

RESOLUTION NO. PC 17-025

**A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
TO APPROVE PLANNED DEVELOPMENT 16-008
(3103 SATELLITE DRIVE)
APN: 025-450-001**

WHEREAS, in conjunction with Conditional Use Permit 16-007, an application for Planned Development (PD 16-008) has been filed by SunEdison LLC for the Paso Robles Airport Solar Project for a 4-megawatt, ground-mounted photovoltaic solar plant, within the Paso Robles Municipal Airport property; and

WHEREAS, the subject property is designated in the General Plan, Land Use Element as Public Facility, and the proposed project is consistent with the intent of the land use designation since the project would provide development of a renewable energy utility site which is consistent with the Public Facility (PF) land use designation; and

WHEREAS, in accordance with the Paso Robles Zoning Map, the property is located in the Airport zoning district with Planned Development /Airport Overlays (AP/PD/AP), and the proposed solar project is a conditionally permitted land use, and it is consistent with the applicable zoning district and development standards, with Conditions of Approval applied; and

WHEREAS, the project is located within the Paso Robles Municipal Airport property and has been designated by the Airport Master Plan as future commercial/industrial lease sites; and

WHEREAS, the height, bulk, pattern, scale and character of the project features would not conflict with the visual character of surrounding predominantly commercial/industrial uses within and around the Airport property; and

WHEREAS, pursuant to the Statutes and Guidelines of the California Environmental Quality Act (CEQA), and the City's Procedures for Implementing CEQA, an Initial Study was prepared for the project; and

WHEREAS, based on the information and analysis contained in the Initial Study, staff determined that the proposed project as designed, and with appropriate mitigation measures added as conditions of approval, will not result in significant environmental impacts, and a Mitigated Negative Declaration was prepared and circulated for public review and comment in full compliance with CEQA; and

WHEREAS, a duly noticed public hearing was conducted by the Planning Commission on April 25, 2017, to consider the facts as presented in the staff report prepared for this project, and to accept public testimony regarding this conditional use permit request; and

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF EL PASO DE ROBLES DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. All of the above recitals are true and correct and incorporated herein by reference.

Section 2 - Findings: In accordance with Zoning Ordinance Section 21.23B.050, Findings for Approval of Development Plans, and based upon the facts and analysis presented in the staff report, public testimony received and subject to the conditions listed below, the Planning Commission makes the following findings:

1. The project is consistent with the goals and policies established by the General Plan, since the project would provide for a renewable energy utility site which is consistent with the Public Facility (PF) land use designation.

2. The project is consistent with the goals and policies established by the zoning code, particularly the purpose and intent of the zoning district in which a development project is located since the AP/PD district conditionally permits public utilities facility substations, which would include renewable energy systems.
3. The proposed project complies with all other adopted codes, policies, standards, and it would comply with the Paso Robles Airport Master Plan for expansion of non-aviation commercial and industrial development.
4. The proposed development plan will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the persons residing or working in the neighborhood, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the city since the property is not located in close proximity to other residents or neighborhoods, and it would not result in significant noise, traffic, light, glare, or other potential effects.
5. The proposed development plan accommodates the aesthetic quality of the city as a whole since the solar field is designed to be an extension of the commercial/industrial uses within the Paso Robles Airport property.
6. The proposed development plan is compatible with, and is not detrimental to, surrounding land uses and improvements, provides appropriate visual appearance, and contributes to the mitigation of any environmental and social (e.g., privacy) impacts, since it is proposed to be a low-intensity development, and would mitigate potentially significant environmental impacts.
7. The proposed development plan is compatible with existing scenic and environmental resources, as noted in #5 and #6 above.
8. The proposed development plan contributes to the orderly development of the city as a whole by providing a well-designed project that is suitable for the location where it is proposed and surrounding land uses including commercial, industrial, and the existing rural residential in the vicinity.

Section 3 - Environmental Determination: Pursuant to the Statutes and Guidelines of the California Environmental Quality Act (CEQA), and the City's Procedures for Implementing CEQA, an Initial Study was prepared for the project. Based on the information and analysis contained in the Initial Study, staff determined that the proposed project as designed, and with appropriate mitigation measures added as conditions of approval, will not result in significant environmental impacts, and a Mitigated Negative Declaration was prepared and circulated for public review and comment in full compliance with CEQA

Section 4 - Approval: Planned Development 16-008 is approved subject to the following:

EXHIBIT	DESCRIPTION
A	Project Conditions of Approval
B	Standard Conditions of Approval
C	Development Plans

PASSED AND ADOPTED THIS 25th day of April 2017, by the following roll call vote:

AYES: Commissioners Rollins, Davis, Agredano, Jorgensen, Barth, Brennan and Chairman Donaldson

NOES:

ABSENT:

ABSTAIN:



JOHN DONALDSON, CHAIRPERSON

ATTEST:



WARREN FRACE, PLANNING COMMISSION SECRETARY

Exhibit A

Conditions of Approval – PD 16-008

Planning Division Conditions:

1. The applicant/developer shall comply with those standard conditions which are indicated as applicable in "Exhibit B" to this resolution.
2. The project shall be constructed in substantial conformance with the Conditions of Approval established by this Resolution and it shall be constructed in substantial conformance with the following Exhibits:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
B	Standard Conditions
C	Development Plans

3. Any condition imposed by the Planning Commission in approving this Development Plan may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the granting of the original permit. No such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use under the Development Plan.

Emergency Services Conditions:

4. Prior to the start of construction an accessible fire access road shall be placed in service sufficient to support the department's fire apparatus and maintained for the duration of the construction phase of the project.
 - a. The Access road shall be at least twenty (20) feet in width with at least thirteen (13) feet, six (6) inches of vertical clearance.
 - b. Permanent access around entire project shall be minimum 20'.
 - i. This access provides for a natural fire break to protect the project from offsite wildfire.
 - c. Interior access roads shall be at least twenty (20) feet in width
5. A Knox box key entry box or system will be required for all gate access.
6. All hazardous electrical transmission lines must be labeled – "CAUTION – Electrical Hazard".
7. Main electrical service panel shall be labeled – "Solar Power Enhanced"
8. Warning labels shall appear on the utility interactive inverter or be applied by the installer near the ground fault indicator at a visible location stating the following
 - a. Warning Electrical Shock Hazard

9. Shut down and/or isolation procedures will be clearly displayed on the main electrical service panel on the shunt trip device designed to terminate power to all electrical service (solar and domestic) when the main service disconnect is in the off position.
10. A vegetative management plan should be in place to protect the development.
11. Fire hydrants at the Paso Robles Airport are operative and can meet fire flow requirements.
12. Emergency Services will advise CAL FIRE Paso Airbase of the pending development.
 - a. There has been a previous history of Air Tankers performing jettison operations nearby to drop unused retardant prior to landing.

Airport Division Conditions:

13. Prior to construction, the applicant shall submit the standard FAA Form 7460-1 Notice of Proposed Construction or Alteration to the Federal Aviation Administration (FAA).

Mitigation Measures – Conditions of Approval:

Air Quality Conditions:

14. The following measures are recommended to minimize nuisance impacts associated with construction-generated fugitive dust emissions :
 - a. Reduce the amount of the disturbed area where possible;
 - b. Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site and from exceeding the APCD's limit of 20% opacity for greater than 3 minutes in any 60-minute period. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (non-potable) water should be used whenever possible. Please note that since water use is a concern due to drought conditions, the contractor or builder shall consider the use of an APCD-approved dust suppressant where feasible to reduce the amount of water used for dust control. For a list of suppressants, see Section 4.3 of the CEQA Air Quality Handbook;
 - c. All dirt stock pile areas should be sprayed daily and covered with tarps or other dust barriers as needed;
 - d. Permanent dust control measures identified in the approved project revegetation and landscape plans should be implemented as soon as possible, following completion of any soil disturbing activities;
 - e. Exposed ground areas that are planned to be reworked at dates greater than one month after initial grading should be sown with a fast germinating, non-invasive grass seed and watered until vegetation is established;
 - f. All disturbed soil areas not subject to revegetation should be stabilized using approved chemical soil binders, jute netting, or other methods approved in advance by the APCD;

- g. All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible. In addition, building pads should be laid as soon as possible after grading unless seeding or soil binders are used;
 - h. Vehicle speed for all construction vehicles shall not exceed 15 mph on any unpaved surface at the construction site;
 - i. All trucks hauling dirt, sand, soil, or other loose materials are to be covered or should maintain at least two feet of freeboard (minimum vertical distance between top of load and top of trailer) in accordance with CVC Section 23114;
 - j. Install wheel washers where vehicles enter and exit unpaved roads onto streets, or wash off trucks and equipment leaving the site;
 - k. Sweep streets at the end of each day if visible soil material is carried onto adjacent paved roads. Water sweepers shall be used with reclaimed water used where feasible. Roads shall be pre-wetted prior to sweeping when feasible;
 - l. All PM₁₀ mitigation measures required should be shown on grading and building plans; and,
 - m. The contractor or builder shall designate a person or persons to monitor the fugitive dust emissions and enhance the implementation of the measures as necessary to minimize dust complaints and reduce visible emissions below the APCD's limit of 20% opacity for greater than 3 minutes in any 60-minute period. Their duties shall include holidays and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the APCD Compliance Division prior to the start of any grading, earthwork or demolition.
18. Demolition of onsite structures shall comply with the National Emission Standards for Hazardous Air Emissions (NESHAP) requirements (NESHAP, 40 CFR, Part 61, Subpart M) for the demolition of existing structures. The SLOAPCD is delegated authority by the Environmental Protection Agency (EPA) to implement the Federal Asbestos NESHAP. Prior to demolition of onsite structures, the SLOAPCD shall be notified, per NESHAP requirements. SLOAPCD notification form and reporting requirements are included in Appendix A. Additional information may be obtained at website url: <http://slocleanair.org/business/asbestos.php>.
19. Maintain all construction equipment in proper tune according to manufacturer's specifications;
20. Fuel all off-road and portable diesel powered equipment with ARB certified motor vehicle diesel fuel (non-taxed version suitable for use off-road);
21. Use diesel construction equipment meeting ARB's Tier 2 certified engines or cleaner off-road heavy-duty diesel engines, and comply with the State Off-road Regulation;
22. Idling of all on and off-road diesel-fueled vehicles shall not be permitted when not in use. Signs shall be posted in the designated queuing areas and or job site to remind drivers and operators of the no idling limitation.
23. Electrify equipment when possible;

24. Substitute gasoline-powered in place of diesel-powered equipment, when available; and,
25. Use alternatively fueled construction equipment on-site when available, such as compressed natural gas (CNG), liquefied natural gas (LNG), propane or biodiesel.

Biological Resources Conditions:

26. BR-1 An environmental awareness training shall be presented by a qualified biologist to all construction personnel prior to start of project activities. The environmental training shall include an overview of special-status species and sensitive resources with potential to occur on the project site, habitat requirements, and their protection status.
27. BR-2 The following general measures are recommended to minimize impacts during active construction:
 - a) The use of heavy equipment and vehicles shall be limited to the proposed project limits and defined staging areas/access points. The boundaries of each work area shall be clearly defined and marked with high visibility fencing. No work shall occur outside these limits.
 - b) Secondary containment such as drip pans shall be used to prevent leaks and spills of potential contaminants.
 - c) Washing of concrete, paint, or equipment, and refueling and maintenance of equipment shall occur only in designated areas. Sandbags and/or absorbent pads shall be available to prevent water and/or spilled fuel from leaving the site.
 - d) Construction equipment shall be inspected by the operator regularly to ensure that equipment is in good working order and no fuel or lubricant leaks are present.
28. BR-3 An appropriately-timed botanical survey(s) will be conducted by a qualified botanist during the typical blooming period (i.e., April - June) for the potentially occurring sensitive plant species listed in Section 3.2.1 of the Biological Report. The survey will be conducted in all areas proposed for temporary or permanent construction activity, including temporary access roads, staging yards, and laydown areas.
 - As a primary goal, any sensitive plant species encountered during the survey(s) shall be flagged for avoidance and construction activities shall avoid the marked areas to the maximum extent feasible.
 - If no special-status plants are observed, no further action is required.
 - If sensitive plant individuals or communities cannot be avoided during construction (i.e., if avoidance is deemed infeasible), a mitigation plan for impacts to special-status plants shall be developed prior to the onset of construction and implemented during construction.

At a minimum, the Plan shall:

- Discuss the proposed construction methods, construction schedule, and the implementation schedule of activities proposed as part of the Plan.
- Quantify the anticipated acreages of impact to special-status plant species.
- Identify each special-status plant species observed on site, including a description of the mitigation activities proposed for each. As appropriate, the measures shall include:

- A detailed description of topsoil salvage procedures and long-term soil stockpile
- storage methods;
- Methods and timing of any proposed seed collection and storage;
- Locations and demarcation of full-time avoidance areas during construction;
- Locations and methods for restoration, replanting and/or reseeded (e.g., decompaction, recontouring, scarification, mulching, hand broadcasting, hydroseeding, etc.); and,
- Short- and/or long-term monitoring protocols and/or vegetative growth success criteria for restoration.
- Include a requirement for photographic documentation and a post-implementation report.

The Plan shall be submitted for approval to CDFW and the City prior to the onset of construction.

29. BR-4 All temporarily disturbed areas (e.g., access routes, staging areas, and stockpile areas) will be located at a minimum of 50 feet from any water feature (i.e., the blue line drainage and upland swale). This distance should be maximized wherever feasible.
30. BR-5 All exterior lighting will be placed or shielded to avoid lighting of open space areas and/or drainages. No permanent night lighting will be installed, except for security and maintenance needs of the constructed facility. Temporary construction lighting will be kept to the minimum amount necessary and shall be directed toward active work areas and away from open spaces and/or drainages.
31. BR-6 A qualified biologist shall conduct a pre-activity survey immediately prior to the initiation of initial project activities to ensure special-status wildlife species are not present during the start of construction. In the event sensitive wildlife species are found, they shall be allowed to leave the area on their own volition, relocated (as permitted) to suitable habitat areas located outside the work area(s), or resources agencies will be contacted for further guidance. Pre-activity surveys will include a general assessment for all sensitive resources with potential to be impacted, but focusing on SJKF and associated potential den sites.
32. BR-7 If work is planned to occur between February 1 and September 15, a qualified biologist shall survey the area for nesting birds within one week prior to activity beginning on site. If nesting birds are located on or near the proposed project site, they shall be avoided until they have successfully fledged. A non-disturbance buffer of 50 feet will be placed around non-listed, passerine species, and a 250-foot buffer will be implemented for raptor species. All activity will remain outside of that buffer until a qualified biologist has determined that the young have fledged or that proposed construction activities would not cause adverse impacts to the nest, adults, eggs, or young. If special-status avian species are identified, no work will begin until an appropriate buffer is determined in consultation with the local CDFW biologist, and/or the USFWS.
33. BR-8 In accordance with the County Guide to SJKF Mitigation Procedures Under CEQA, the project owner shall adopt the Standard Kit Fox CEQA Mitigation Measures and shall be included on development plans. The following summarizes those that are applicable to this project:
 - a) The applicant shall mitigate for the loss of kit fox habitat at a ratio of 2:1 or at a ratio as determined by the California Department of Fish and Wildlife, by one the following methods:

1. Establishing a conservation easement on-site or off-site in a suitable San Luis Obispo County location and provide a non-wasting endowment for management and monitoring of the property in perpetuity;
 2. Depositing funds into an approved in-lieu fee program; or
 3. Purchasing credits in an approved conservation bank in San Luis Obispo County.
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- b) A maximum 25 mph speed limit shall be required at the project site during construction activities.
 - c) All construction activities shall cease at dusk and not start before dawn.
 - d) A qualified biologist shall be on-site immediately prior to initiation of project activities to inspect for any large burrows (e.g., known and potential dens) and to ensure no wildlife are injured during project activities. If dens are encountered, they should be avoided as discussed below.
 - e) Exclusion zone boundaries shall be established around all known and potential kit fox dens.
 - f) All excavations deeper than 2 feet shall be completely covered at the end of each working day.
 - g) All pipes, culverts, or similar structures shall be inspected for SJKF and other wildlife before burying, capping, or moving.
 - h) All exposed openings of pipes, culverts, or similar structures shall be capped or temporarily sealed prior to the end of each working day.
 - i) All food-related trash shall be removed from the site at the end of each work day.
 - j) Project-related equipment shall be prohibited outside of designated work areas and access routes.
 - k) No firearms shall be allowed in the project area.
 - l) Disturbance to burrows shall be avoided to the greatest extent feasible.
 - m) No rodenticides or herbicides should be applied in the project area.
 - n) Permanent fences shall allow for SJKF passage through or underneath (i.e., an approximate 4-inch passage gap shall remain at ground level).

Cultural Resources Conditions:

34. CR-1

- a) A trained and qualified archaeological monitor should perform cultural resources monitoring of any ground disturbing activities associated with the Project that have the potential to impact cultural resources (i.e. grading, trenching). Monitoring is not effective during activities where soil matrix is not visually exposed (i.e. pile-driving for installation of solar pylons). The monitor will have the ability to redirect construction activities to ensure avoidance of significant impacts to cultural resources.

- b) During the initial vegetation removal and grading up to five feet below current ground surface of the site, we recommend full time cultural resources monitoring. The project archaeologist, in coordination with the City of Paso Robles, may re-evaluate the necessity for monitoring after the initial five feet of excavations have been completed.
- c) In the event that these resources are inadvertently discovered during ground-disturbing activities, work must be halted within 50 feet of the find until it can be evaluated by a qualified archaeologist. Construction activities could continue in other areas. If the discovery proves to be significant, additional work, such as data recovery excavation or fossil recovery, may be warranted and would be discussed in consultation with the appropriate regulatory agency(ies).
- d) Any potentially significant artifacts, sites or features observed shall be collected and recorded in conjunction with best management practices and professional standards.
- e) Any cultural items recovered during mitigation should be deposited in an accredited and permanent scientific institution for the benefit of current and future generations.
- f) A report documenting the results of the monitoring efforts, including any data recovery activities and the significance of any cultural resources will be prepared and submitted to the appropriate City and County personnel.
- g) Procedures of conduct following the discovery of human remains on non-federal lands have been mandated by California Health and Safety Code §7050.5, PRC §5097.98 and the California Code of Regulations (CCR) §15064.5(e). According to the provisions in CEQA, should human remains be encountered, all work in the immediate vicinity of the burial must cease, and any necessary steps to insure the integrity of the immediate area must be taken. The Orange County Coroner will be immediately notified. The Coroner must then determine whether the remains are Native American. If the Coroner determines the remains are Native American, the Coroner has 24 hours to notify the NAHC, who will, in turn, notify the person they identify as the most likely descendent (MLD) of any human remains. Further actions will be determined, in part, by the desires of the MLD. The MLD has 48 hours to make recommendations regarding the disposition of the remains following notification from the NAHC of the discovery. If the MLD does not make recommendations within 48 hours, the owner shall, with appropriate dignity, reinter the remains in an area of the property secure from further disturbance. Alternatively, if the owner does not accept the MLD's recommendations, the owner or the descendent may request mediation by the NAHC.

35. CR-2

- a) A trained and qualified paleontological monitor should perform paleontological monitoring of any ground disturbing activities associated with the Project that have the potential to impact paleontological resources (i.e. grading, trenching). Monitoring is not effective during activities where sediment is not visually exposed (i.e. pile-driving for installation of solar pylons). The monitor will have the ability to redirect construction activities to ensure avoidance of significant impacts to paleontological resources.
- b) The project paleontologist may re-evaluate the necessity for paleontological monitoring after 50% or greater of the excavations have been completed.
- c) Any potentially significant fossils observed shall be collected and recorded in conjunction with best management practices and SVP professional standards.

- d) Any fossils recovered during mitigation should be deposited in an accredited and permanent scientific institution for the benefit of current and future generations.
- e) A report documenting the results of the monitoring, including any salvage activities and the significance of any fossils will be prepared and submitted to the appropriate City and County personnel.

EXHIBIT B

CITY OF EL PASO DE ROBLES
STANDARD DEVELOPMENT CONDITIONS

Planned Development (PD 16-008) Conditional Use Permit (CUP 16-007)

Tentative Parcel Map Tentative Tract Map

Approval Body: Planning Commission Date of Approval: April 25, 2017

Applicant: SunEdison LLC Location: 3301 Satellite Drive

APN: 025-450-001

The following conditions that have been checked are standard conditions of approval for the above referenced project. The checked conditions shall be complied with in their entirety before the project can be finalized, unless otherwise specifically indicated. In addition, there may be site specific conditions of approval that apply to this project in the resolution.

COMMUNITY DEVELOPMENT DEPARTMENT - The applicant shall contact the Community Development Department, (805) 237-3970, for compliance with the following conditions:

A. GENERAL CONDITIONS – PD/CUP:

- 1. This project approval shall expire on April 25, 2019 unless a time extension request is filed with the Community Development Department, or a State mandated automatic time extension is applied prior to expiration.
- 2. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Planned Development process shall not waive compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
- 3. To the extent allowable by law, Owner agrees to hold City harmless from costs and expenses, including attorney's fees, incurred by City or held to be the liability of City in connection with City's defense of its actions in any proceeding brought in any State or Federal court challenging the City's actions with respect to the project. Owner understands and acknowledges that City is under no obligation to defend any legal actions challenging the City's actions with respect to the project.

- 4. Any site specific condition imposed by the Planning Commission in approving this project (**Conditional Use Permit**) may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the approval of this project. No such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use for this approval.
- 5. The site shall be kept in a neat manner at all times and the landscaping shall be continuously maintained in a healthy and thriving condition.
- 6. All signs shall be subject to review and approval as required by Municipal Code Section 21.19 and shall require a separate application and approval prior to installation of any sign.
- 7. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 8. Prior to the issuance of a Building Permit a landscape and irrigation plan consistent with the Landscape and Irrigation Ordinance, shall be submitted for City review and approval. The plan needs to be designed in a manner that utilizes drought tolerant plants, trees and ground covers and minimizes, if not eliminates the use of turf. The irrigation plan shall utilize drip irrigation and limit the use of spray irrigation. All existing and/or new landscaping shall be installed with automatic irrigation systems.
- 9. A reciprocal parking and access easement and agreement for site access, parking, and maintenance of all project entrances, parking areas, landscaping, hardscape, common open space, areas and site lighting standards and fixtures, shall be recorded prior to or in conjunction with the Final Map. Said easement and agreement shall apply to all properties, and be referenced in the site Covenants, Conditions and Restrictions (CC&Rs).
- 10. All outdoor storage shall be screened from public view by landscaping and walls or fences per Section 21.21.110 of the Municipal Code.
- 11. For commercial, industrial, office or multi-family projects, all refuse enclosures are required to provide adequate space for recycling bins. The enclosure shall be architecturally compatible with the primary building. Gates shall be view obscuring and constructed of durable materials. Check with Paso Robles Waste Disposal to determine the adequate size of enclosure based on the number and size of containers to be stored in the enclosure.

- 12. For commercial, industrial, office or multi-family projects, all existing and/or new ground-mounted appurtenances such as air-conditioning condensers, electrical transformers, backflow devices etc., shall be screened from public view through the use of decorative walls and/or landscaping subject to approval by the Community Development Director or his designee. Details shall be included in the building plans.
- 13. All existing and/or new roof appurtenances such as air-conditioning units, grease hoods, etc. shall be screened from public view. The screening shall be architecturally integrated with the building design and constructed of compatible materials to the satisfaction of the Community Development Director or his designee. Details shall be included in the building plans.
- 14. All existing and/or new lighting shall be shielded so as to be directed downward in such a manner as to not create off-site glare or adversely impact adjacent properties. The style, location and height of the lighting fixtures shall be submitted with the building plans and shall be subject to approval by the Community Development Director or his designee.
- 15. It is the property owner's responsibility to insure that all construction of private property improvements occur on private property. It is the owner's responsibility to identify the property lines and insure compliance by the owner's agents.
- 16. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No.835 N.S., Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to removal.
- 17. No storage of trash cans or recycling bins shall be permitted within the public right-of-way.
- 18. Prior to recordation of the map or prior to occupancy of a project, all conditions of approval shall be completed to the satisfaction of the City Engineer and Community Developer Director or his designee.
- 19. Two sets of the revised Planning Commission approved plans incorporating all Conditions of Approval, standard and site specific, shall be submitted to the Community Development Department prior to the issuance of building permits.
- 20. Prior to the issuance of building permits, the
 - Development Review Committee shall approve the following:
 - Planning Division Staff shall approve the following:

- a. A detailed site plan indicating the location of all structures, parking layout, outdoor storage areas, walls, fences and trash enclosures;
- b. A detailed landscape plan;
- c. Detailed building elevations of all structures indicating materials, colors, and architectural treatments;
- d. Other: grading plan review

B. GENERAL CONDITIONS – TRACT/PARCEL MAP:

- 1. In accordance with Government Section 66474.9, the subdivider shall defend, indemnify and hold harmless the City, or its agent, officers and employees, from any claim, action or proceeding brought within the time period provided for in Government Code section 66499.37, against the City, or its agents, officers, or employees, to attack, set aside, void, annul the City's approval of this subdivision. The City will promptly notify subdivider of any such claim or action and will cooperate fully in the defense thereof.
- 2. The Covenants, Conditions, and Restrictions (CC&Rs) and/or Articles Affecting Real Property Interests are subject to the review and approval of the Community Development Department, the Public Works Department and/or the City Attorney. They shall be recorded concurrently with the Final Map or prior to the issuance of building permits, whichever occurs first. A recorded copy shall be provided to the affected City Departments.
- 3. The owner shall petition to annex residential Tract (or Parcel Map)_____ into the City of Paso Robles Community Facilities District No. 2005-1 for the purposes of mitigation of impacts on the City's Police and Emergency Services Departments.
- 4. Street names shall be submitted for review and approval by the Planning Commission, prior to approval of the final map.
- 5. The following areas shall be permanently maintained by the property owner, Homeowners' Association, or other means acceptable to the City:

ENGINEERING DIVISION- The applicant shall contact the Engineering Division, (805) 237-3860, for compliance with the following conditions:

All conditions marked are applicable to the above referenced project for the phase indicated.

(Adopted by Planning Commission Resolution _____)

C. PRIOR TO ANY PLAN CHECK:

- 1. The applicant shall enter into an Engineering Plan Check and Inspection Services Agreement with the City.

D. PRIOR TO ISSUANCE OF A GRADING PERMIT:

- 1. Prior to approval of a grading plan, the developer shall apply through the City, to FEMA and receive a Letter of Map Amendment (LOMA) issued from FEMA. The developer's engineer shall provide the required supporting data to justify the application.
- 2. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No. 553, Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to its removal.
- 3. A complete grading and drainage plan shall be prepared for the project by a registered civil engineer and subject to approval by the City Engineer. The project shall conform to the City's Storm Water Discharge Ordinance.
- 4. A Preliminary Soils and/or Geology Report providing technical specifications for grading of the site shall be prepared by a Geotechnical Engineer.
- 5. A Storm Water Pollution Prevention Plan per the State General Permit for Storm Water Discharges Associated with Construction Activity shall be provided for any site that disturbs greater than or equal to one acre, including projects that are less than one acre that are part of a larger plan of development or sale that would disturb more than one acre.

E. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

- 1. All off-site public improvement plans shall be prepared by a registered civil engineer and shall be submitted to the City Engineer for review and approval. The improvements shall be designed and placed to the Public Works Department Standards and Specifications.
- 2. The applicant shall submit a composite utility plan signed as approved by a representative of each public utility.
- 3. Landscape and irrigation plans for the public right-of-way shall be incorporated into the improvement plans and shall require approval by the Streets Division Supervisor and the Community Development Department.

(Adopted by Planning Commission Resolution _____)

- 4. In a special Flood Hazard Area as indicated on a Flood Insurance Rate Map (FIRM) the owner shall provide an Elevation Certificate in accordance with the National Flood Insurance program. This form must be completed by a land surveyor or civil engineer licensed in the State of California.

F. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY OR RECORDATION OF THE FINAL MAP:

The Planning Commission has made a finding that the fulfillment of the construction requirements listed below are a necessary prerequisite to the orderly development of the surrounding area.

- 1. The applicant shall pay any current and outstanding fees for Engineering Plan Checking and Construction Inspection services.
- 2. All public improvements are completed and approved by the City Engineer, and accepted by the City Council for maintenance.
- 3. The owner shall offer to dedicate and improve the following street(s) to the standard indicated:

Street Name	City Standard	Standard Drawing No.
-------------	---------------	----------------------

- 4. If, at the time of approval of the final map, any required public improvements have not been completed and accepted by the City the owner shall be required to enter into a Subdivision Agreement with the City in accordance with the Subdivision Map Act.

Bonds required and the amount shall be as follows:
 Performance Bond.....100% of improvement costs.
 Labor and Materials Bond.....50% of performance bond.

- 5. If the existing City street adjacent to the frontage of the project is inadequate for the traffic generated by the project, or will be severely damaged by the construction, the applicant shall excavate the entire structural section and replace it with a standard half-width street plus a 12' wide travel lane and 8' wide graded shoulder adequate to provide for two-way traffic.
- 6. If the existing pavement and structural section of the City street adjacent to the frontage of the project is adequate, the applicant shall provide a new structural section from the proposed curb to the edge of pavement and shall overlay the existing paving to centerline for a smooth transition.
- 7. Due to the number of utility trenches required for this project, the City Council

adopted Pavement Management Program requires a pavement overlay on Airport Road along the frontage of the project.

- 8. The applicant shall install all utilities. Street lights shall be installed at locations as required by the City Engineer. All existing overhead utilities adjacent to or within the project shall be relocated underground except for electrical lines 77 kilovolts or greater. All utilities shall be extended to the boundaries of the project.

- 9. The owner shall offer to dedicate to the City the following easement(s). The location and alignment of the easement(s) shall be to the description and satisfaction of the City Engineer:
 - a. Public Utilities Easement;
 - b. Water Line Easement;
 - c. Sewer Facilities Easement;
 - d. Landscape Easement;
 - e. Storm Drain Easement.

- 10. The developer shall annex to the City's Landscape and Lighting District for payment of the operating and maintenance costs of the following:
 - a. Street lights;
 - b. Parkway/open space landscaping;
 - c. Wall maintenance in conjunction with landscaping;
 - d. Graffiti abatement;
 - e. Maintenance of open space areas.

- 11. For a building with a Special Flood Hazard Area as indicated on a Flood Insurance Rate Map (FIRM), the developer shall provide an Elevation Certificate in accordance with the National Flood Insurance Program. This form must be completed by a lands surveyor or civil engineer licensed in the State of California.

- 12. All final property corners shall be installed.

- 13. All areas of the project shall be protected against erosion by hydro seeding or landscaping.

- 14. All construction refuse shall be separated (i.e. concrete, asphalt concrete, wood gypsum board, etc.) and removed from the project in accordance with the City's Source Reduction and Recycling Element.

- 15. Clear blackline mylars and paper prints of record drawings, signed by the engineer of record, shall be provided to the City Engineer prior to the final inspection. An electronic autocad drawing file registered to the California State Plane – Zone 5 / NAD83 projected coordinate system, units in survey feet, shall be provided.

PASO ROBLES DEPARTMENT OF EMERGENCY SERVICES- The applicant shall contact the Department of Emergency Services, (805) 227-7560, for compliance with the following conditions:

G. GENERAL CONDITIONS

1. Prior to the start of construction:
 - Plans shall be reviewed, approved and permits issued by Emergency Services for underground fire lines.
 - Applicant shall provide documentation to Emergency Services that required fire flows can be provided to meet project demands.
 - Fire hydrants shall be installed and operative to current, adopted edition of the California Fire Code.
 - A based access road sufficient to support the department's fire apparatus (HS-20 truck loading) shall be constructed and maintained for the duration of the construction phase of the project.
 - Access road shall be at least twenty (20) feet in width with at least thirteen (13) feet, six (6) inches of vertical clearance.

2. Provide central station monitored fire sprinkler system for all residential, commercial and industrial buildings that require fire sprinklers in current, adopted edition of the California Building Code, California Fire Code and Paso Robles Municipal Code.
 - Plans shall be reviewed, approved and permits issued by Emergency Services for the installation of fire sprinkler systems.

3. Provide central station monitored fire alarm system for all residential, commercial and industrial buildings that require fire alarm system in current, adopted edition of the California Building Code, California Fire Code and Paso Robles Municipal Code.

4. If required by the Fire Chief, provide on the address side of the building if applicable:
 - Fire alarm annunciator panel in weatherproof case.
 - Knox box key entry box or system.
 - Fire department connection to fire sprinkler system.

5. Provide temporary turn-around to current City Engineering Standard for phased construction streets that exceed 150 feet in length.

6. Project shall comply with all requirements in current, adopted edition of California Fire Code and Paso Robles Municipal Code.

(Adopted by Planning Commission Resolution _____)

7. Prior to the issuance of Certificate of Occupancy:
- Final inspections shall be completed on all underground fire lines, fire sprinkler systems, fire alarm systems and chemical hood fire suppression systems.
 - Final inspections shall be completed on all buildings.



PASO ROBLES AIRPORT

3103 SATELLITE DRIVE
PASO ROBLES, CA

30% DESIGN



STAMP:

NOT FOR CONSTRUCTION

PASO ROBLES AIRPORT
CITY OF PASO ROBLES
3103 SATELLITE DRIVE

PROJECT NUMBER:
CA-15-1161

SHEET TITLE:
TITLE SHEET

SHEET SIZE:
ARCH "D"
24" X 36" (610 x 914)

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NO.	REVISION	DATE	INIT.
1	CLIP	1/15/17	FR
2	CLIP Bkck	2/24/17	HK
3	UTILITY COMMENTS	2/28/17	DRM

DATE: 01/20/2017
DRAWN BY: AJM
ENGINEER: AF
APPROVED BY:

PROJECT PHASE:
30% DESIGN

SCALE:
NO SCALE

SHEET NO.:
G-001



CIVIL SHEETS		
SHEET NUMBER	REV	SHEET TITLE
C-001		CIVIL TITLE SHEET
C-101		SITE PLAN
C-102		GRADING PLAN
C-103		NOT USED
C-104		NOT USED
C-201		CIVIL ELEVATIONS
C-301		NOT USED
C-501		NOT USED
C-502		NOT USED
C-503		FENCE & GATE DETAILS

ELECTRICAL SHEETS		
SHEET NUMBER	REV	SHEET TITLE
E-002		ELECTRICAL NOTES
E-003		ELECTRICAL NOTES
E-101		ELECTRICAL SITE PLAN
E-201		PV PLANT SINGLE-LINE DIAGRAM
E-202		INTERCONNECTION DIAGRAM
E-203		AC SYSTEMS THREE-LINE DIAGRAM
E-204		AC SYSTEMS CIRCUIT BREAKER DC SCHEMATIC
E-301		NOT USED
E-501		TYP. ARRAY LAYOUT - ELECTRICAL
E-502		NOT USED
E-503		NOT USED
E-504		ARRAY STRUCTURE DETAILS - ELECTRICAL
E-505		GROUNDING DETAILS
E-506		INVERTER STATION PLANS & ELEVATIONS
E-507		NOT USED
E-508		TRENCH AND UNDERGROUND DETAILS
E-509		MV ELECTRICAL DETAILS
E-510		MV ELECTRICAL DETAILS
E-511		LABELS & MARKINGS
E-601		PV BLOCK GROUNDING SINGLE-LINE DIAGRAM
E-801		SPECIFICATION SHEETS
E-905		NOT USED

PROJECT DEVELOPER SUNEDISON 600 CLIPPER DRIVE BELMONT, CA, 94002 (650) 453-5600 PROJECT ENGINEER: A MELVIN AMELVIN@SUNEDISON.COM 303-396-2834	SITE CONTACT [name] [address] [city] [state] [zip] [phone]	SCOPE OF WORK THIS DESIGN PACKAGE PROVIDES DRAWINGS FOR THE INSTALLATION OF A 5275.44 KW DC RATED PHOTOVOLTAIC SYSTEM IN PASO ROBLES, CA. ENVIRONMENTAL PLANS ARE NOT PART OF THE SCOPE OF THIS PLAN SET. NOTE: 1850 CRESTON ROAD, IS A NEW ADDRESS PROVIDED BY BUILDING DEPARTMENT
CIVIL ENGINEER [company name] [address] [city] [state] [zip] [phone]	GEOTECHNICAL ENGR. [company name] [address] [city] [state] [zip] [phone]	PROJECT DESCRIPTION SYSTEM SIZE (DC) 5275.44KW SYSTEM SIZE (AC) 4,000KW (4,725.584KW CEC) MODULE TYPE (15,516) SUNEDISON SE-R340BZC-3Y 340W MODULES INVERTER 1 (4) INGETEAM SUN 1000TL UX400 OUTDOOR 1000KW INVERTERS INVERTER 2 N/A INVERTER 3 N/A TRANSFORMER 1 N/A TRANSFORMER 2 N/A LATITUDE/LONGITUDE 35.675°-120.6341° AZIMUTH 180° TILT 15° PROJECT AREA 24.6 ACRES
STRUCTURAL ENGINEER [company name] [address] [city] [state] [zip] [phone]	ELECTRICAL ENGINEER [company name] [address] [city] [state] [zip] [phone]	APPLICABLE CODES AND STANDARDS <ul style="list-style-type: none"> CALIFORNIA BUILDING CODE (CBC) 2013 EDITION CALIFORNIA FIRE CODE 2013 EDITION CALIFORNIA ENERGY CODE 2013 EDITION CALIFORNIA MECHANICAL CODE 2013 EDITION CALIFORNIA PLUMBING CODE 2013 EDITION CALIFORNIA ELECTRICAL CODE 2013 EDITION CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R. (2012 INTERNATIONAL FIRE CODE AND 2010 CALIFORNIA AMENDMENTS) 2013 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24, C.C.R. TITLE 19 C.C.R. PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
LANDSCAPE ARCHITECT [company name] [address] [city] [state] [zip] [phone]	CONTRACTOR [company name] [address] [city] [state] [zip] [phone]	CONTRACTOR'S LICENSE:

GENERAL PLAN SYMBOLS

Printed: 3/3/2017 2:17 PM C:\Users\vebonas\Desktop\000 drawings\cse-15-1161-170120-G-001 TITLE SHEET.dwg CANOPY DSA TEMPLATE RELEASE 1.0.1



STAMP:

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PASO ROBLES AIRPORT
CITY OF PASO ROBLES
3103 SATELLITE DRIVE

PROJECT NUMBER:
CA-15-1161

SHEET TITLE:
SITE PLAN

SHEET SIZE:
ARCH "D"
24" X 36" (610 X 914)

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NO.	REVISION	DATE	INIT.
1	CLJP	1/15/17	PR
2	CLJP Bkck	2/24/17	HK
3	UTILITY COMMENTS	2/28/17	DRM

DATE: 01/20/2017
DRAWN BY: AJM
ENGINEER: AF
APPROVED BY:

PROJECT PHASE:
30% DESIGN



SCALE: 1" = 100'

SHEET NO.:
C-101









SHEET NOTES

1. SHOWS EXTENTS OF ALL CIVIL WORKS

KEY NOTES

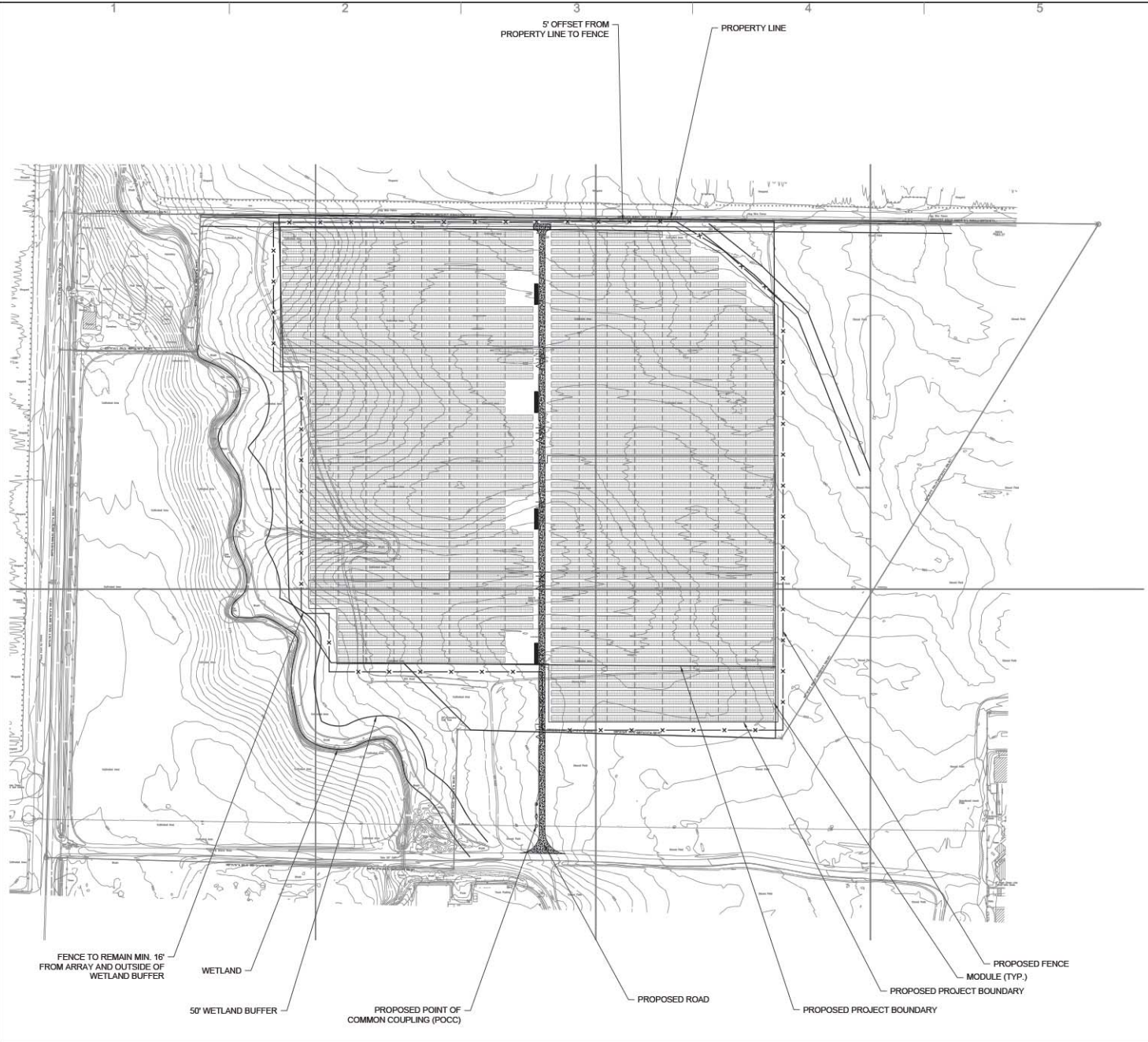
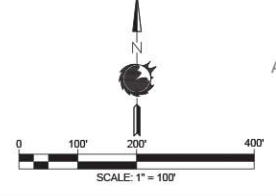
- ① CONSTRUCT 7'-HIGH CHAIN LINK SECURITY FENCING PER DETAILS 
- ② ACCESS GATE WITH CLEAR OPENING WIDTH OF 24' PER DETAIL 

LEGEND

-  PROJECT PROPERTY LINE
-  PROPERTY LINE
-  SETBACK LINE
-  EX. EASEMENT
-  EX. RIGHT-OF-WAY
-  NEW INTERIOR ACCESS ROAD
-  NEW PERIMETER FENCE
-  LIMITS OF CONSTRUCTION

PROJECT INFORMATION

SYSTEM SIZE (DC)	5275.44kW
SYSTEM SIZE (AC)	4,000kW
MODULE TYPE	(15,516) SUNEDISON SE-R340BZC-3Y 340W MODULES
INVERTER 1	(4) INGETEAM SUN 1000TL UX400 OUTDOOR 1000 kW INVERTERS
INVERTER 2	N/A
AZIMUTH	180°
TILT	15°
PROJECT AREA	24.6 ACRES
GCR	72%



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PASO ROBLES AIRPORT
CITY OF PASO ROBLES
3103 SATELLITE DRIVE

PROJECT NUMBER:
CA-15-1161

SHEET TITLE:
GRADING PLAN

SHEET SIZE:
ARCH "D"
24" X 36" (610 x 914)

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NO.	REVISION	DATE	INIT.
1	CLIP	1/15/17	PR
2	CLIP Bkck	2/24/17	HK
3	UTILITY COMMENTS	2/28/17	DRM

DATE: 01/20/2017
DRAWN BY: AJM
ENGINEER: AF
APPROVED BY:

PROJECT PHASE:
30% DESIGN

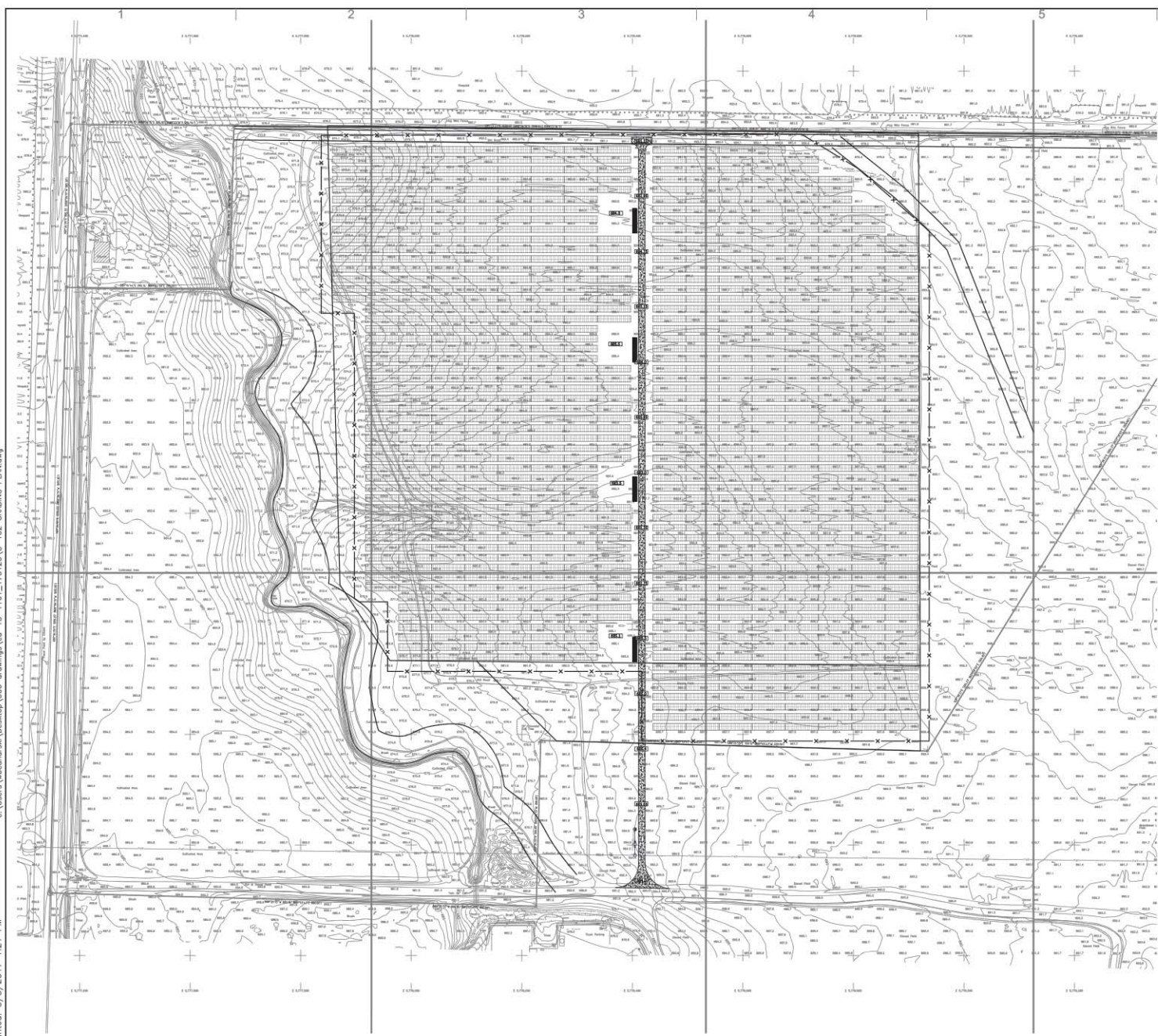
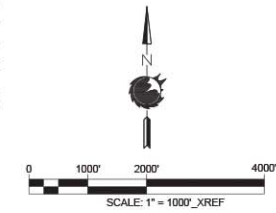
SCALE: 1" = 1000'_XREF

SHEET NO.:
C-102

SHEET NOTES
1. SEE SHEET C-003 FOR GRADING NOTES

GRADING LEGEND:

	PROJECT PROPERTY LINE
	SETBACK LINE
	NEW INTERIOR ACCESS ROAD (GRAVEL)
	NEW PERIMETER FENCE
	EX. MINOR CONTOUR
	EX. MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	EX. SLOPE
	PROPOSED SLOPE

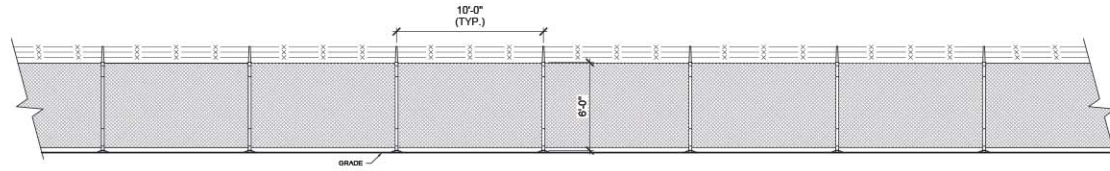


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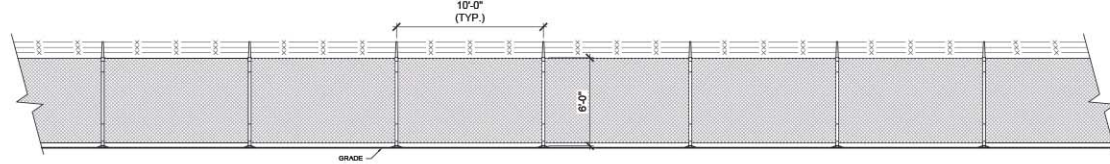


SHEET NOTES

1. [notes]



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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PASO ROBLES AIRPORT
CITY OF PASO ROBLES
3103 SATELLITE DRIVE

PROJECT NUMBER:
CA-15-1161

SHEET TITLE:
CIVIL ELEVATIONS

SHEET SIZE:
ARCH "D"
24" X 36" (610 x 914)
0 1/2" = 1"

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NO.	REVISION	DATE	INIT.
1	CLIP	1/15/17	PR
2	CLIP Blck	2/24/17	HK
3	UTILITY COMMENTS	2/28/17	DRM

DATE: 01/20/2017
DRAWN BY: AJM
ENGINEER: AF
APPROVED BY:

PROJECT PHASE:
30% DESIGN

SCALE:
AS SHOWN

SHEET NO.:
C-201



STAMP:

NOT FOR CONSTRUCTION

PASO ROBLES AIRPORT
CITY OF PASO ROBLES
3103 SATELLITE DRIVE

PROJECT NUMBER:
CA-15-1161

SHEET TITLE:
FENCE & GATE DETAILS

SHEET SIZE:
ARCH "D"
24" X 36" (610 X 914)

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NO.	REVISION	DATE	INIT.
1	CLIP	1/15/17	PR
2	CLIP Bkck	2/24/17	HK
3	UTILITY COMMENTS	2/28/17	DRM

DATE: 01/20/2017
DRAWN BY: AJM
ENGINEER: AF
APPROVED BY:

PROJECT PHASE: 30% DESIGN
SCALE: AS SHOWN

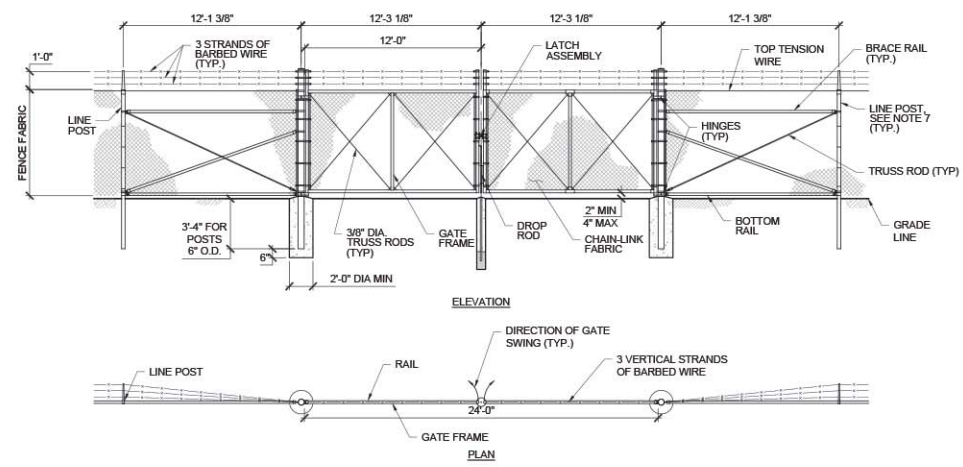
SHEET NO.:
C-503

SHEET NOTES

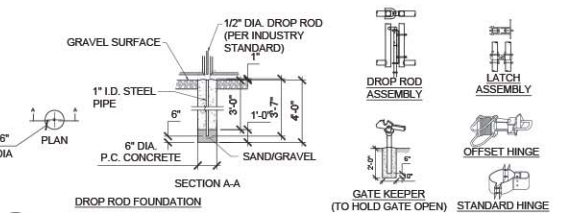
- WIRE TIES, RAILS, POSTS, AND BRACES SHALL BE CONSTRUCTED ON THE SECURE SIDE OF THE FENCE ALIGNMENT. CHAIN-LINK FABRIC SHALL BE PLACED ON THE OPPOSITE SIDE OF THE SECURE AREA.
- SWING GATES SHALL BE CONSTRUCTED WITH DROP RODS, PADLOCKS, LATCH ASSEMBLY, AND GATE KEEPERS EXCEPT AS NOTED.
- ALL GATE FRAMES SHALL BE ACCORDING TO STEEL POST SCHEDULE GATE FRAMES SHALL BE OF WELDED CONSTRUCTION OR SHALL BE ASSEMBLED USING HEAVY FITTINGS. AT THE CONTRACTOR'S OPTION A WELDED HORIZONTAL BRACE MAY BE USED IN LIEU OF TRUSS RODS TO BRACE ALL WELDED GATE FRAMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER RIGID CONSTRUCTION OF ALL GATES SUPPLIED.
- GATES SHALL BE DESIGNATED AS FOLLOWS:
FENCE TYPE - FE5, FE6, ETC.
FABRIC WIDTH - INCHES
TYPE OPENING - SO (SINGLE)
 - DO (DOUBLE)
HINGE - RA (STANDARD)
 - HO (OFFSET)
OPENING - INCHES (CLEAR OPENING BETWEEN GATE POSTS)
EXAMPLES: FE5-120-DO-RA-144
 FE5-120-SO-HO-144
- CHAIN-LINK FABRIC SHALL BE 11 GAUGE WITH 2" OPENINGS.
- LINE POSTS SHALL BE 10 FEET LONG 1-7/8" SCHEDULE 40 GRADE 50 PIPE DIRECTLY DRIVEN 4 FEET INTO NATIVE SOIL.
- SLATS NOT PERMITTED WITHOUT EOR APPROVAL AND SIGN-OFF.

STEEL POST SCHEDULE	
USE AND SECTION	MINIMUM OUTSIDE DIMENSIONS
CORNER-END AND PULL POSTS (TUBULAR ROUNDS)	0'-2 3/8"
LINE POST (TUBULAR) ROUND	0'-1 7/8"

SOIL TYPE	EMBEDMENT DEPTH (FT)		
	WIND SPEED (MPH)		
	90	105	120
SOFT CLAY	5.5	6	6.5
STIFF CLAY	4.5	5	5.5
VERY STILL CLAY	4	4.5	5
HARD CLAY	3.5	4	4.5
LOOSE SAND	6	6.5	7
Medium Dense Sand	5.5	6	6.5
Dense Sand	5	6	6.5

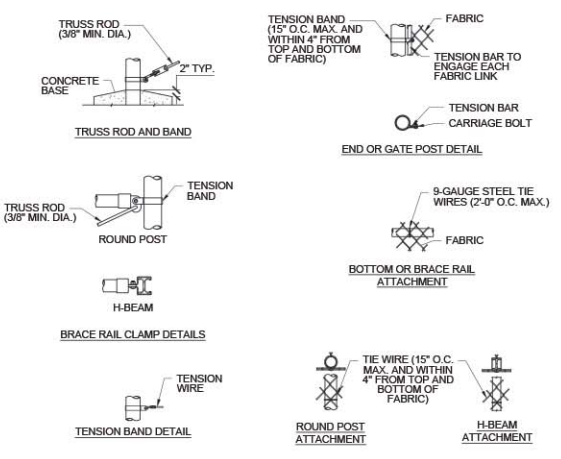


1 TYPICAL ACCESS GATE
SCALE: 1/4" = 1'-0"

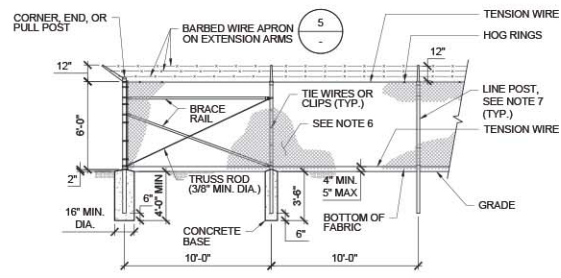


DETAIL NOTE(S)
1. REPEAT BRACE EVERY 500 FEET AND AT CORNERS.

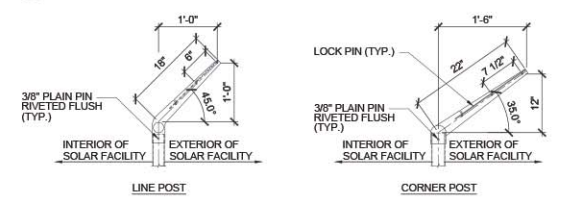
2 ACCESS GATE DETAILS
SCALE: NTS



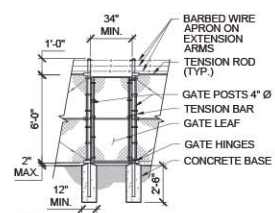
3 CHAINLINK FENCE FASTENING DETAIL
SCALE: NTS



4 PERIMETER FENCE-ELEVATION
SCALE: 1/4" = 1'-0"



5 EXTENSION ARM DETAILS
SCALE: NTS



6 EMERGENCY MAN GATE
SCALE: 1/4" = 1'-0"

Printed: 3/3/2017 1:23 PM c:\Users\wbedonak\Desktop\000 drawings\top-15-1161-170120-C-503 FENCE & GATE DETAILS.dwg

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PASO ROBLES AIRPORT
CITY OF PASO ROBLES
3103 SATELLITE DRIVE

PROJECT NUMBER:
CA-15-1161

SHEET TITLE:
ELECTRICAL SITE PLAN

SHEET SIZE:
ARCH "D"
24" X 36" (610 X 914)

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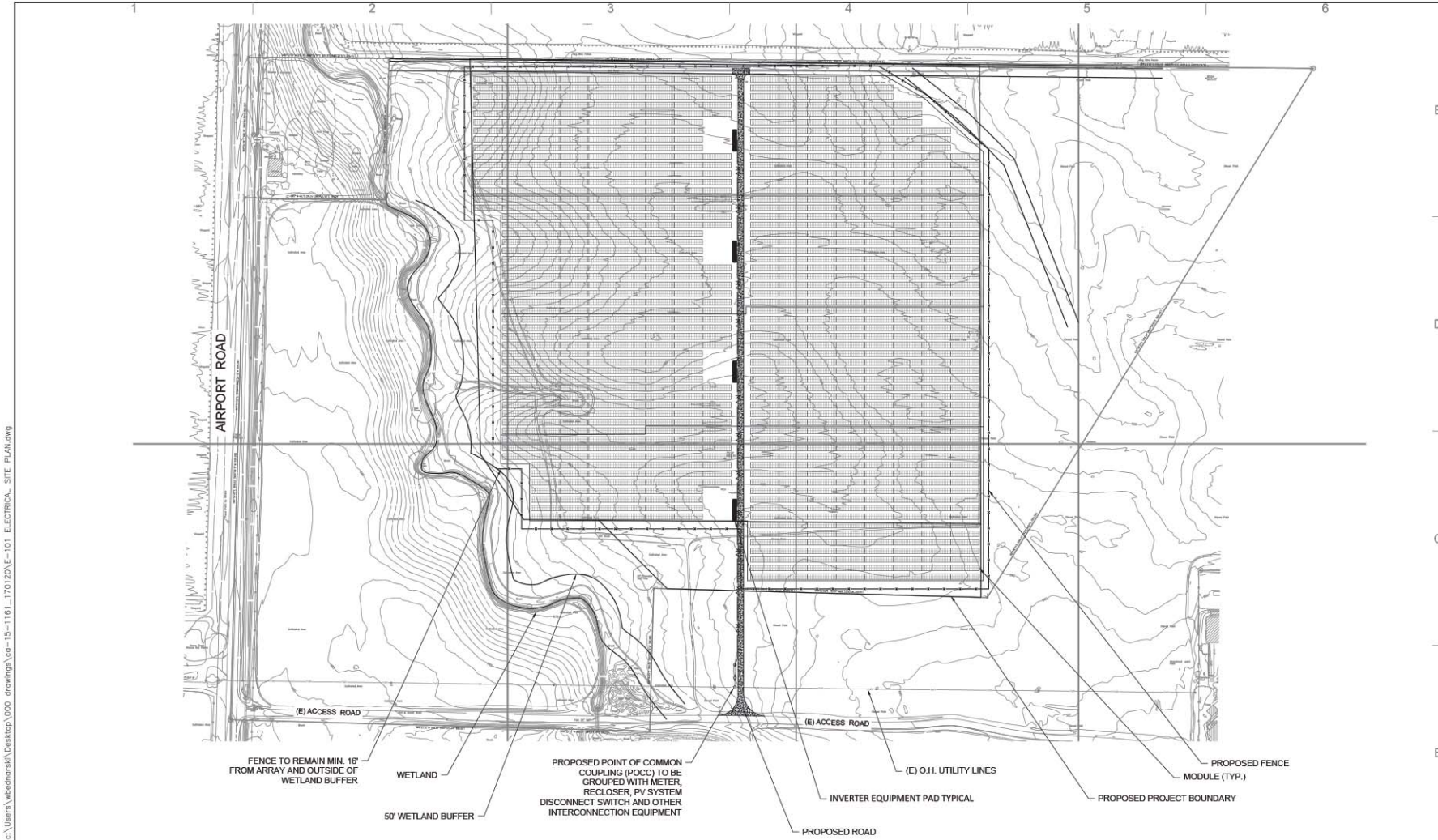
NO.	REVISION	DATE	INIT.
1	CLJP	1/15/17	PR
2	CLJP Bkck	2/24/17	HK
3	UTILITY COMMENTS	2/28/17	DRM

DATE: 01/20/2017
DRAWN BY: AJM
ENGINEER: AF
APPROVED BY:

PROJECT PHASE:
30% DESIGN

SCALE: 1" = 100'

SHEET NO.:
E-101

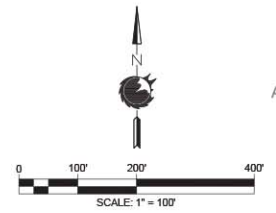


SHEET NOTES

- REFER FOR WIRE AND CONDUIT SCHEDULES STARTING ON SHEET E-301 - WIRE & CONDUIT SCHEDULES.
- CONDUIT AND/OR DIRECT-BURIED CONDUCTOR ROUTING IS DIAGRAMMATIC ONLY. CONTRACTOR SHALL COORDINATE ALL ROUTING TO AVOID EXISTING INTERFERENCES AND IS RESPONSIBLE FOR FIELD CHECKING AND MAKING ALL NECESSARY OFFSETS AS REQUIRED.
- NO PART OF THIS DRAWING OR SPECIFICATIONS IS INTENDED TO ALLOW A VIOLATION OF PHYSICAL WORKING SPACE REQUIREMENTS AROUND ELECTRICAL EQUIPMENT.
- STRINGS HOMERUNS SHALL USE UL LISTED WEATHERPROOF, UV SUNLIGHT RESISTANT, FINGERSAFE, PLUG-AND RECEPTACLE CONNECTORS, MULTICONTACT TYPE OR EQUIVALENT. EXISTING PV MODULE CONNECTORS SHALL BE UTILIZED, HOMERUNS TO MATCH.
- DIRECT-BURIED CONDUCTORS EMERGING FROM GRADE SHALL BE PROTECTED BY RACEWAY, CONDUIT TYPE PVC SCHEDULE 80 AND SHALL BE INSTALLED TO MEET REQUIREMENTS OF NEC 300.5. INSTALL "BURIED CABLE" WARNING TAPE 12 INCHES BELOW THE GRADE. PVC CONDUITS SHALL HAVE BELL ENDS INSTALLED WHERE DIRECT BURIAL CABLES ENTER/EXIT CONDUITS.
- WIRING SHALL BE INSTALLED IN APPROVED RACEWAYS FOR ITS INTENDED USE. ADEQUATELY STRAP AND SUPPORT ALL RACEWAYS. IN GENERAL, SUPPORT ALL CONDUIT WITHIN THREE FEET OF OUTLET BOX, PANEL OR ENCLOSURE AND MAXIMUM TEN FEET ON CENTER THEREAFTER. RACEWAYS TO BE LISTED FOR WET LOCATION.
- PHOTOVOLTAIC SOURCE CIRCUITS, IF NOT ENCLOSED IN RACEWAY, SHALL BE SECURED AND SUPPORTED BY CABLE TIES, CLIPS, HANGERS OR SIMILAR FITTING TO MEET REQUIREMENTS OF NEC 334.30. INSTALLATION SHALL COMPLY WITH NEC 334.15(A)(8) AND 690.31.
- ALL TRENCHES SHALL BE NOT LESS THAN 2'-0" FROM EDGE OF COLUMN/PIER TO NEAREST EDGE OF TRENCH. SEE TRENCH DETAILS ON SHEET E-508 - TRENCH AND UNDERGROUND DETAILS FOR ACTUAL DIMENSIONS.
- FOR DC TRENCHING AND EQUIPMENT LOCATION DETAILS REFER TO ELECTRICAL PLANS STARTING ON SHEET E-508 - TRENCH AND UNDERGROUND DETAILS.
- MODULE POWER RATING MAY RANGE AND FINAL SITE PLAN WILL HAVE TO BE DETERMINED ONCE MODULE FLASH DATA IS RECEIVED.

LEGEND:

- UNDERGROUND DC CABLE
- UNDERGROUND MV CABLE
- ☐ COMBINER BOX
- SYSTEM BLOCK BOUNDARY
- COMBINER BOX BOUNDARY



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NOT FOR CONSTRUCTION

PASO ROBLES AIRPORT
CITY OF PASO ROBLES
3103 SATELLITE DRIVE

PROJECT NUMBER:
CA-15-1161

SHEET TITLE:
ARRAY STRUCTURE
DETAILS - ELECTRICAL

SHEET SIZE:
ARCH "D"
24" X 36" (610 x 914)

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NO.	REVISION	DATE	INT.
1	CUP	1/15/17	PR
2	CUP Blck	2/24/17	HK
3	UTILITY COMMENTS	2/28/17	DRM

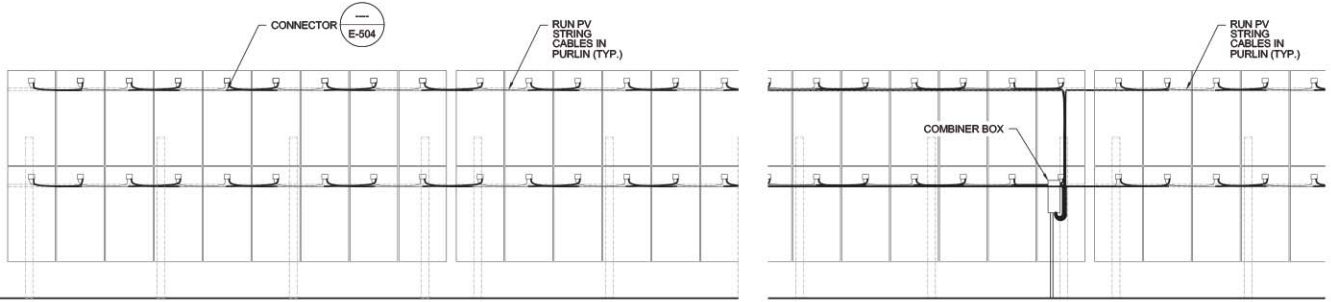
DATE: 01/20/2017
DRAWN BY: AJM
ENGINEER: AF
APPROVED BY:

PROJECT PHASE: 30% DESIGN
SCALE: AS SHOWN

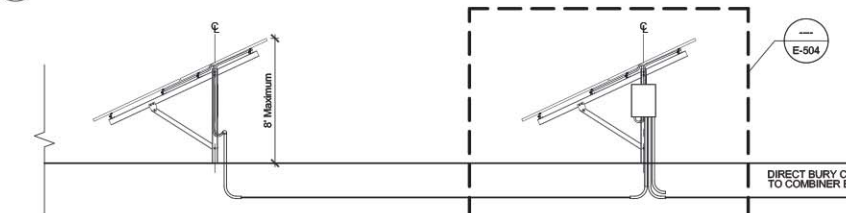
SHEET NO.:
E-504

SHEET NOTES

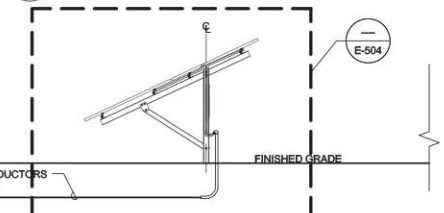
- ALL CONDUCTORS SHALL BE PROTECTED FROM SHARP EDGES.
- ALL CONDUCTOR BENDING RADII SHALL MEET NEC CODE.
- THIS DRAWING IS FOR CONDUCTOR ROUTING METHODS ONLY. NUMBER OF CIRCUITS AND SHOULD NOT BE INFERRED FROM THIS DRAWING. SEE SHEET E-701 FOR SPECIFIC CONDUCTOR TYPES & QUANTITIES.
- COMBINER BOXES SHALL BE POSITIONED SUCH THAT THEY CAUSE ZERO POSSIBLE SHADINGS ON ANY MODULES.
- CONTRACTOR TO SUBMIT WIRING MOCKUP TO SUNEDISON AND RECEIVE APPROVAL PRIOR TO FINAL INSTALLATION.
- MODULE-MODULE CONNECTIONS SHALL USE MODULE "STITCHING" CONNECTION METHOD.
- PROVIDE BELL FITTINGS ON ALL U/G ENDS OF CONDUIT TO PREVENT ABRASION OF CONDUCTOR INSULATION.
- COMPONENTS, DETAILS, PILE SPACINGS AND BUILD METHODS SHALL NOT BE INFERRED FROM THIS DRAWING. SEE STRUCTURAL SHEETS, FLEXRACK SHOP DRAWINGS AND FLEXRACK INSTALL MANUAL FOR MORE DETAIL.



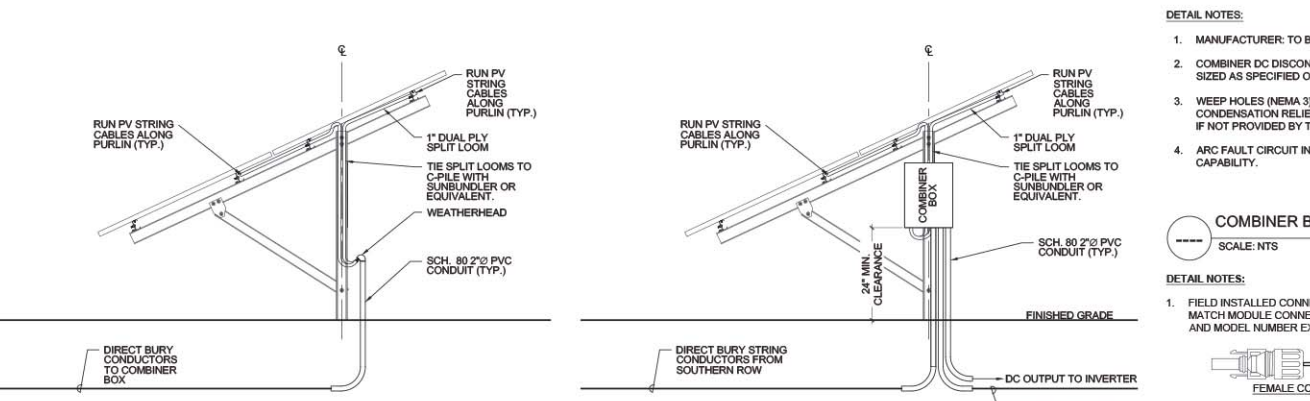
WIRE MANAGEMENT - END OF ROW
SCALE: 1/4" = 1'-0"



WIRE MANAGEMENT - COMBINER BOX
SCALE: 1/4" = 1'-0"



WIRE MANAGEMENT - ROW TO ROW
SCALE: 1/4" = 1'-0"

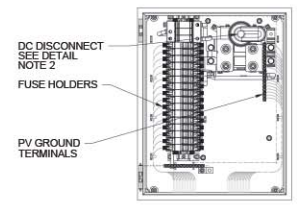


WIRE MANAGEMENT - TYPICAL ROW
SCALE: 1/2" = 1'-0"

WIRE MANAGEMENT - MIDDLE ROW
SCALE: 1/2" = 1'-0"

DETAIL NOTES:

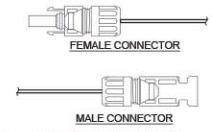
- MANUFACTURER: TO BE DEFINED
- COMBINER DC DISCONNECT SHALL BE SIZED AS SPECIFIED ON DRAWING E-202.
- WEEP HOLES (NEMA 3) OR CONDENSATION RELIEF VALVE (NEMA 4) IF NOT PROVIDED BY THE FACTORY.
- ARC FAULT CIRCUIT INTERRUPTION (AFCI) CAPABILITY.



COMBINER BOX
SCALE: NTS

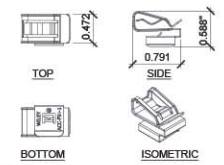
DETAIL NOTES:

- FIELD INSTALLED CONNECTORS MUST MATCH MODULE CONNECTORS BY MAKE AND MODEL NUMBER EXACTLY.



CONNECTOR DETAIL
SCALE: NTS

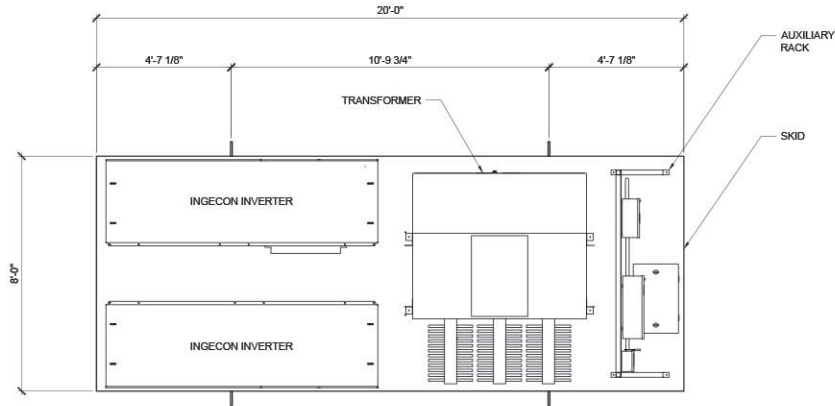
DETAIL NOTE:
1. USE TO RETAIN 7.5MM OD OR SMALLER CABLES ONLY



ACME ACC-F90-1 CLIP
SCALE: NTS

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PASO ROBLES AIRPORT
CITY OF PASO ROBLES
3103 SATELLITE DRIVE

PROJECT NUMBER:
CA-15-1161

SHEET TITLE:
INVERTER STATION
PLANS & ELEVATIONS

SHEET SIZE:
ARCH D
24" X 36" (610 x 914)

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2	CLIP Blckk	2/24/17	HK
3	UTILITY COMMENTS	2/28/17	DRM

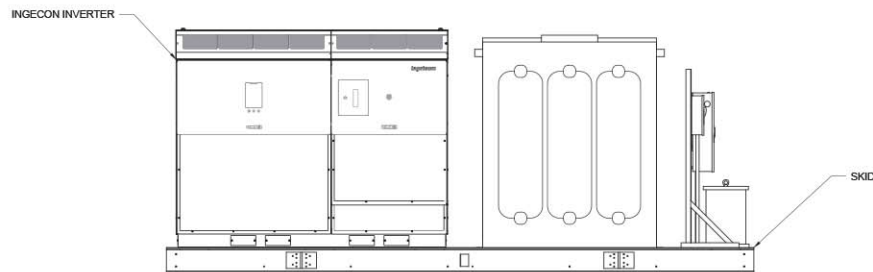
DATE: 01/20/2017
DRAWN BY: AJM
ENGINEER: AF
APPROVED BY:

PROJECT PHASE:
30% DESIGN
SCALE:
AS SHOWN

SHEET NO.:
E-506

1 INGETEAM INTEGRATED SKID - (2) INVERTER - PLAN

SCALE: 1/2" = 1'-0"



2 INGETEAM INTEGRATED SKID - (2) INVERTER - ELEVATION

SCALE: 1/2" = 1'-0"



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PASO ROBLES AIRPORT
CITY OF PASO ROBLES
3103 SATELLITE DRIVE

PROJECT NUMBER:
CA-15-1161

SHEET TITLE:
TRENCH AND UNDERGROUND DETAILS

SHEET SIZE:
ARCH "D"
24" X 36" (610 x 914)
0 1/2" = 1"

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2	CLIP Bkck	2/24/17	HK
3	UTILITY COMMENTS	2/28/17	DRM

DATE: 01/20/2017
DRAWN BY: AJM
ENGINEER: AF
APPROVED BY:

PROJECT PHASE: 30% DESIGN
SCALE: AS SHOWN

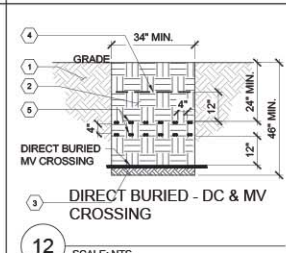
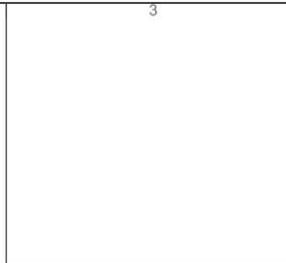
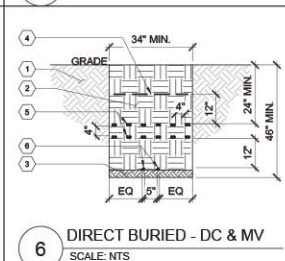
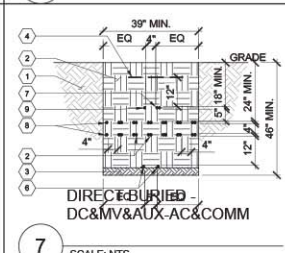
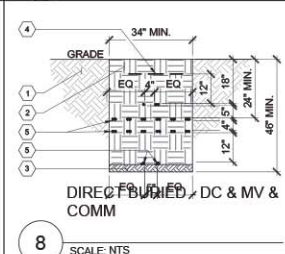
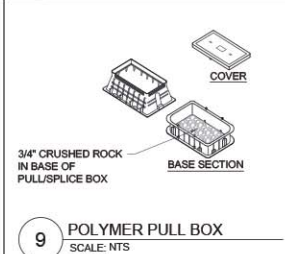
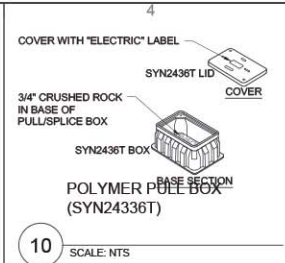
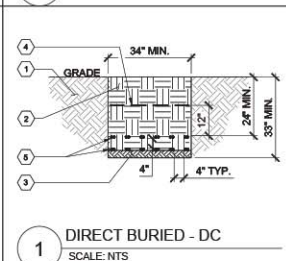
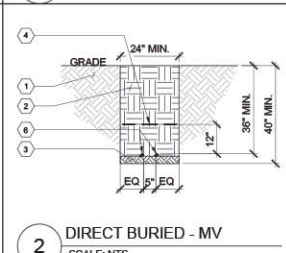
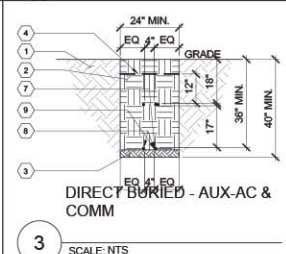
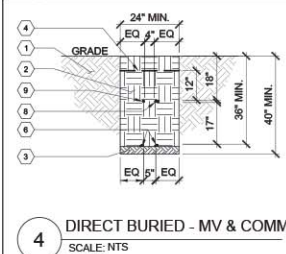
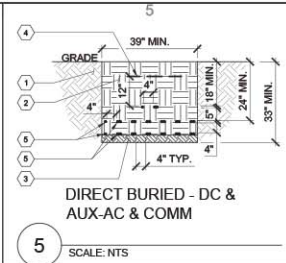
SHEET NO.: **E-508**

SHEET NOTES

- TRENCH BACKFILL MATERIAL SHALL BE FREE OF ORGANIC MATERIAL, OTHER DELETERIOUS MATTER, AND ROCK PARTICLES LARGER THAN 3 INCHES.
- TRENCH COMPACTION TO MEET MINIMUM REQUIREMENTS AS STATED IN GEOTECH REPORT TO ACHIEVE DESIRED RHO VALUES.
- CONTRACTOR TO SIZE PULL BOX ACCORDINGLY TO MEET CODE AND ACCESSIBILITY REQUIREMENTS - PULL BOX SPECIFICATIONS SHALL BE SUBMITTED TO OWNER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
- MINIMUM 1" OF SEPARATION BETWEEN THE EDGE OF THE TRENCH AND CABLE.
- DC/AC TRENCH LOCATIONS SHALL BE IDENTIFIED IN THE FIELD BY A QUALIFIED LAND SURVEY ENGINEER.

KEYED NOTES

- NATIVE SOIL
- APPROVED BACKFILL
- 3" MINIMUM OF SAND OR OTHER APPROVED BEDDING.
- CAUTION TAPE TYP. EACH TRENCH (ONE PER EACH 18" OF WIDTH OR PORTION THEREOF)
- DC CIRCUIT(S). NUMBER OF DC CONDUCTORS VARIES BY LOCATION. (12) CIRCUITS MAXIMUM IN A SINGLE TRENCH. 4" TYPICAL SPACING BETWEEN CIRCUITS.
- MEDIUM VOLTAGE CONDUCTORS WITH BARE COPPER GROUND WIRE. (2) CONDUCTORS MAXIMUM IN A SINGLE TRENCH.
- COMMUNICATION CABLE
- AUXILIARY AC CABLE
- FIBER CABLE



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SHEET NOTE(S)

- (2) 8" x 5/8" GROUNDING ELECTRODES INSTALLED PER NEC 250.5 EITHER MINIMUM 8'-0" DEEP AT 90° (45° MIN.) OR ENTIRE ROD MINIMUM 30" BELOW THE SURFACE WHEN ROCK IS ENCOUNTERED. CONNECT GROUND RODS TO EACH OTHER AND WIRE USING STRANDED BARE COPPER MINIMUM #6 AWG WITH EXOTHERMIC CONNECTIONS PREFERRED. (CLAMPS LISTED FOR DIRECT BURIAL CAN BE USED WHEN EXOTHERMIC CONNECTIONS NOT AVAILABLE). GROUND RODS MUST BE MINIMUM 6'-0" APART WHEN CONNECTED IN THE SAME GROUND SYSTEM. MAXIMUM RESISTANCE TO GROUND 25 OHMS.

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CITY OF PASO ROBLES
3103 SATELLITE DRIVE

PROJECT NUMBER:
CA-15-1161

SHEET TITLE:
MV ELECTRICAL DETAILS

SHEET SIZE:
ARCH D
24" X 36" (610 X 914)
0 1/2" 1"

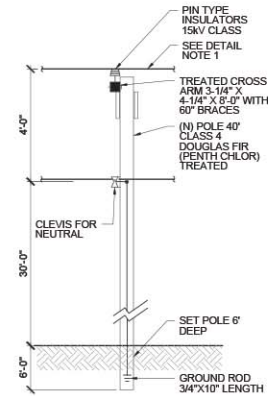
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NO.	REVISION	DATE	INIT.
1	CLIP	1/15/17	PR
2	CLIP Blck	2/24/17	HK
3	UTILITY COMMENTS	2/28/17	DRM

DATE: 01/20/2017
DRAWN BY: AJM
ENGINEER: AF
APPROVED BY:

PROJECT PHASE:
30% DESIGN
SCALE:
AS SHOWN

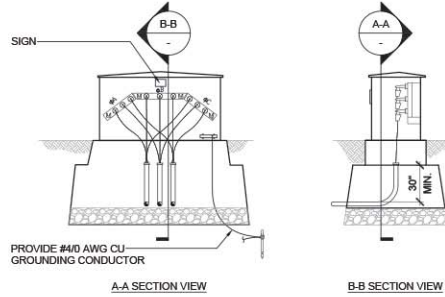
SHEET NO.:
E-509



DETAIL NOTES:
1. #1 ALUMINUM 133% INSULATION LEVEL OF EPR 15KV CLASS TAPE SHIELDED ANIXTER 3-FE-1011 OR EQUIVALENT WITH (1) #1 INSULATED 600V GROUND WIRE.
TYP. PRIMARY MID SPAN LATERAL POLE
SCALE: 1" = 1'-0"

DETAIL NOTES:

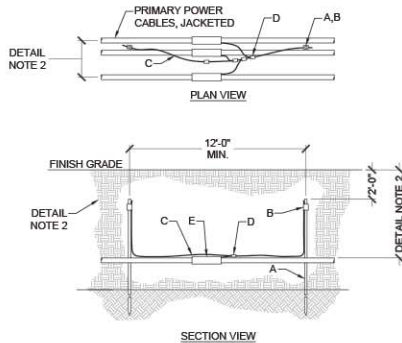
- ALL NEUTRALS AND METALLIC NON-CURRENT CARRYING PARTS SHALL BE INTERCONNECTED AND GROUNDED.
- INSTALL "CAUTION" SIGN ON OUTSIDE SURFACE OF ENCLOSURE AND "DANGER" SIGN INSIDE ENCLOSURE.
- PROVIDE ALL EQUIPMENT GROUNDING AS REQUIRED.
- PROVIDE SLEEVE ASSEMBLIES AS REQUIRED.
- PROVIDE FAULT INDICATORS AS REQUIRED.
- FOUR POINT SWITCH (NOT SHOWN) IS SIMILAR.



1 SECTIONALIZING ENCLOSURE SLEEVE MOUNTED
SCALE: NTS

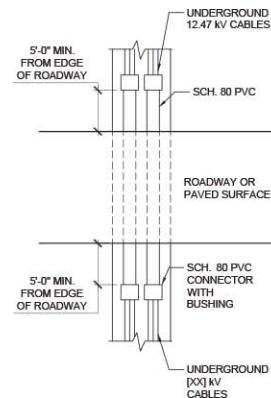
DETAIL NOTES:

- UNIT INCLUDES INSTALLATION OF EQUIPMENT AND MATERIAL USED.
- CABLE SPACING, DEPTH AND BACKFILL AS SPECIFIED IN TRENCH DETAIL DRAWING.



2 [xx]kV CONDUCTOR GROUNDING DETAIL
SCALE: NTS

LIST OF MATERIALS		
ITEM	REQ.	DESCRIPTION
A	2	GROUND ROD, 5/8" X 8 FT, COPPERCLAD
B	2	CLAMP, U-BOLT TYPE, BLACKBURN TYPE GUV OR APPROVED EQUAL
C	AS REQ'D	#2 STR. COPPER GROUND WIRE
D	AS REQ'D	CONNECTORS, COMPRESSION, BLACKBURN TYPE CF1010 OR APPROVED EQUAL
E	3	CABLE GROUNDING KIT, RAYCHEM TYPE JGK OR APPROVED EQUAL



3 TYPICAL BURIED DUCTBANK UNDER ROAD OR PAVED SURFACE DETAIL
SCALE: NTS



SHEET NOTES

- CUSTOMER TO FURNISH, INSTALL, OWN AND MAINTAIN EVERYTHING SHOWN EXCEPT AS NOTED.
- DEAD END INSULATOR, CLAMPS AND CLEVISSES FURNISHED AND INSTALLED BY THE UTILITY.
- UTILITY APPROVED 3 P.S.T. GROUP OPERATED 14.4kV, 400A LOADBREAK SWITCH WITH WOOD POLE STEEL MTS. FRAME SUITABLE FOR SUPPORTING LINE TENSIONS OF 2000 LBS. PER CONDUCTOR AT 3 FT PHASE SPACING COMPLETE WITH 1-1/2" SHAFT ASSEMBLY, 15" OUTRIGGER REQUIRED, PROVIDE TERMINALS TO FIT COMPANY INCOMING LINE.
- GUY TO ANCHOR BURIED 6" IN GROUND, 25' MIN. LEAD WITH INSULATOR.
- LIGHTNING ARRESTORS, USE SEPARATE GROUNDING CONDUCTOR TO GROUND GRID.
- FUSED CUTOUTS-FUSED SIZE TO BE SPECIFIED BY THE UTILITY.
- #4 AWG. BARE COPPER GROUNDING CONDUCTOR, BOND ALL METALLIC NON-CURRENT CARRYING PARTS AND THE NEUTRAL (WHERE FURNISHED) TO THE EQUIPMENT GROUND WIRE.
- LOAD CONDUCTOR, CLEARANCE 22' MIN. AT MID SPAN.
- MOUNTING FRAME AND METERING TRANSFORMERS FURNISHED BY THE UTILITY, INSTALLED BY CUSTOMER, PRIMARY CONNECTIONS MADE BY CUSTOMER, SECONDARY CONNECTIONS BY THE UTILITY.
- OPERATING SHAFT (REFER TO DETAIL).
- 1-1/2" RIGID METALLIC OR SCHEDULE 80 PVC CONDUIT INSTALLED BY CUSTOMER.
- INSTALL BRACKET SO THAT OPERATING HANDLE WILL BE APPROX. 3'-6" ABOVE GRADE.
- LIGHTNING ARRESTER SHALL BE MOUNTED WITH EEL-NEMA TDJ-19 BRACKET.
- SEL-651R RECLOSER CONTROLLER.
15. SEL-CLOSER CONTROL WIRING PER MANUFACTURER'S REQUIREMENTS.
- TAVRIDA OSM_AL_2 SERIES RECLOSER.

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MV ELECTRICAL DETAILS

SHEET SIZE:
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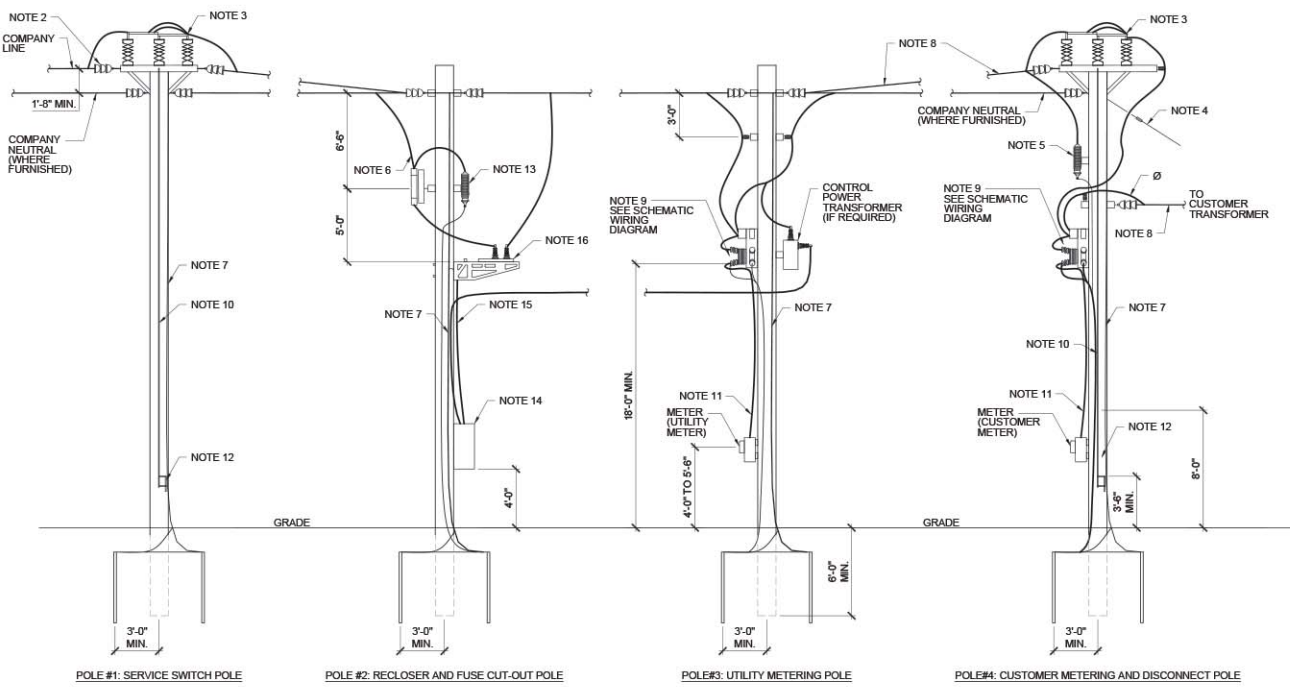
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1	CLIP	1/15/17	PR
2	CLIP Blckk	2/24/17	HK
3	UTILITY COMMENTS	2/28/17	DRM

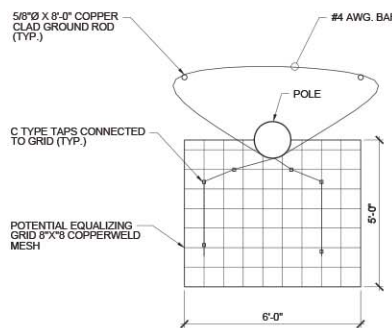
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DRAWN BY: AJM
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APPROVED BY:

PROJECT PHASE: 30% DESIGN
SCALE: AS SHOWN

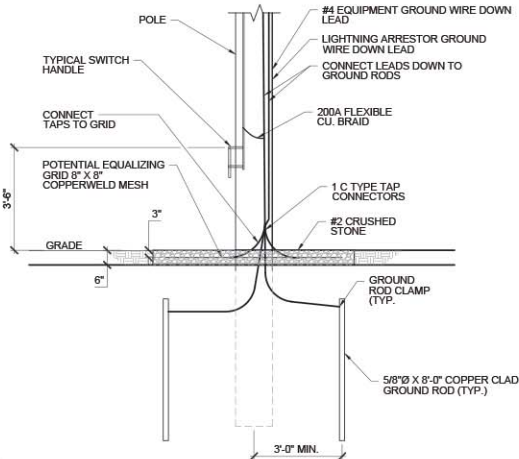
SHEET NO.:
E-510



1 CUSTOMER'S OUTDOOR RECEIVING STRUCTURE ARRANGEMENT THREE-PHASE
SCALE: 1/4" = 1'-0"



2 GROUND GRID PLAN VIEW
SCALE: 1/2" = 1'-0"



3 GROUND GRID PLAN AND SWITCH HANDLE GROUNDING DETAIL
SCALE: 1/2" = 1'-0"

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NOT FOR CONSTRUCTION

PASO ROBLES AIRPORT CITY OF PASO ROBLES 3103 SATELLITE DRIVE

PROJECT NUMBER: CA-15-1161

SHEET TITLE: SPECIFICATION SHEETS

SHEET SIZE: ARCH "D" 24" X 36" (610 x 914)

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Table with 4 columns: NO., REVISION, DATE, INIT. Rows include CLIP, CLIP Bkck, and UTILITY COMMENTS.

DATE: 01/20/2017, DRAWN BY: AJM, ENGINEER: AF, APPROVED BY:

PROJECT PHASE: 30% DESIGN

SCALE: NTS

SHEET NO.: E-801

INGECON SUN PowerMax 8 Series 800 VA. 1000TL U B400 Outdoor. Transformerless Central Inverters with a Single Power Block. Includes technical specifications and an image of the unit.

INGECON SUN PowerMax 8 Series 800 VA. 1000TL U B400 Outdoor. Long-lasting design, Easy to maintain, Monitoring and administration. Includes technical specifications and a diagram of the power system.

INGECON SUN PowerMax 8 Series 800 VA. 1000TL U B400 Outdoor. Detailed technical specifications table including input/output ratings, efficiency, and safety features.

INGECON SUN PowerMax 8 Series 800 VA. 1000TL U B400 Outdoor. Detailed technical specifications table including input/output ratings, efficiency, and safety features.

SunEdison SILVANTIS R-SERIES: 335 W TO 360 W. 72-Cell High Voltage Modules. Includes technical specifications, a list of advantages, and a graph showing performance characteristics.

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