit E

## CONCEPT PLANT SCHEDULE

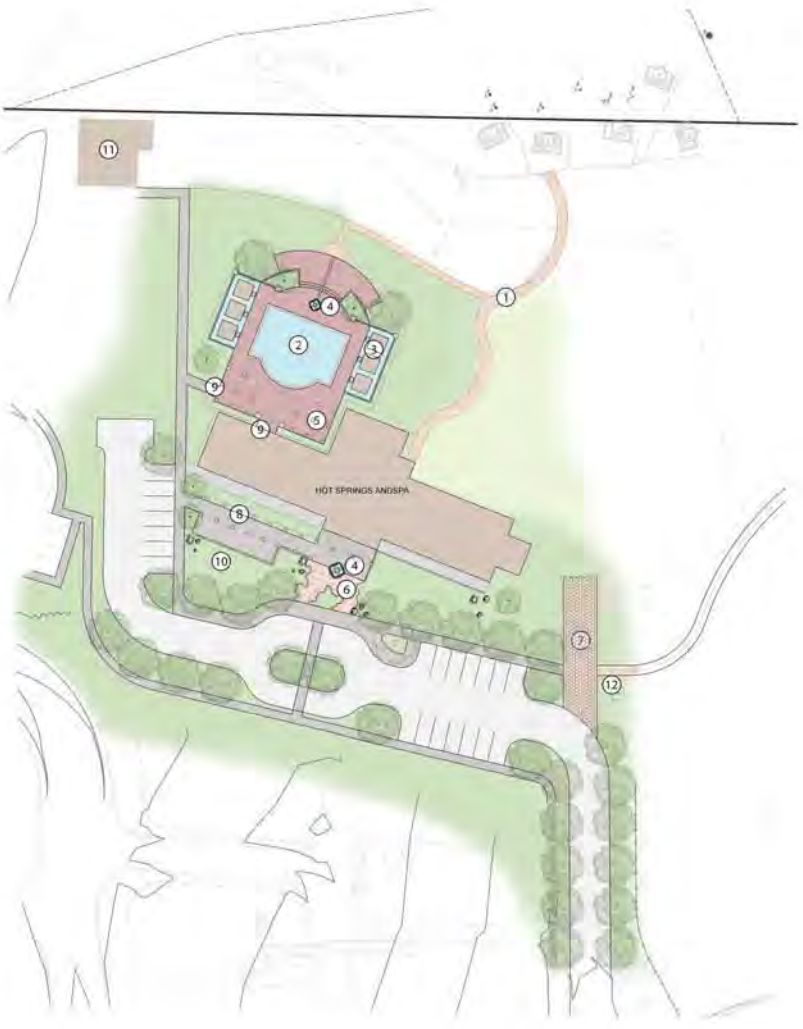
- AGENCY TREE (TYPE 1)**
- ARJUNIA CALIFORNICA / CALIFORNIA BUCKEYE
  - ARBUBUS X MARINA / ARBUTUS STANDARD
  - BROCHETEA JAPONICA / LOGAN
  - LAGERSTRÖMIA INDICA / DRUMS SPRINCLE
  - LAURUS NOBILIS / SANBART / WEST BAY
  - OLEA EUROPAEA / OLIVE MULTITRUNK
  - PELARGONIA DARMSTADTENSIS / PINEAPPLE
  - UMBELLIFERA CALIFORNICA / CALIFORNIA LAUREL
- AGENCY TREE (TYPE 2)**
- ALNUS RHOMBIFOLIA / WHITE ALDER
  - GRISCHU BLOEA / MADONNA TREE
  - PLATANUS RAGENSIS / CALIFORNIA SYCAMORE
  - PLATANUS X ACERIFOLIA / LOGAN PLANE TREE
  - PONULUS TRICHOCARPUS / BLACK COTTONWOOD
  - QUERCUS AGRIFOLIA / COAST LIVE OAK
  - QUERCUS LORNA / VALLEY OAK
- AGENCY AREA SHRUBS**
- ACIA BELLOSIANA / PINEAPPLE GUAVA, FELDA
  - ACHILLEA MELLEIFOLIA / BUCKWHEAT
  - BACCHARIS PILLULARIS / PROSA POINT / COYOTE BRUSH
  - CAMPANTHERA CALIFORNICA / BUSH ANEMONE
  - CERATOPHYLLUM THYRSIFLORUM / YANKEE POINT / HANKEE POINT
  - CERASTIUM TOMENTOSUM / SHORN IN SILVER
  - CISTUS X PURPUREUS / GRASS BUCKWHEAT
  - COTONEASTER DAMMERI / LOWEAST BEARBERRY
  - COTONEASTER COTONEASTER
  - ERIODENDRUM CALIFORNICUM / CALIFORNIA TUCKER
  - ERIODENDRUM FASCICULATUM / COMMON BUCKWHEAT
  - FLOWER CARRIET ROSE / RED CARRIET ROSE
  - FREMONTODENDRON CALIFORNICUM / CALIFORNIA PLANNED BUSH
  - GAULTHERIA CALIFORNICA / WHITE GAUBA
  - HELIANTHUS ANNUUS / CHEVYOT / SUNROSE
  - HEMIBODALIS X STELLA DE ORO / STELLA DE ORO DAISY
  - HERCULES ARISTIFOLIA / TOYON
  - JUNCUS EFFRUSUS / SOFT RUSH
  - JUNCUS PATENS / CALIFORNIA GRAY RUSH
  - KNIPPOSA LARVA / TONCHILY
  - LAURELIA ANGISTRIFOLIA / ENGLISH LAVENDER
  - LAURELIA DENTATA / FRENCH LAVENDER
  - LAURELIA STECHAS / SPANISH LAVENDER
  - LEUCISTHUS JAPONICUS / TEAKWOOD / WAX LEAF PRIVET
  - LOMANERA LONGIFOLIA / NAT RUSH
  - MIMULUS ALPINEUS / STOCK MONKEY FLOWER
  - MIMULUS GUTTATUS / BEER MONKEY OWER
  - MULLEBERGIA RIGENS / DEER GRASS
  - MONARDIA DOMESTICA / HIGHLYT BARKWOOD
  - ONONCHIS CAESPITOSA MARGINATA / WHITE EVENING PRIMROSE
  - ONONCHIS CALIFORNICA / CALIFORNIA EVENING PRIMROSE
  - PENTSTEMON CENTRANTHIFOLIUS / SCARLET BULLER
  - PEROVSKIA ATRIPLEX / FLUSSING SAGE
  - PRUNUS EUROPIA LYONS / CATALINA CHERRY
  - PRUNUS CALIFORNICA / MOUNT SAN BRUNO / CALIFORNIA COFFEEBERRY
  - RHUS INTERFOLIA / LEMONADE BERRY
  - RHUS OVATA / BUDAW BUSH
  - RIBES SPECIOSUM / FLORIDA FLOWERING GOOSEBERRY
  - ROSA CALIFORNICA / CALIFORNIA WILD ROSE
  - SAUX LASOLEPIE / ANCHO WILLOW
  - SAMBUCUS MEXICANA / MEADOW ELDERBERRY
  - SEYRANOLM BELLUM / BLUE EYED GRASS
  - STACHYS BYZANTINA / LAMB'S EAR
  - TEUCRIUM CHAMANTERIS / GERMANICA
  - VERBENA RIGIDA / SANDPAPER VERBENA
  - WOODRANGIA FIMBRATA / ISANT CHALK FERU
- LANDSCAPE PLANTER**
- MEADOW PLANTER**
- D.G. PAVING**
- CONCRETE UNIT PAVING**
- CONCRETE PAVING**

Site Information							
Site Name: River Oaks II - Hot Springs and Spa							
Site Type: Residential							
Acreage (Total/Useful): 52.2							
Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAP (ET/IE)	Hydrozone Area (sq ft)	ETAP x Area	Estimated Total Water Use (gals/yr)
Major Landscape Area	1	Low	0.8	0.4	22,993	9,539	324,555
				<b>SUBTOTAL</b>	<b>22,993</b>	<b>9,539</b>	<b>324,555</b>
<b>ETAP Calculations</b>							
Major Landscape Area							
Total ETAP x Area							
Total Area							
Average ETAP							
Major Landscape Area							
Total ETAP x Area							
Total Area							
Average ETAP							

- NOTE:** HOT SPRINGS & SPA TO HAVE LIGHT FIXTURES PLACED THROUGHOUT AS NECESSARY PER PHOTOMETRIC STUDY.
- NOTE:** ALL PLANTER AREAS TO RECEIVE 3" LAYER OF BARK MULCH.
- NOTE:** HOT SPRINGS & SPA WILL BE IRRIGATED PER CURRENT STATE OF CALIFORNIA WATER USE MANDATE.
- NOTE:** IRRIGATION CONTROLLER TO BE AUTOMATIC WEATHER BASED SYSTEMS AS REQUIRED BY CALIFORNIA STATE MANDATE.
- NOTE:** ALL TREES WITHIN 5' OF HARDSCAPE TO RECEIVE LINEAR ROOT BARRIERS.

### SCHEDULE

- 1 MINERAL TUB PEDESTRIAN CONNECTION
- 2 WARM MINERAL POOL
- 3 ISLAND CABANA
- 4 FOUNTAINS
- 5 TRELLIS
- 6 FLAGSTONE PAVING
- 7 D.G. EMERGENCY FIRE ACCESS
- 8 ENTRY TRELLIS
- 9 POOL ENTRY
- 10 OUTDOOR GATHERING AREA
- 11 FUTURE MAINTENANCE BUILDING
- 12 EXISTING WARM MINERAL WELL



SCALE: 1" = 30'-0"

**Design Studios**  
LANDSCAPE ARCHITECTURE

1888 Paul Street, Suite 202  
Folsom, CA 95630  
Phone: 916.209.1970  
www.designstudios.com

Date: 09/10/17 1:02 pm Rev: 147018



Site Information							
Site Name: River Oaks II, Phase B							
Site Type: Residential							
Annual Ho (Inches/Year): 43.1							
Hydronic or Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (%)	ETAF (ET/EO)	Hydronic Area (sq ft)	ETAF x Area	Estimated Total Water Use (Gal Per Year)
<b>Regular Landscape Areas</b>							
1	0.7	100%	Overhead Sprink	0.75	87	65.25	234,597
2	0.4	100%	Overhead Sprink	0.75	10,8	81.00	418,108
3	0.3	100%	Overhead Sprink	0.75	34,4	25.80	278,048
				<b>SUBTOTAL</b>	<b>53,83</b>	<b>172.05</b>	<b>930,753</b>
<b>Special Landscape Areas</b>							
4					0	0	0
5					0	0	0
6					0	0	0
7					0	0	0
8					0	0	0
9					0	0	0
10					0	0	0
11					0	0	0
12					0	0	0
				<b>SUBTOTAL</b>	<b>0</b>	<b>0</b>	<b>0</b>
				<b>Estimated Total Water Use (ETWU)</b>	<b>0</b>	<b>0</b>	<b>930,753</b>
				<b>Maximum Allowed Water Allowance (MAWA)</b>	<b>0</b>	<b>0</b>	<b>1,150,000</b>

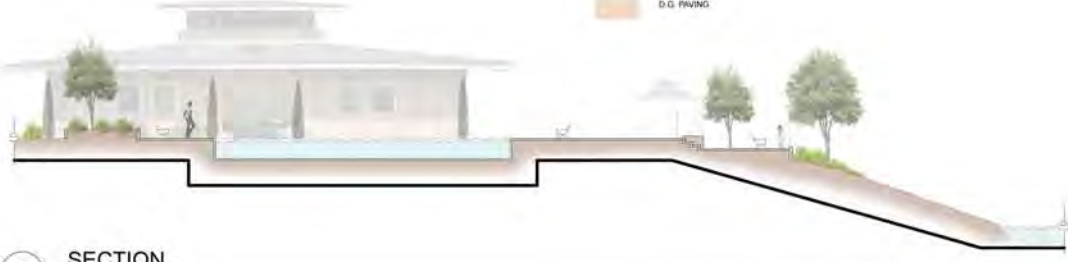
ETM Calculations		Notes:	
Regular Landscape Areas	Total ETM x Area	24,226	ETWU must be MAWA requirement.
	Total Area	13,302	
	Average ETM	0.85	
All Landscape Areas	Total ETM x Area	34,226	Calculator downloaded July 27, 2015. This calculator does not account for wind speed only. Water use must be verified for use of this calculator.
	Total Area	13,302	
	Average ETM	0.85	

- NOTE:** COMMUNITY CENTER TO HAVE LIGHT FIXTURES PLACED THROUGHOUT AS NECESSARY PER PHOTOMETRIC STUDY.
- NOTE:** ALL PLANTER AREAS TO RECEIVE 3" LAYER OF BARK MULCH.
- NOTE:** COMMUNITY CENTER WILL BE IRRIGATED PER CURRENT STATE OF CALIFORNIA WATER USE MANDATE.
- NOTE:** IRRIGATION CONTROLLER TO BE AUTOMATIC WEATHER BASED SYSTEMS AS REQUIRED BY CALIFORNIA STATE MANDATE.
- NOTE:** ALL TREES WITHIN 5' OF HARDSCAPE TO RECEIVE LINEAR ROOT BARRIERS.

## CONCEPT PLANT SCHEDULE

- AMENITY TREE (TYPE 1)**
  - AGAVEUS CALIFORNICA / CALIFORNIA BUCKEYE
  - ARJUTUS X WARNA / ARJUTUS STANDARD
  - FRAXINUS AMERICANA / COQUIL
  - LAGERSTROEMIA PANICOLA / GRAPE WHITELE
  - LAURUS NOBILIS / SAN DIEGO / STREET BAY
  - OLEA EUROPAEA / OLIVE MULTI TRUNK
  - PISTACIA CHINENSIS / SPANISH PISTACHE
  - UNBELLULARIA CALIFORNICA / CALIFORNIA LAUREL
- AMENITY TREE (TYPE 2)**
  - ALNUS INCANUS / WHITE ALDER
  - GRINGO BLOSA / MADENHUR TREE
  - PLATANUS RADICATA / CALIFORNIA SYCAMORE
  - PLATANUS X ACERIFOLIA / LONDON PLANE TREE
  - POPULUS TRICHOCARPIS / BLACK COTTONWOOD
  - QUERCUS AGROFOLIA / COAST LIVE OAK
  - QUERCUS LOBATA / VALLEY OAK
- AMENITY AREA SHRUBS**
  - ACCA BELLOWIANA / PINEAPPLE GUAVA, FELDA
  - ADONIS MILLEFOLIUM / MOONSHINE / YANROW
  - BACCHARIS PULULARIS / PIGEON POINT / COYOTE BRUSH
  - CARYOPHYLLUS CALIFORNICA / BUSH ANEMONE
  - CEANOTHUS THYRSIFLORUS VAR. GRISEUS / YANKEE POINT / YANKEE POINT
  - CERATIFOLIUM / TOMMYHORN / SANDY BE BEARER
  - CISTUS X PURPUREUS / ORCHID ROCKROSE
  - COTONEASTER DAMMER / LOW AUST / LOW AUST BEARBERRY COTONEASTER
  - EPHEDRUM CALIFORNICUM / CATALINA / CALIFORNIA FUCHSIA
  - ERIGONUM PASCUALIUM / COMMON BUCKWHEAT
  - FLOWER CABRET ROSE / RED / RED CABRET ROSE
  - FREMONTODENDRON CALIFORNICUM / CALIFORNIA FLANNEL BUSH
  - GALUNIA UNICOLOR / WHITE GALUNIA
  - HELIXANTHEMUM NABULARIUM / CHEVY / BUNROSE
  - HENRICALLA X STELLA DE ORO / STELLA DE ORO DAVELY
  - HETEROPHELE ARBUTIFOLIA / TOYON
  - JUNCUS EFFUSUS / SOFT BUSH
  - JUNCEUS PATENS / CALIFORNIA GRAY BUSH
  - LEUCOPHYLLA / TOROQUE'S
  - LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER
  - LAVANDULA DENTATA / FRENCH LAVENDER
  - LAVANDULA STOECHAS / SPANISH LAVENDER
  - LOGANIUM JAPONICUM / TEAZELUM / WAX LEAF PRIVET
  - LOMBARDIA LONGIFOLIA / NAT BUSH
  - MIMULUS AUBRETTIACUS / TITCKY MONKEY FLOWER
  - MIMULUS GUTTATUS / DEER MONKEY FLOWER
  - MUNDA ERIGONIA / OBER GRASS
  - NANDINA DOMESTICA / HEAVENLY BAMBOO
  - DEINOTHERA CASPIOTISIA MARGONATA / WHITE EVENING PRIMROSE
  - DEINOTHERA CALIFORNICA / CALIFORNIA EVENING PRIMROSE
  - PENSTEMON CENTRANTHIFOLUS / SCARLET BUGLER
  - PERIPHORA KALIFOLICOLA / REDDISH BUSH
  - PRUNUS SICHOLIA LYONS / CATALINA CHERRY
  - RHAMNUS CALIFORNICA / 'MOUND SAN BRINO' / CALIFORNIA COFFEEBERRY
  - RHUS INTERFOLIA / LEMONADE BERRY
  - RHUS LOBATA / SUGAR BUSH
  - RIBES SPECIOSUM / FUCHSIA FLOWERING GOOSEBERRY
  - ROSA CALIFORNICA / CALIFORNIA WILD ROSE
  - SALIX LASIOLEPIS / AMIGO YELLOW
  - SAMBUCUS MEXICANA / MEXICAN ELDERBERRY
  - SYMPLOCARPA BELLUM / BLUE EYED GRASS
  - STACHYS BYZANTINA / LAMB'S EAR
  - TEUCORIUM CHAMAMERIS / GERMANIAN
  - VERBENA RIGIDA / SANDPAPER VERBENA
  - WOODSONHIA FARRERATA / GRAY CHAIN FERN

- LANDSCAPE PLANTER
- MEADOW PLANTER
- TURF
- CONCRETE UNIT PAVEMENT
- CONCRETE PAVING
- D.G. PAVING



**A SECTION**  
SCALE: 1" = 10'-0"



## SCHEDULE

- 1 WAYFINDING SIGN LOCATION
- 2 TENNIS COURT/PICKLEBALL COURT
- 3 ENTRY GATE
- 4 BOCCIE BALL COURT
- 5 ENTRY GATE
- 6 AMPHITHEATER
- 7 EXISTING STAGE
- 8 GAZEBO
- 9 PEDESTRIAN BRIDGE
- 10 ENTRY GATE AT DROP OFF AREA
- 11 ENTRY GATE
- 12 COMMUNITY CENTER SIGN
- 13 POOL ENTRY
- 14 GAS FIRE FEATURE AT OUTLOOK SITTING AREA
- 15 OUTDOOR KITCHEN
- 16 POOL
- 17 SHADE STRUCTURE
- 18 POOL EQUIPMENT ROOM



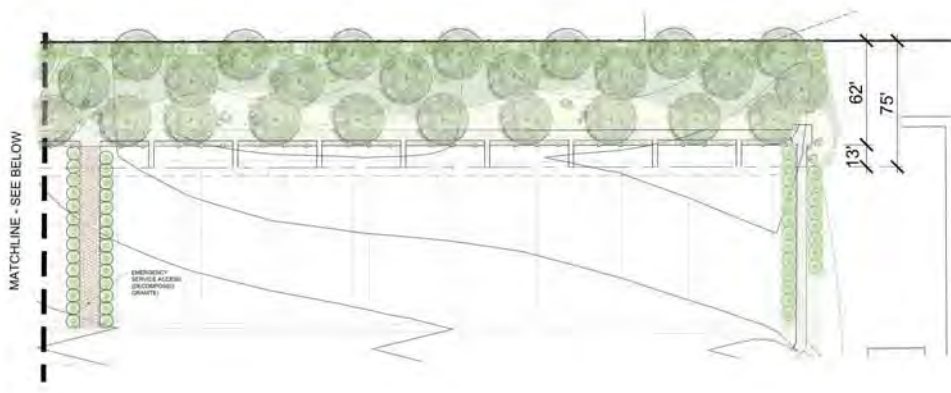
SCALE: 1" = 30'-0"

**L7**



**Design Studios**  
LANDSCAPE ARCHITECTURE  
www.landscapestudios.com

1000 Hill Street, Suite 200  
Pasadena, California 91101  
Phone: 626.299.1970  
Date: 09/10/17 10:00 AM No. 147210



### CONCEPT PLANT SCHEDULE

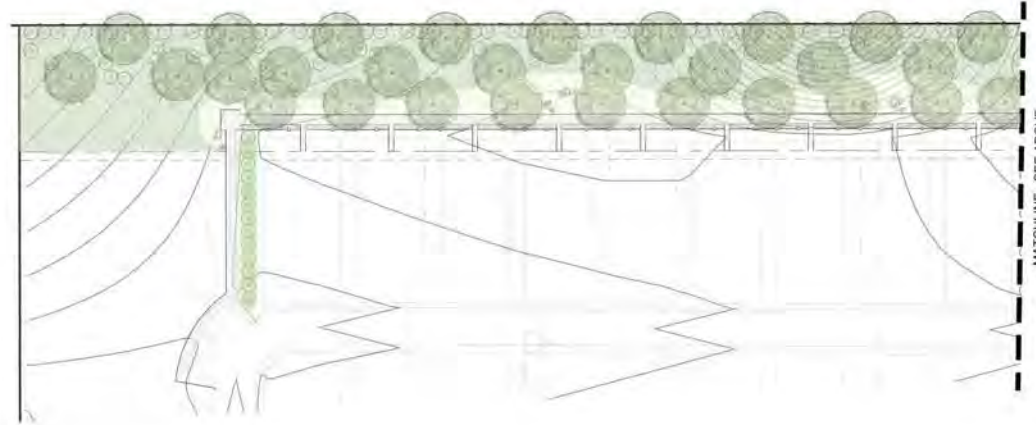
- TREE**
  - AESGLIS CALIFORNICA / CALIFORNIA BUCKEYE
  - PLATANUS RADICATA / CALIFORNIA EM CASARE
  - QUERCUS AGROBOLIA / COAST LIVE OAK
- LARGE SHRUB**
  - HETEROMELIS ARBUTIFOLIA / TOYON
  - PRUNUS & CERCALIA LIGNA / CATALINA CHERRY
  - RHAMNUS CALIFORNICA / MOUND SAN BRUNO / CALIFORNIA COFFEEBERRY
  - RHUS INTERFOLIA / LEMONADE BERRY
  - RHUS OVATA / BUGAR BUSH
  - SAMBUCUS MEXICANA / MEXICAN ELDERBERRY
- SHRUB**
  - ACHILLEA MIELEFOLIA / MONARDINE / YARRON
  - CALAMAGRODSTE X ACUTIFLORA / XALB FERNSTER / FEATHER REED GRASS
  - CAREX TURF/OCLA / BENELEY REED
  - CARPENTERIA CALIFORNICA / BUGS ANEACONE
  - CITRUS X PUNPUNUS / ORANGE ROCKROSE
  - COTONASTER DAMNUS / LOWFAST / LOWFAST BEARBERRY COTONBAITER
  - EPILOBUM CALIFORNICUM / CATALINA / CALIFORNIA FUCHSIA
  - HELIANTHEM NUMMULARIA / CHEEYOT / SUNROSE
  - IMRULUS ALBANTACUS / STICKY MONKEY FLOWER
  - IMRULUS GUTTATUS / BEP MONKEYFLOWER
  - MULLENBERGA REGENS / DEER GRASS
  - PENTSTEMON CENTRANTHIFOLIUS / SCARLET BUCKLER
  - REBES SPECIOSUM / FUCHSIA FLOWERING GOOSEBERRY
  - ROSA CALIFORNICA / CALIFORNIA WILD ROSE
  - SALVIA CLEVELANDI / CLEVELAND SAGE
  - SALVIA GREGGII / ALTUM SAGE
  - SALVIA LEUCANTHA / MEXICAN BUSH SAGE
  - SEYRINCHUM MELLUM / BLUE EYED GRASS
- MEADOW PLANTING**
  - ACEMISON WARTHELEI / COASTAL LOUIS
  - ANEMONA TESSELLATA / TESSELLATE FIDOLENECK
  - DEMANDRA FASCICULATA / FASCICULID TIRWEED
  - EROPHYLLUM CONFERTIFLORUM / GOLDEN YARBROW
  - ESCHSCHOLZIA CALIFORNICA / CALIFORNIA POPPY
  - FESTUCA MICROSTACHYIS / SMALL / FEGUE
  - GRISOLIA CAMPORUM / GREAT VALLEY SIMWEED
  - HORDEUM REPRESSIVUM / ALASKA BARLEY
  - IMRULUS ALBANTACUS / STICKY MONKEY FLOWER
  - POA SECURIA / HELIGRASS
  - STIPA PULCHRA / PURPLE NEEDLE GRASS
  - VERBENA LASDITACHYIS / WESTERN VERVAIN

Site Information									
Site Name →		River Oaks II - Phase A/B/C							
Site Type →		Residential							
Annual Ets (inches/yr) →		63.3							
Hydrozone or Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAP (IP/IE)	Hydrozone Area (sq.ft.)	ETAP x Area	Estimated Total Water Use (gal./yr.)		
Regular Landscape Areas	1	0.3	Low	DPip	0.81	0.6	65,420	24,224	938,683
<b>SUBTOTAL →</b>							<b>65,420</b>	<b>24,224</b>	<b>938,683</b>
Special Landscape Areas	8						0	0	0
	10						0	0	0
	11						0	0	0
	12						0	0	0
<b>SUBTOTAL →</b>							<b>0</b>	<b>0</b>	<b>0</b>
<b>Estimated Total Water Use (ETWU) →</b>							<b>65,420</b>	<b>24,224</b>	<b>938,683</b>
<b>Maximum Allowed Water Allowance (MAWA) →</b>							<b>65,420</b>	<b>24,224</b>	<b>938,683</b>


ETAP Calculations		
Regular Landscape Areas	Total ETAP x Area	24,224
	Total Area	65,420
	Average ETAP	0.37
All Landscape Areas	Total ETAP x Area	24,224
	Total Area	65,420
	Ultimate ETAP	0.37

**Notes:**  
 ETWU meets MARIK requirement.  
 Average ETAP meets requirement for this site type.  
 Calculator developed July 27, 2015.  
 This calculator is for estimating purposes only.  
 Designer assumes no liability for use of this calculator.


- NOTE:** ALL PLANTER AREAS TO RECEIVE 3" LAYER OF BARK MULCH.
- NOTE:** BUFFERS WILL BE IRRIGATED PER CURRENT STATE OF CALIFORNIA WATER USE MANDATE.
- NOTE:** IRRIGATION CONTROLLER TO BE AUTOMATIC WEATHER BASED SYSTEMS AS REQUIRED BY CALIFORNIA STATE MANDATE.
- NOTE:** ALL TREES WITHIN 5' OF HARDSCAPE TO RECEIVE LINEAR ROOT BARRIERS.




L8



SCALE: 1" = 30'-0"

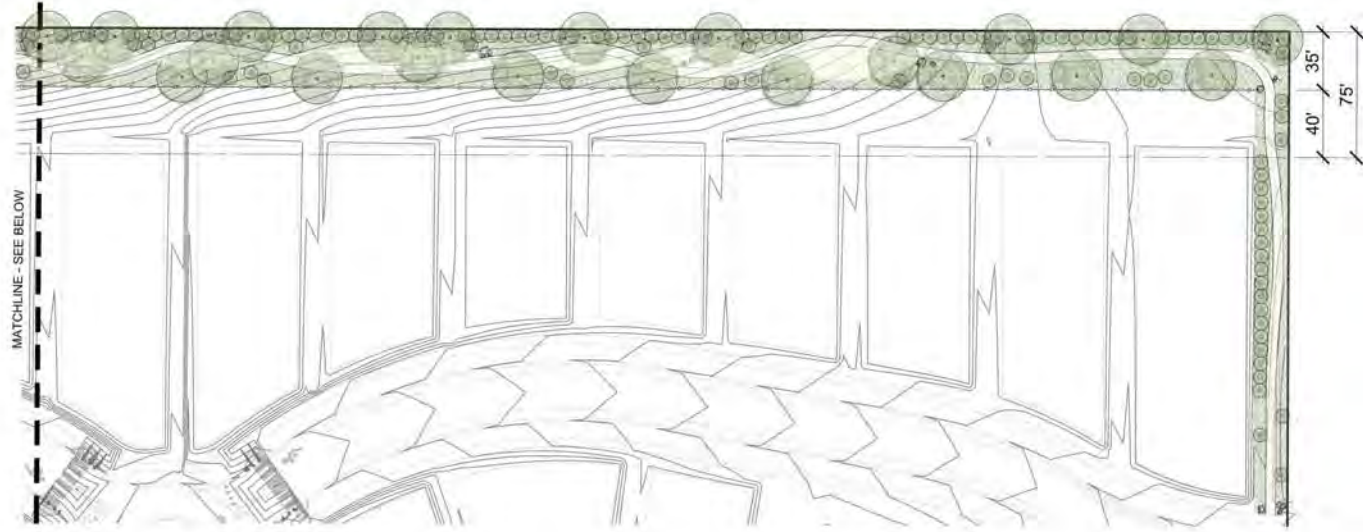




**Design Studios**  
 LANDSCAPE ARCHITECTURE

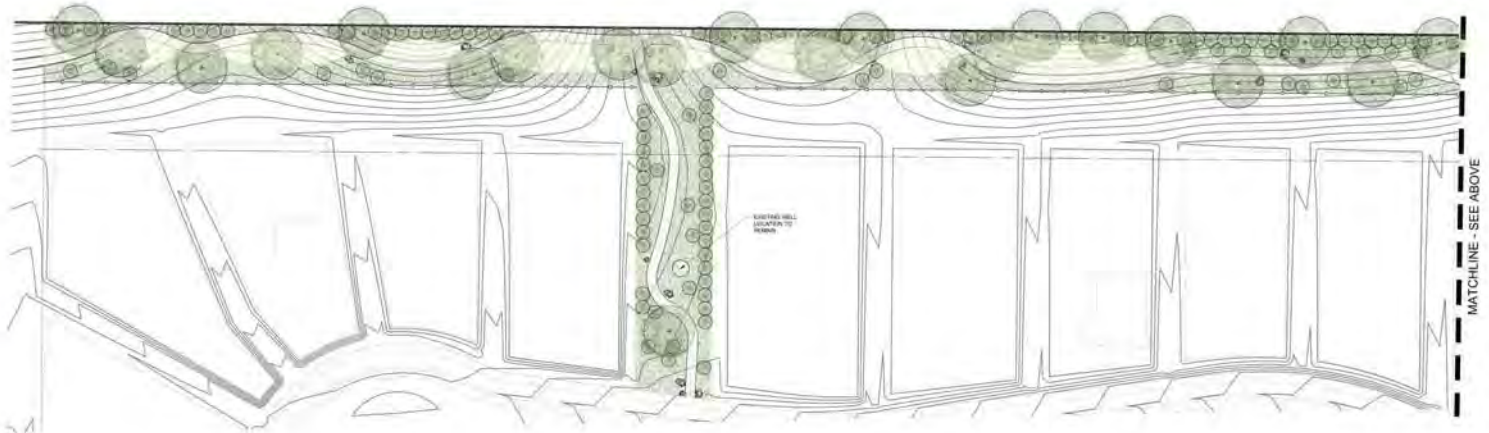
1885 PULL STREET, SUITE 2E  
 PASADENA, CALIFORNIA 91107  
 Phone 626.299.1970  
 Date 09/01/17 10:08 AM 147310

# Exhibit E



## CONCEPT PLANT SCHEDULE

- TREE
  - ASCOLIA CALIFORNICA / CALIFORNIA BUCKEYE
  - PLATANUS RADICATA / CALIFORNIA SYCAMORE
  - QUERCUS AGROFILIA / COAST LIVE OAK
- LARGE SHRUB
  - HETEROMELES AMPUTIFLORA / TOWN
  - RHUS & COPALIA LYONII / ITALYAN CHERRY
  - RHAMNUS CALIFORNICA / MOUND SAN BRUNO / CALIFORNIA COFFEEBERRY
  - RHUS INTERMEDIA / LINDENAGE BERRY
  - RHUS OVATA / BUSAR BUSH
  - SAMBUCUS MEXICANA / MEXICAN ELDERBERRY
- SHRUB
  - ACHILLEA MILLEFOLIUM / BICOLORE / FANSON
  - CALAMAGRODITE A ACUTIFLORA / KARL FOSTER / FEATHER REED GRASS
  - CANYO TUNICULAR / BEMBELEY BEEBEE
  - CARPENTERIA CALIFORNICA / BUSH ANEMONE
  - CISTUS X PURPUREUS / ORIND ROCKROSE
  - COTONASTER DAMASCEN / LOW FERT / LOW FERT REARBERRY GOTOHEARTS
  - EPILOBIUM CALIFORNICUM / CATALINA / CALIFORNIA FUCHSIA
  - HELIANTHEMUM HUMBOLDTIANUM / CHEVYOT / SUNBURST
  - MIMULUS ALBERTIACUS / STICKY MONKEY FLOWER
  - MIMULUS GUTTATUS / DEEP MONKEY FLOWER
  - NEHALENBERGIA RIGENS / DEER GRASS
  - PENTSTEMON CENTRANTHUS / BLUE EYED GRASS
  - REBER SPECIOSUM / FUCHSIA FLOWERING GOOSEBERRY
  - ROSA CALIFORNICA / CALIFORNIA WILD ROSE
  - SALVIA CLEVELANDI / CLEVELAND SAGE
  - SALVIA DREGGII / ALPINE SAGE
  - SALVIA LEUCANTHA / MEXICAN BUSH SAGE
  - SPYRINCHUM BELLUM / BLUE EYED GRASS
- MEADOW PLANTING
  - ADAMSONIA MARTINUS / GONSTAL LION
  - AMBROSIA TRICEPS / TESTATE FIDDLEHEAD
  - DELIANTRA BARBODATA / FIDDLEHEAD
  - EPHEDRA CONFERTIFLORA / GOLDEN YAMBOO
  - ESCHSCHOLZIA CALIFORNICA / CALIFORNIA POPPY
  - FESTUCA MONSIEURII / FARMER
  - GRINDLIA CALIFORNICA / GREAT VALLEY GLOWWEED
  - MONARDIA BREVIFLORA / FUSCA BARLEY
  - MIMULUS ALBERTIACUS / STICKY MONKEY FLOWER
  - POA BECCARIA / BELLS GRASS
  - STIPA PULCHRA / PURPLE NESTLE GRASS
  - VERBENA LASIOTACHY / WESTERN VERVAIN



Site Information						
Site Name		River Oaks II, Phase Number				
Site Type		Residential				
Annual Site (Inches/Yr)		42.5				
Hydrozone or Planning Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (%)	ETAP (In/yr)	Hydrozone Area (Sft)	ETAP x Area
Regular Landscape Areas	0.3	Loop	0.81	0.4	34,911	20,312
				<b>SUBTOTAL</b>	<b>34,911</b>	<b>20,312</b>
<b>Special Landscape Areas</b>						
0						
10						
15						
12						
				<b>SUBTOTAL</b>	<b>0</b>	<b>0</b>
				<b>Estimated Total Water Use (ETWU)</b>	<b>34,911</b>	<b>20,312</b>
				<b>Maximum Allowed Water Allowance (MAWA)</b>	<b>1,111,111</b>	

ETAP Calculations	
Regular Landscape Areas	20,312
Total ETAP x Area	34,911
Average ETAP	0.31

Notes	
ETWU meets MAWA requirement.	
Average ETAP meets requirement for this site type.	
Calculator updated July 27, 2015	
This calculator is for estimating purposes only.	
Results represent the facility for use of this calculator.	

- NOTE:** ALL PLANTER AREAS TO RECEIVE 3" LAYER OF BARK MULCH.
- NOTE:** BUFFERS WILL BE IRRIGATED PER CURRENT STATE OF CALIFORNIA WATER USE MANDATE.
- NOTE:** IRRIGATION CONTROLLER TO BE AUTOMATIC WEATHER BASED SYSTEMS AS REQUIRED BY CALIFORNIA STATE MANDATE.
- NOTE:** ALL TREES WITHIN 5' OF HARDSCAPE TO RECEIVE LINEAR ROOT BARRIERS.

## RIVER OAKS II - TENTATIVE MAP 3105

Agricultural Buffer Trail Conceptual Landscape Plan (East Neighborhood)

L9

SCALE: 1" = 30'-0"

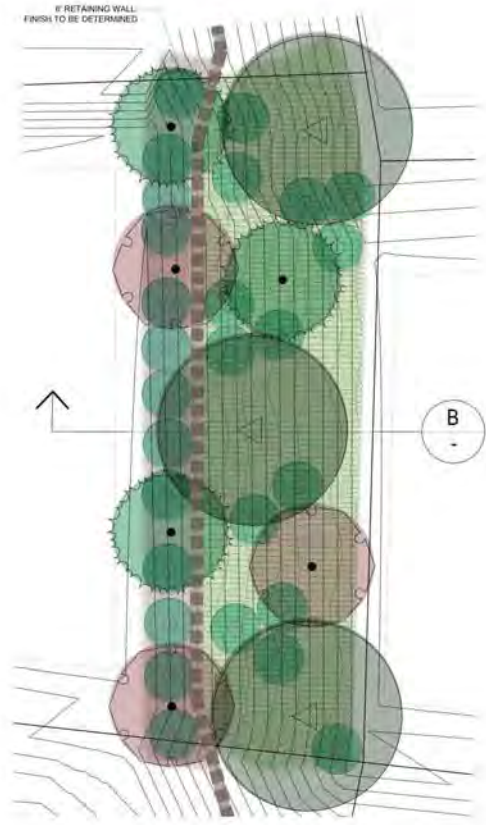
**Design Studios**  
LANDSCAPE ARCHITECTURE

188 Post Street, Suite 2E  
San Francisco, CA 94102  
Phone: 415.269.1970  
Date: 02/01/17 10:00 AM (14716)

Site Information								
Site Name	River Oaks II - River Oaks							
Site Type	Residential							
Annual Hrs (Inches/Yr)	62.5							
Hydrozone or Planning Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (%)	ETAP (PI/PI)	Hydrozone Area (sq-ft)	Estimated Total Water Use (Gal/yr)		
Regular Landscape Areas	0.9	Line	Overhead Sprink	0.75	0.8	5,400	1,524	51,807
				<b>SUBTOTAL</b>	<b>0.8</b>	<b>5,300</b>	<b>1,524</b>	<b>51,807</b>
Special Landscape Areas								
01				1		0	0	0
11				1		0	0	0
22				1		0	0	0
				<b>SUBTOTAL</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
				<b>ESTIMATED TOTAL WATER USE (ETWU)</b>				<b>51,807</b>
				<b>Maximum Allowed Water Allowance (MAWA)</b>				<b>70,548</b>

ETAP Calculations		Notes:	
Regular Landscape Areas	5,300	ETWU meets MAWA requirement.	
Total ETAP x Area	5,300		
Total Area	6,400		
Average ETAP	0.83	Average ETAP meets requirement for this site type.	
All Landscape Areas		Calculator downloaded July 27, 2013	
Total ETAP x Area	5,300	Recalculations by user affecting parameters only.	
Total Area	6,400	Report generated on 7/27/13 for site of this calculator.	

- NOTE:** ALL PLANTER AREAS TO RECEIVE 3" LAYER OF BARK MULCH.
- NOTE:** SLOPES WILL BE IRRIGATED PER CURRENT STATE OF CALIFORNIA WATER USE MANDATE.
- NOTE:** IRRIGATION CONTROLLER TO BE AUTOMATIC WEATHER BASED SYSTEMS AS REQUIRED BY CALIFORNIA STATE MANDATE.
- NOTE:** ALL TREES WITHIN 5' OF HARDSCAPE TO RECEIVE LINEAR ROOT BARRIERS.



**A** TYPICAL SLOPE (PLAN)  
SCALE: 1" = 8'-0"



**B** TYPICAL SLOPE (SECTION)  
SCALE: 1" = 8'-0"

- ### CONCEPT PLANT SCHEDULE
- SLOPE TREE (TYPE 1):**  
PLATANUS RADICATA / CALIFORNIA BYCAMORE MULTI TRUNK  
QUERCUS AGROFOLIA / OAKS LIVE OAK MULTI TRUNK
  - SLOPE ACCENT TREE (TYPE 2):**  
AEROLUS CALIFORNICA / CALIFORNIA BUCKEYE  
CERCIS OCCIDENTALIS / WESTERN REDBUD MULTI TRUNK  
LAGERSTROEMIA INDICA / ORANGE BUTYLE  
PETHALA CHINENSIS / CHINESE PEEBAGUE MULTI TRUNK  
UMBELLIFERA CALIFORNICA / CALIFORNIA LAUREL
  - SLOPE TREE (TYPE 3):**  
CALOCORNE DISCOLORIBS / PACIFIC CEDAR  
CEDRUS OCCIDENTALIS / SIERRA CEDAR
  - LARGE SHRUB:**  
PETERDUNELIA ARBUTIFOLIA / TOYON  
PRUNUS ILICIFOLIA LYONS / CATALINA CHERRY  
RHAPIS CALIFORNICA / SOUTHERN SAN BRUNO / CALIFORNIA COFFEESBERRY  
RHUS PTERISIFOLIA / LEMONADE BERRY  
RIBES DIATTA / TUGGAR BUSH  
SAMBUCUS MEXICANA / MEXICAN ELDERBERRY
  - SLOPE SHRUBS:**  
GASTROX PUMPORENS / ORCHID ROCKROSE  
COTONASTER DAMMER / LOWBUSH / LOWBUSH REARBERRY COTONASTER  
MULTIBERBERIS ROSEUS / GREEN GRASS  
ROSEMARYS OFFICINALIS / ROSEMARY  
SALVIA LEVENDROV / CLEVELAND SAGE  
SALVIA DREGOVI / AUTUMN SAGE  
SALVIA LEUCANTHA / MEXICAN BUSH SAGE  
VERBENA RIGIDA / SANDPAPER VERBENA



**Design Studios**  
Landscape Architecture  
www.landscapestudios.com


180 Park Street, Suite 2E  
FARMERSVILLE, CALIFORNIA 94535  
Phone 925.269.1970  
Date 09/10/17 10/18 No. 147110




**LEGEND:**


- TUBULAR STEEL FENCE (6')
- TWO RAIL CONCRETE FENCE (3')
- WOOD FENCE (6')
- CABLE FENCE (5')
- COMBO WALL:  
SLUMP STONE (2')  
TUBULAR STEEL FENCE (4')
- COMBO WALL:  
SLUMP STONE (2')  
WOOD FENCE (4')
- TENNIS COURT/PICKLEBALL  
VINYL COATED CHAIN LINK FENCE (10')
- EXISTING DEER FENCE
- VEHICULAR GATE
- CONCRETE RETAINING WALL

L11



SCALE 1" = 100'-0"

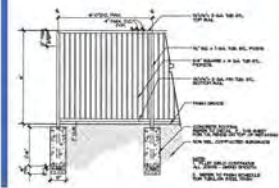




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444 Hill Street, Suite 2E  
Folsom, California 95687  
Phone 916-263-1970  
Date 06/30/17 LSP No. 147193

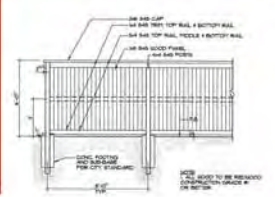
TUBULAR STEEL FENCE (6')



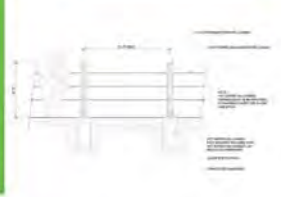
TWO RAIL CONCRETE FENCE (3')



WOOD FENCE (6')



CABLE FENCE (5')



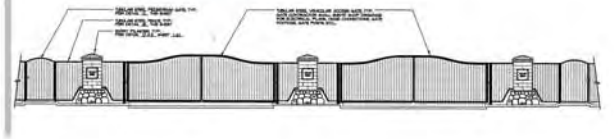
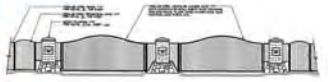
TENNIS COURT/PICKLEBALL VINYL COATED CHAIN LINK FENCE (10')



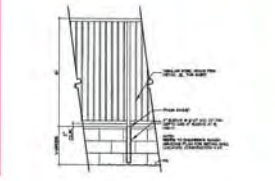
EXISTING DEER FENCE



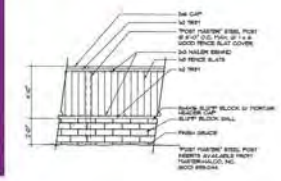
VEHICULAR GATE



COMBO WALL: SLUMP STONE (2')  
TUBULAR STEEL FENCE (4')



COMBO WALL: SLUMP STONE (2')  
WOOD FENCE (4')





RIVER OAKS II - TENTATIVE MAP 3105  
Trail Exhibit

**L13**

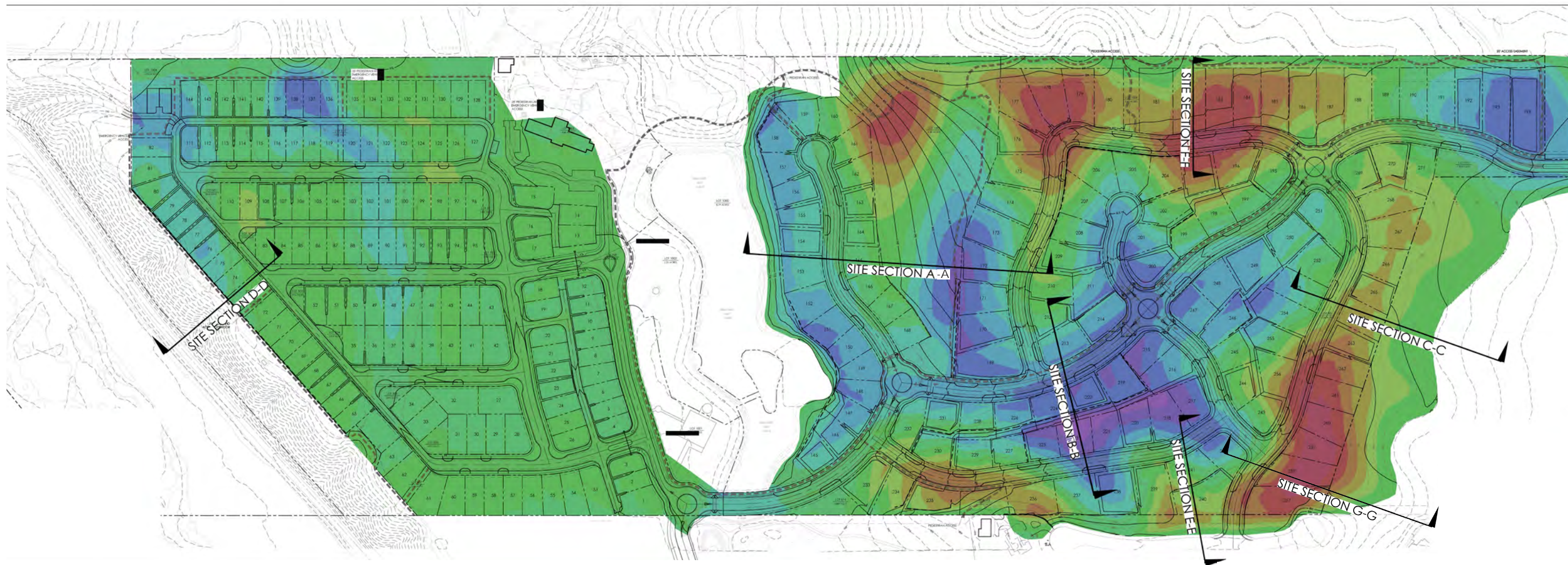
SCALE: 1" = 100'-0"

**Design Studios**  
LANDSCAPE DEVELOPMENT

488 Hill Street, Suite 2E  
Ventura, California 93001  
Phone 805-235-1370  
Date 06/01/17 LDP Job No. 147100

SURFACE ELEVATION DATA

NUMBER	MINIMUM ELEVATION	MAXIMUM ELEVATION	COLOR
1	-30.00	-25.00	Dark Red
2	-25.00	-20.00	Red
3	-20.00	-15.00	Brown
4	-15.00	-10.00	Olive Green
5	-10.00	-5.00	Light Green
6	-5.00	0.00	Green
7	0.00	5.00	Light Blue
8	5.00	10.00	Teal
9	10.00	15.00	Blue
10	15.00	20.00	Dark Blue
11	20.00	25.00	Purple
12	25.00	30.00	Dark Purple



RIVER OAKS II  
TRACT 3105

TITLE SHEET  
July 21, 2017

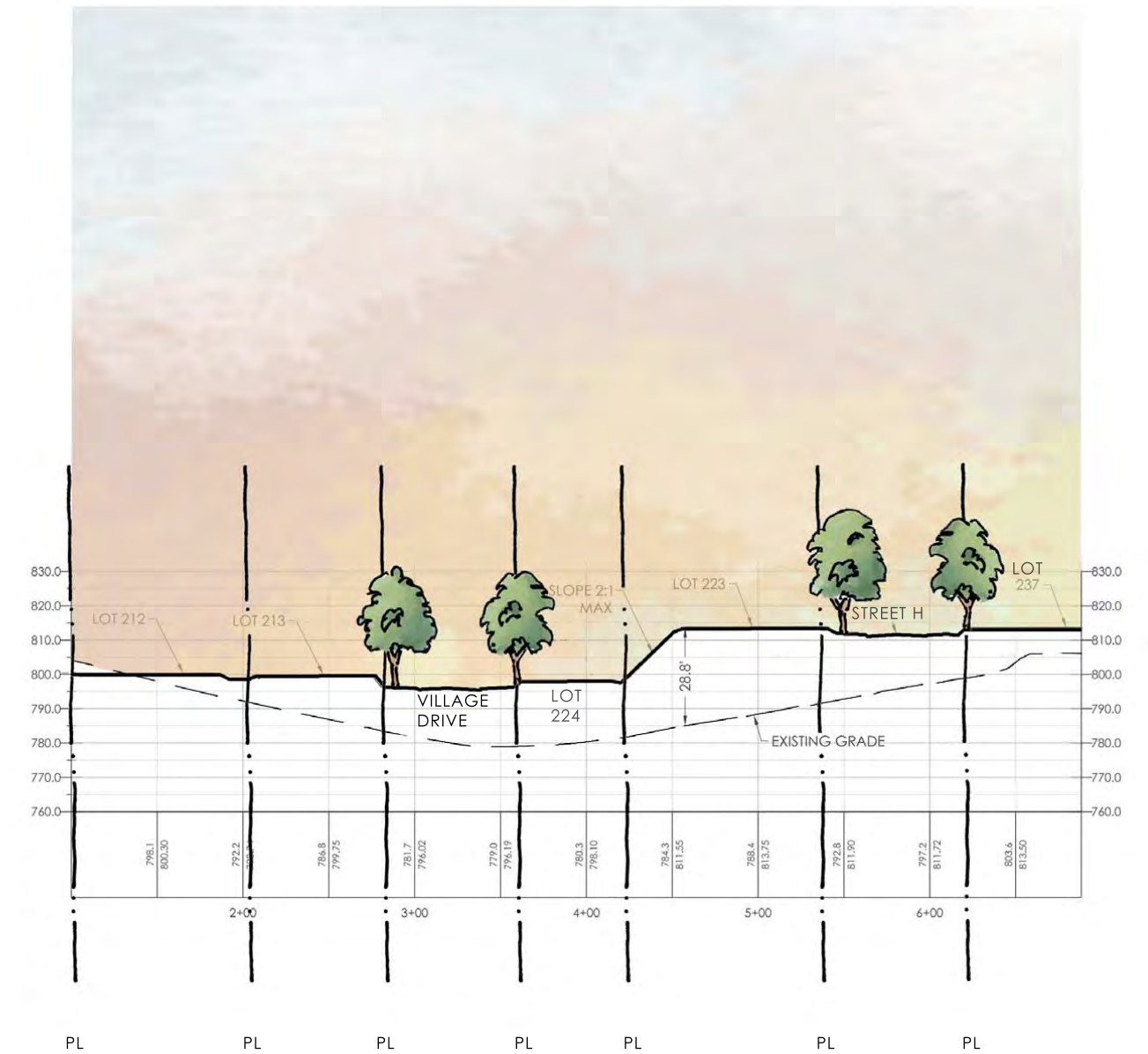




# SECTION A-A



# SECTION B-B

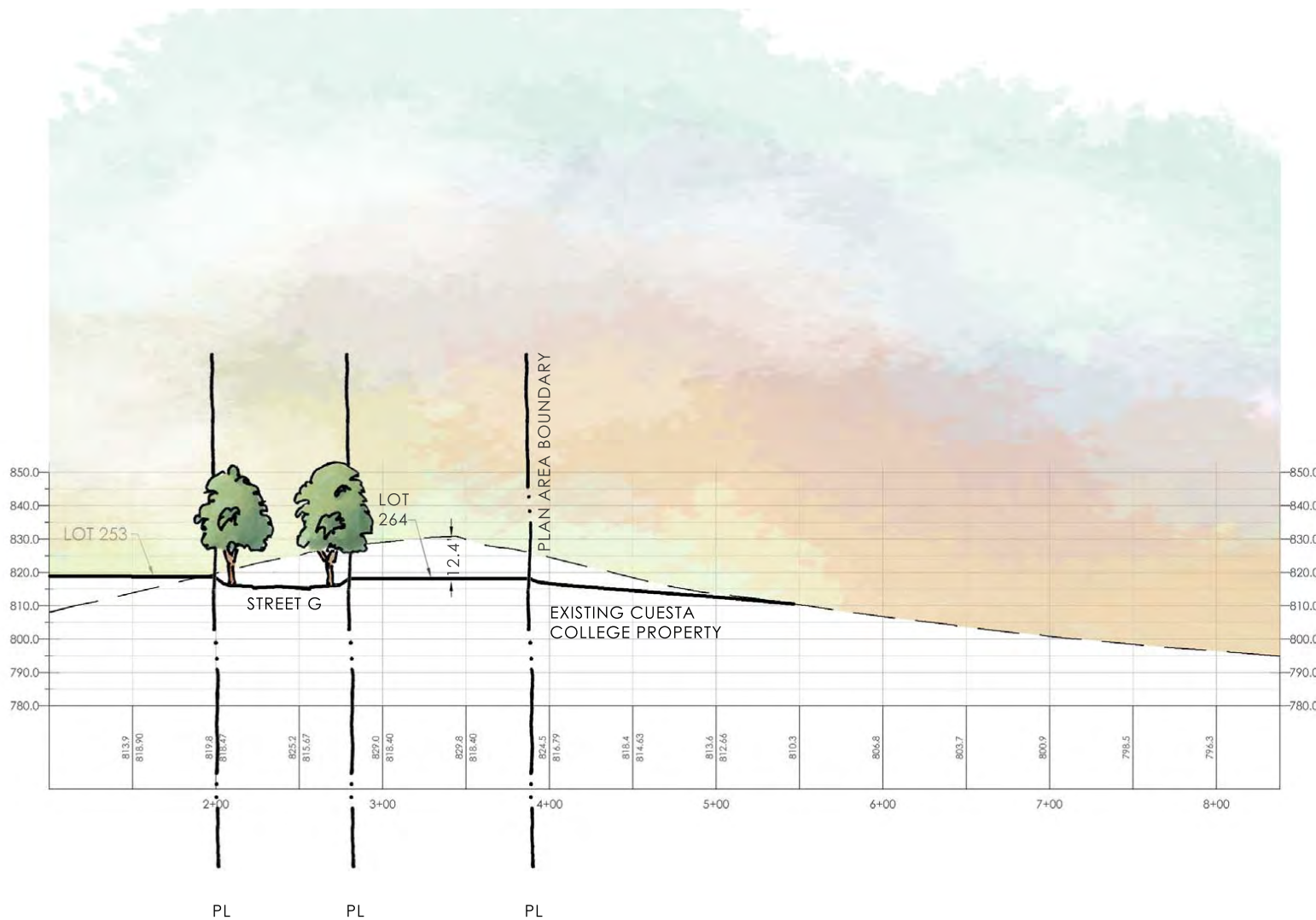


RIVER OAKS II  
TRACT 3105

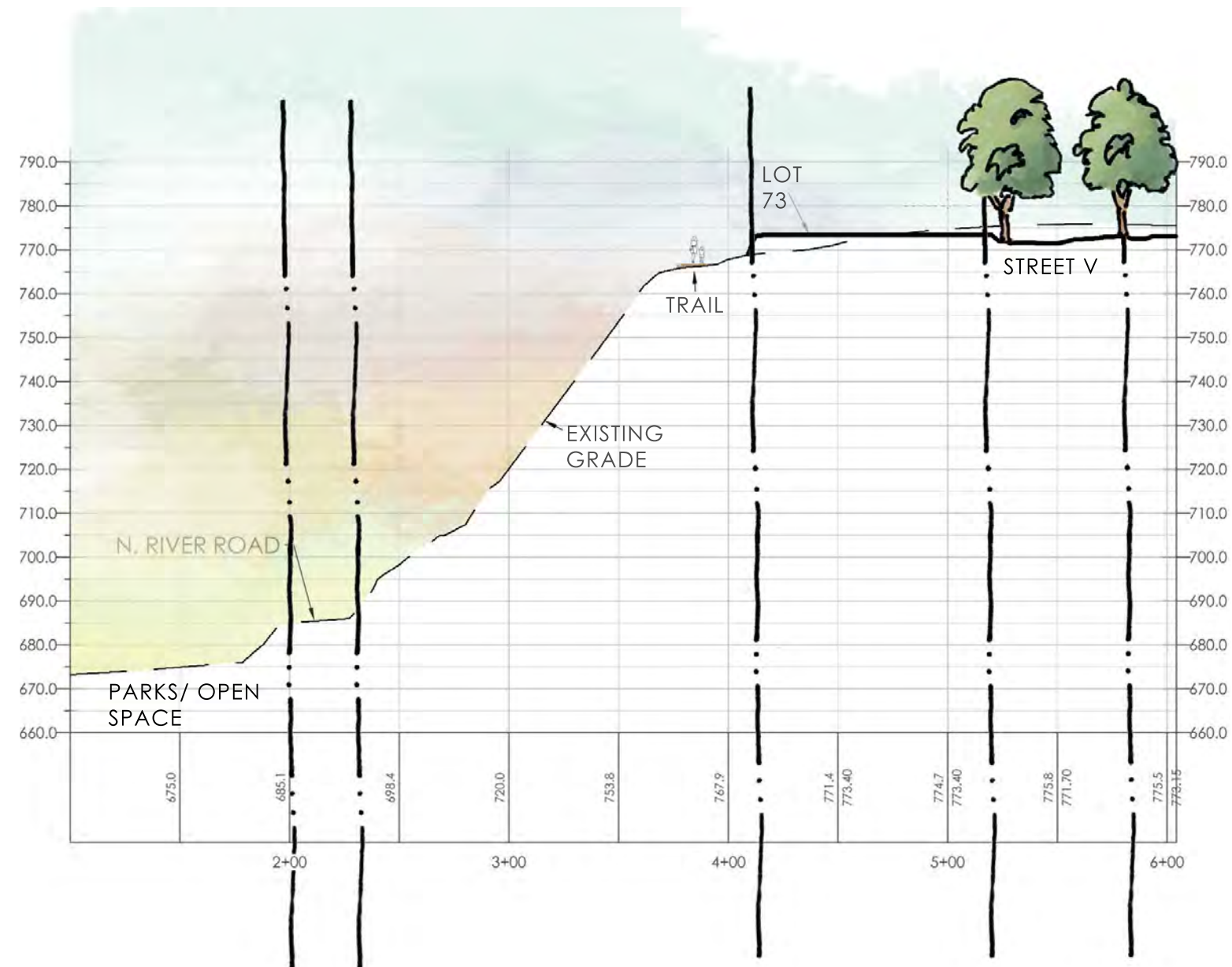
SECTIONS A-A/B-B  
July 21, 2017



# SECTION C-C



# SECTION D-D

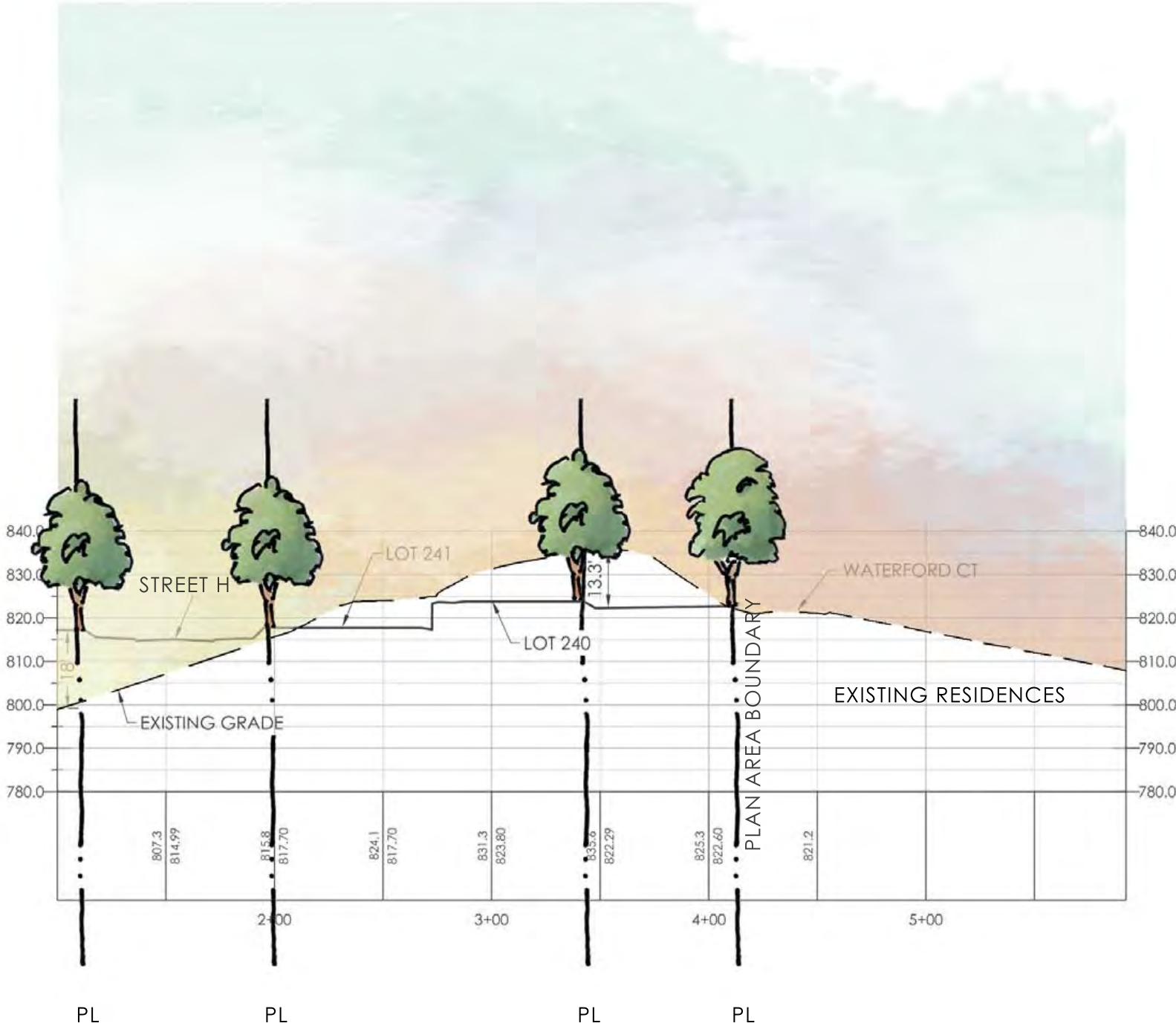


RIVER OAKS II  
TRACT 3105

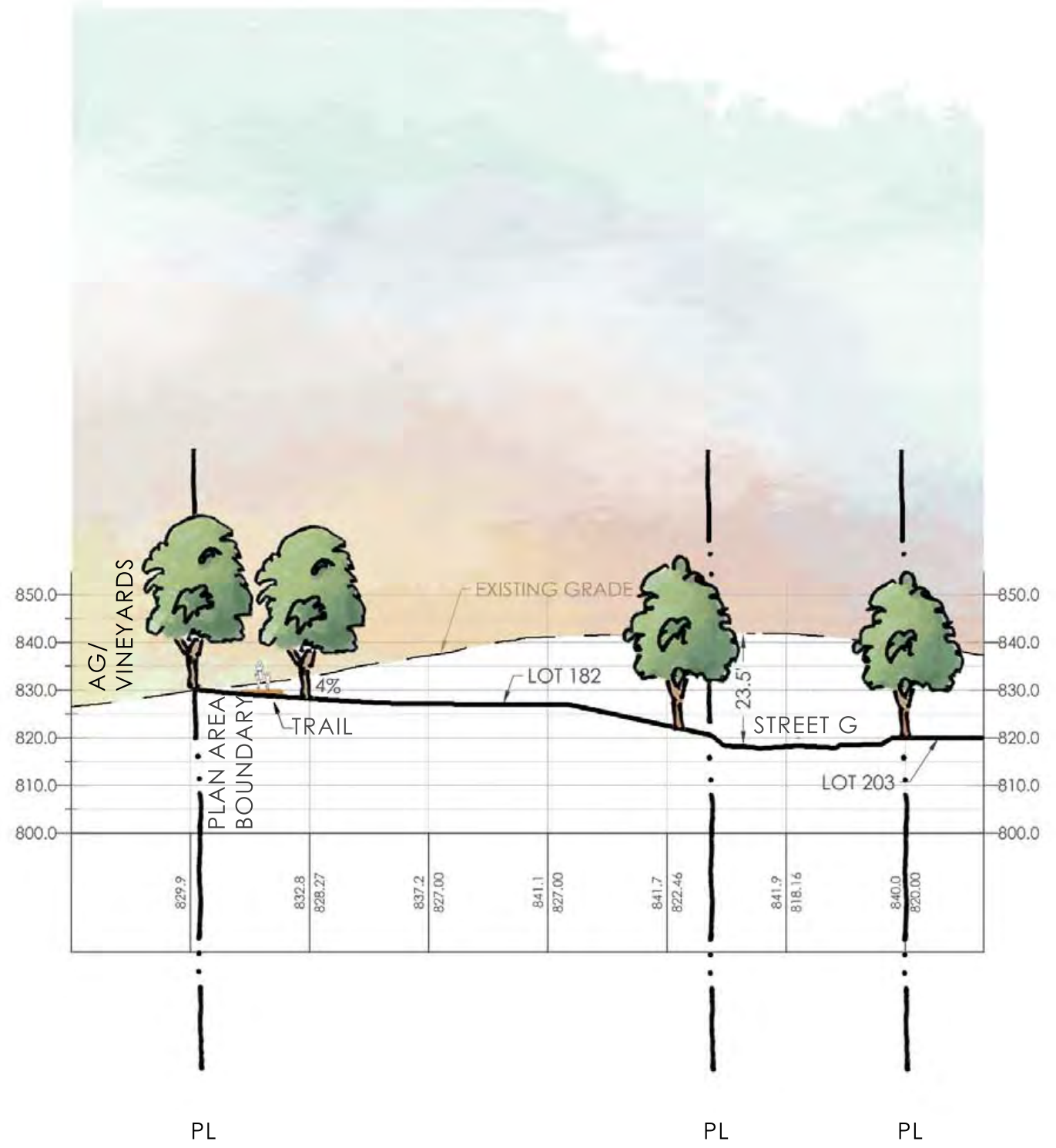
SECTIONS C-C/D-D  
July 21, 2017



SECTION E-E



SECTION F-F

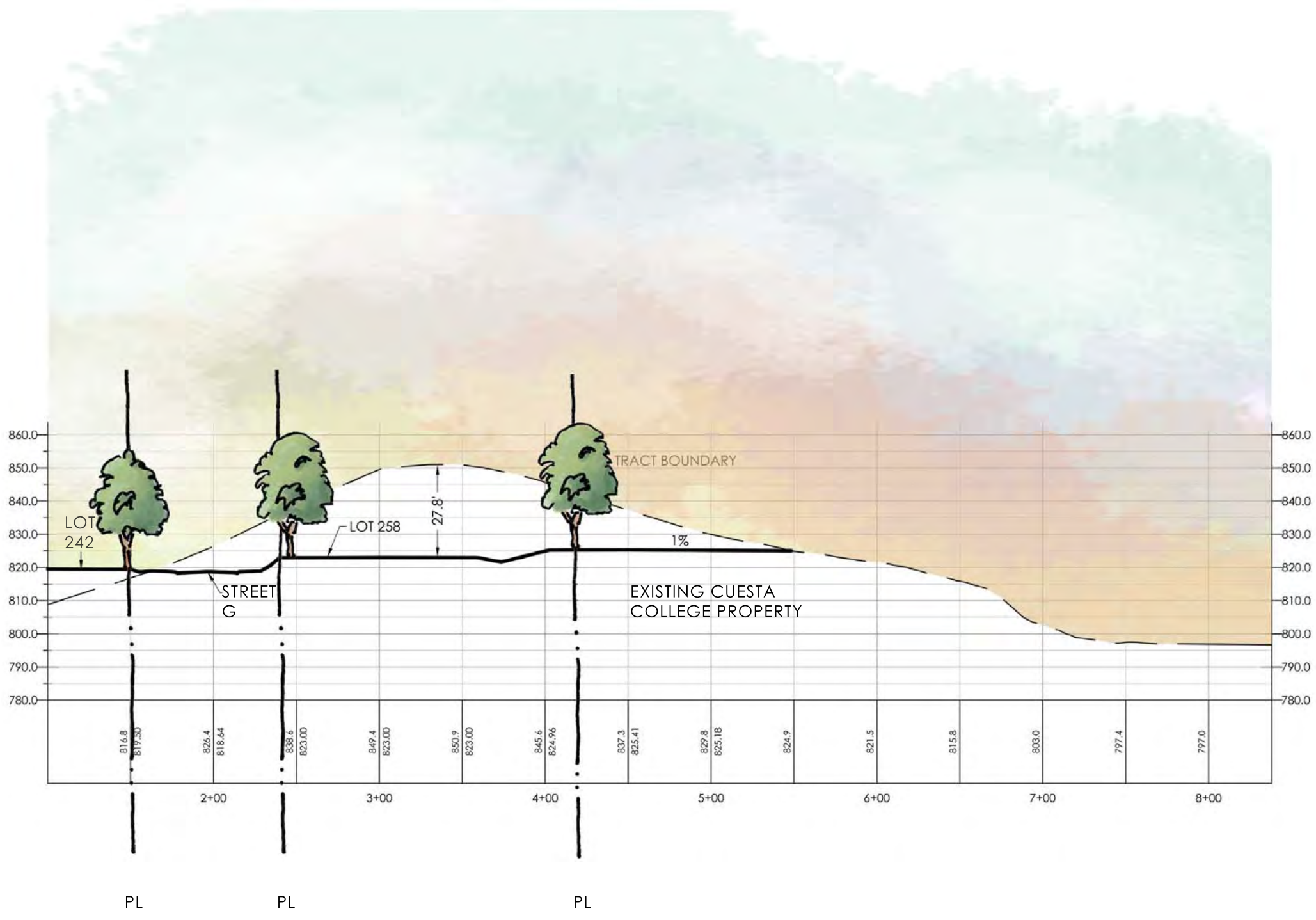


RIVER OAKS II  
TRACT 3105

SECTIONS E-E/F-F  
July 21, 2017



# SECTION G-G



RIVER OAKS II  
TRACT 3105

## SECTIONS G-G

July 21, 2017

