

RESOLUTION NO: PC 17-021
A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
TO APPROVE CONDITIONAL USE PERMIT 17-002
FOR SIZE AND HEIGHT EXCEPTIONS FOR AN ACCESSORY STRUCTURE
(1928 Experimental Station Road – St. Johns)
APN: 025-422-018

WHEREAS, Todd St. John has filed a Conditional Use Permit (CUP) application to allow for the construction of a metal detached accessory building to be used as a garage/workshop at 1928 Experimental Station Road; and

WHEREAS, the proposed accessory building would have a building square footage of 2,400 square feet and would have a height of 20-feet and 8-inches; and

WHEREAS, since the existing primary residence is 4,065 square feet, the proposed addition would exceed 50-percent of the primary residence and as noted above would be taller than 15-feet; and

WHEREAS, Zoning Code sections 21.16E.210 and 21.16E.260.C allow detached accessory buildings to exceed 15-feet in height and have a building square footage greater than 50-percent of the primary residence, with the approval of a CUP in the R-1 zoning district; and

WHEREAS, this application is Categorically Exempt from environmental review per Section 15303 (new construction of small structures) of the State's Guidelines to Implement the California Environmental Quality Act (CEQA); and

WHEREAS, a public hearing was conducted by the Planning Commission on April 11, 2017, to consider facts as presented in the staff report prepared for this project, and to accept public testimony regarding the application; and

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF EL PASO DE ROBLES DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. All of the above recitals are true and correct and incorporated herein by reference.

Section 2 - Findings: based upon the facts and analysis presented in the staff report, public testimony received and subject to the conditions listed below, the Planning Commission makes the following findings:

1. The proposed use is consistent with the General Plan and Zoning Ordinance; and
2. The proposed use satisfies the applicable provisions of the Zoning Ordinance; and
3. The establishment, and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use; and
4. That the proposed project or use will not be inconsistent with the character of the immediate neighborhood or contrary to its orderly development; and
5. That the proposed use or project will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved in

conjunction with the project, or beyond the normal traffic volume of the surrounding neighborhood; and

Section 3 - Environmental Determination: This application is Categorically Exempt from environmental review per Section 15303 (new construction of small structures) of the State's Guidelines to Implement the California Environmental Quality Act (CEQA).

Section 4 - Approval: Conditional Use Permit 17-002 is approved subject to the following:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Project Conditions of Approval
B	Site Plan / Landscaping Plan
C	Building Elevations
D	Building Colors & Materials

PASSED AND ADOPTED THIS 11th Day of April 2017 by the following Roll Call Vote:

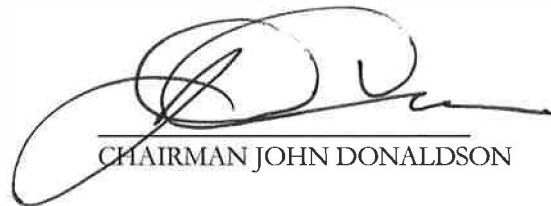
AYES: Commissioners Rollins, Barth, Agredano, Davis, Brennan, Jorgensen and Chairman Donaldson

NOES:

ABSENT:

ABSTAIN:

ATTEST:



CHAIRMAN JOHN DONALDSON



WARREN FRACE, PLANNING COMMISSION SECRETARY

Exhibit A

Conditions of Approval – CUP 17-002

Planning Division Conditions:

1. This Conditional Use Permit (CUP) authorizes the construction of a 2,400 square foot detached accessory building with a maximum height of 20-feet and 8-inches, at 1928 Experimental Station Road.
2. The project shall substantially conform to Exhibits B, C and D as attached to this Resolution.
3. Prior to issuance of building permits, the Planning Division staff shall approve the following:
 - a. A detailed site plan indicating the location of the structure, parking layout, outdoor storage areas, walls, fences and trash enclosures;
 - b. A detailed landscape plan;
 - c. Detailed building elevations of the structures indicating materials, colors, and architectural treatments. Colors and materials shall be in substantial compliance with Exhibit D, per approval by the Development Review Committee (DRC) on March 27, 2017.
2. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Conditional Use Permit process, shall not waive compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
3. Any condition imposed by the Planning Commission in granting this Conditional Use Permit may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the granting of the original permit. No such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use under the Conditional Use Permit.

**JIM REED
C.R.O.
SERVICE**
510 10th St.
Paso Robles, CA
805 625-6270
jim@jimreed.com

MIKE ARMINTA CONSTRUCTION

PLAN PREPARED FOR:
**DAWN AND TODD ST JOHN
1928 EXPERIMENTAL STATION RD.
PASO ROBLES, CA.
APN: 025-422-018**

Job No.
Drawn By: J.R. Date
Checked By: Date
Drawing No.
Scale: **A6 NOTED**
Sheet

PROJECT DATA

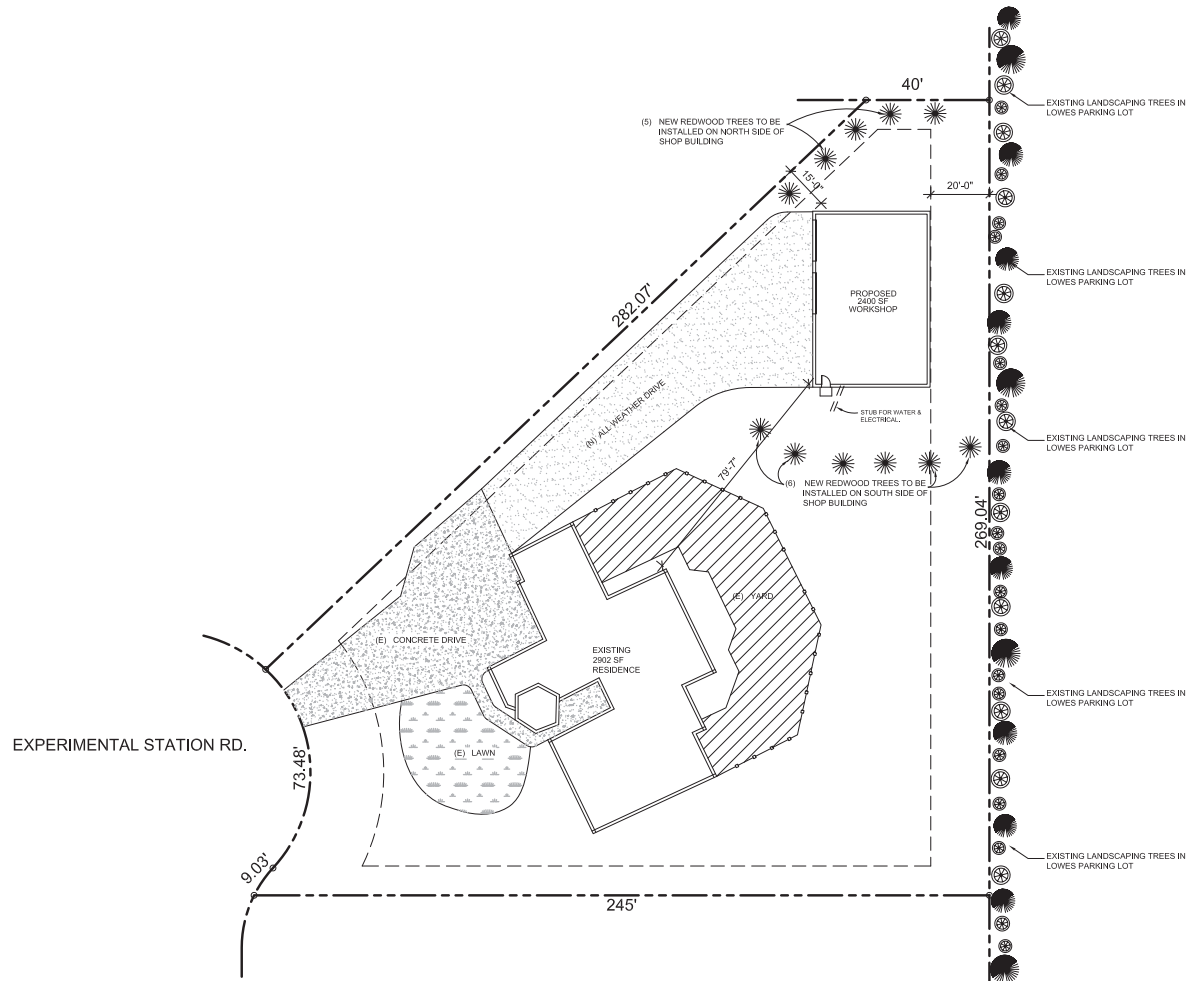
OWNER: DAWN AND TODD ST JOHN
PROJECT ADDRESS: 1928 EXPERIMENTAL STATION RD. PASO ROBLES, CA.
PHONE:
A.P.N.: 025-422-018
LOT SIZE: 1.03 ACRE
PROJECT DESCRIPTION: CONSTRUCT (N) 2400 SF WORKSHOP

AREA CALCULATIONS:

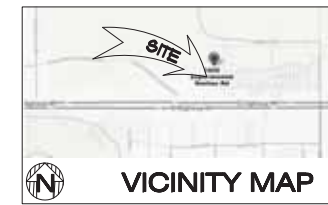
EXISTING RESIDENCE:	2902 SF
GARAGE:	751 SF
COVERED PORCH:	412 SF
TOTAL SQ. FOOTAGE:	4065 SF
ALLOWABLE WORKSHOP SF (50%):	2032.5 SF.
PROPOSED WORKSHOP SF:	2400 SF.
PROPOSED WORKSHOP SF IS	367.5 SF OVER ALLOWABLE

PROJECT STATISTICS

CONSTRUCTION TYPE:	VB / U
BUILDING HEIGHT:	< 26'-0"
STORIES:	1
OCCUPANCY:	R3
FIRE SPRINKLERS:	NO



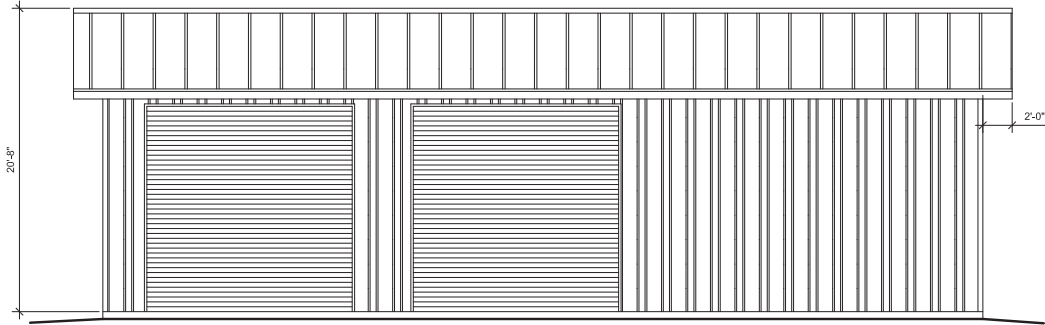
LANDSCAPE PLAN
1" = 20'-0"



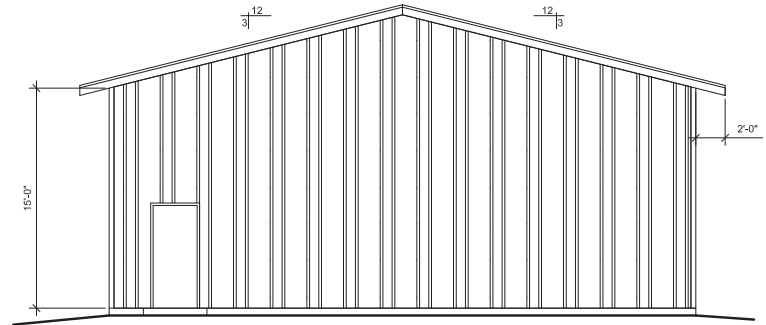
VICINITY MAP

**JIM REED
C.A.D.
SERVICE**
810 10th St.
Lemoore, CA
93245
PHONE: 520-825-2270
FAX: 520-825-4115
jreed@cadservice.net

MIKE ARMINTA CONSTRUCTION

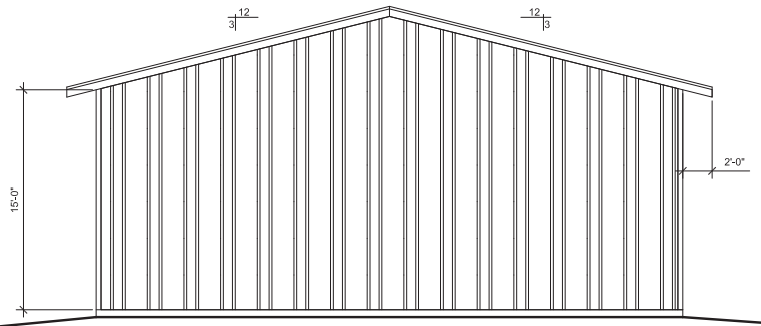


FRONT ELEVATION

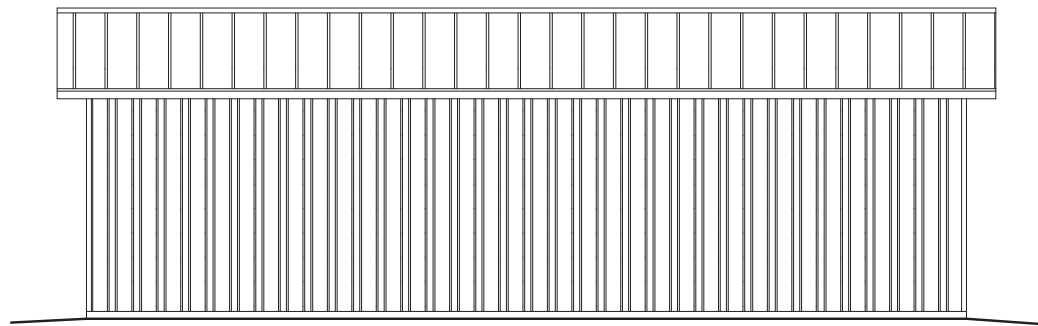


RIGHT ELEVATION

NOTE:
METAL BUILDING METAL SIDING AND
ROOFING TO MATCH (E) RESIDENCE



RIGHT ELEVATION



BACK ELEVATION

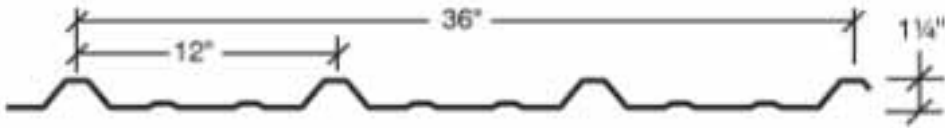
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1928 EXPERIMENTAL STATION RD.
PASO ROBLES, CA.
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Job No.	
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Checked By	Date
Drawing No.	
Scale:	1/4" = 1'
Sheet	

A 3

Exhibit D

Metal Panel Material:



Colors:



Wall-Color: Desert Sand



Roof Color: Burnished Slate