

RESOLUTION NO. PC 17-020  
A RESOLUTION OF THE PLANNING COMMISSION  
OF THE CITY OF EL PASO DE ROBLES  
APPROVING PLANNED DEVELOPMENT AMENDMENT 02-012  
(Buttonwillow Warehouse Company)  
APN: 025-425-008

WHEREAS, an application has been filed by Nick Gilman Architect on behalf of Buttonwillow Warehouse Company, requesting to amend Planned Development 02-012 in order to construct a new 4,960 square foot warehouse building to be used for storage of agricultural products; and

WHEREAS, the site is located at 2203 Wisteria Lane, on the northeast corner of Wisteria Lane and Germaine Way; and

WHEREAS, the site has an existing Development Plan, PD 02-012 which was originally approved for a 6,000 square foot crop fertilizing product storage and distribution facility via Resolution No. 04-016 in conjunction with Conditional Use Permit 04-002 for the outdoor storage of materials and equipment via Resolution No. 04-017; and

WHEREAS, approval of Planned Development Amendment 02-012 will update the approved Development Plan (site plan) to include a 4,960 square foot metal warehouse building to be used for storage of agricultural products; and

WHEREAS, the proposed building addition's architecture, colors, and materials are consistent with the existing building; and

WHEREAS, as part of PD 02-012, a Negative Declaration was adopted by Planning Commission on February 24, 2004 via Resolution No. 04-015; and

WHEREAS, a public hearing was conducted by the Planning Commission on March 28, 2017, to consider facts as presented in the staff report prepared for this project, and to accept public testimony regarding the application; and

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF EL PASO DE ROBLES DOES HEREBY RESOLVE AS FOLLOWS:

**Section 1.** All of the above recitals are true and correct and incorporated herein by reference.

**Section 2 - Findings:** In accordance with Zoning Ordinance Section 21.23B.050, Findings for Approval of Development Plans, and based upon the facts and analysis presented in the staff report, public testimony received and subject to the conditions listed below, and the Planning Commission makes the following findings:

1. The project is consistent with the adopted codes, policies, standards and plans of the City.
2. The proposed development plan will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the person residing or working in the neighborhood, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the city since the property is surrounded by similar land uses, and it would not result in significant noise, traffic, light, glare, or other potential effects.
3. The proposed development plan accommodates the aesthetic quality of the city as a whole since the new building is designed consistent with the existing building's architectural theme.

4. The proposed development plan is compatible with, and is not detrimental to, surrounding land uses and improvements, provides an appropriate visual appearance, and contributes to the mitigation of any environmental and social impacts, as this site has had conditionally permitted outdoor storage and the indoor storage will be an improvement to the overall character of the site.
5. The proposed development plan contributes to the orderly development of the city as a whole by providing a well-designed project that is suitable for the location where it is proposed and surrounding land uses in the vicinity.

**Section 3 - Environmental Determination:** This Planned Development Amendment 02-012 is consistent with the previously adopted Negative Declaration (Resolution No. 04-015) approved as part of Planned Development 02-012, therefore no additional environmental review is required.

**Section 4 - Approval:** Planned Development Amendment 02-012, which supplements the conditions of Planning Commission Resolution 04-016, is approved subject to the following:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Project Conditions of Approval
B	Preliminary Grading & Drainage Plan
C	Site Plan / Landscaping Plan
D	Building Elevations

PASSED AND ADOPTED THIS 28<sup>th</sup> Day of March 2017 by the following Roll Call Vote:

AYES: Commissioners Barth, Jorgensen, Agredano, Davis and Chairman Donaldson

NOES:

ABSENT: Commissioners Brennan and Rollins

ABSTAIN:

ATTEST:

  
CHAIRMAN JOHN DONALDSON

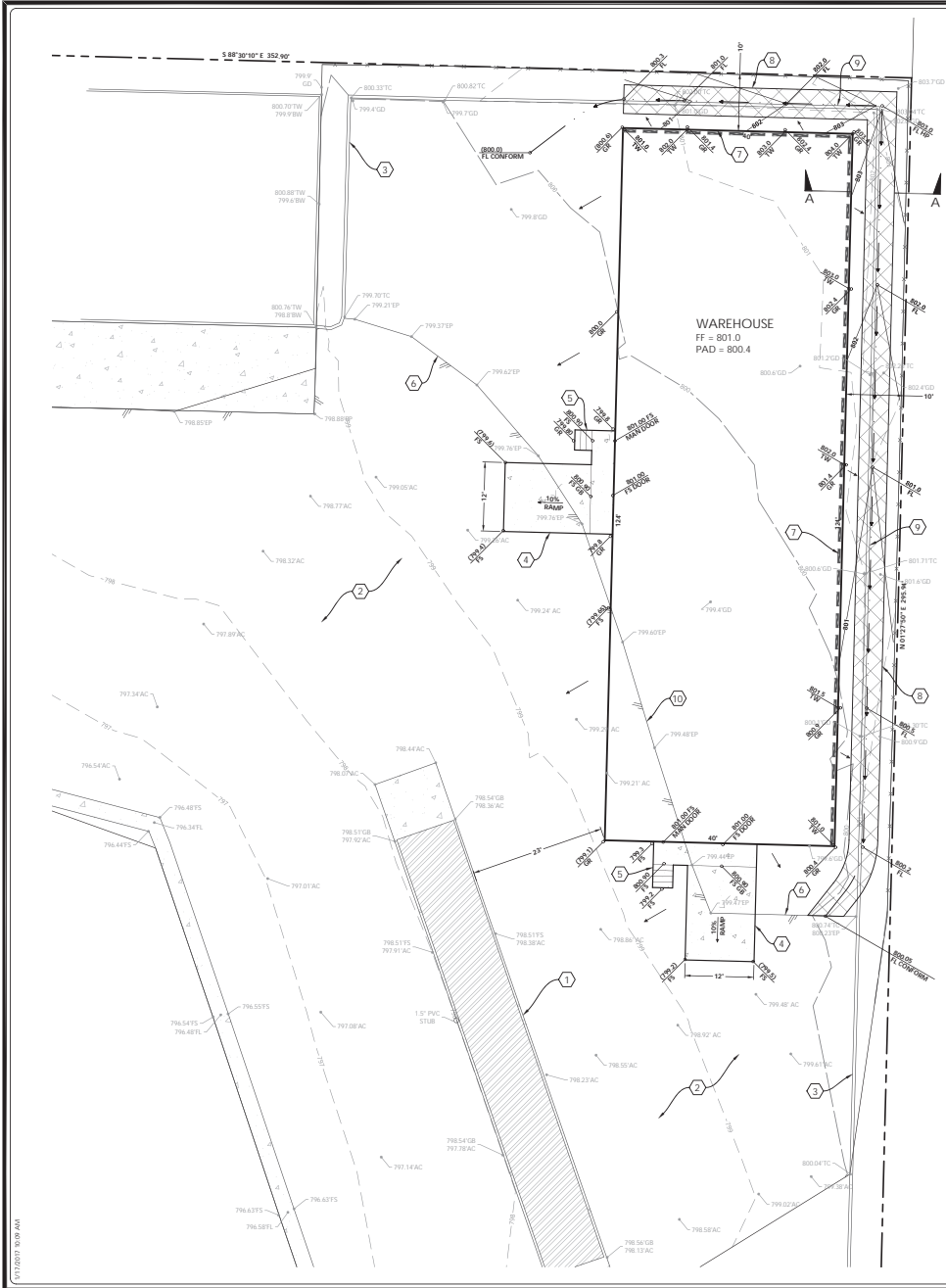
  
WARREN FRACE, PLANNING COMMISSION SECRETARY

# Exhibit A

## Project Conditions of Approval – PD Amend 02-012

### **Planning Division Conditions:**

1. This Planned Development Amendment (PD Amend 02-012) authorizes the construction of a new 4,960 square foot metal warehouse building to be used for storage of agricultural products. The conditions and exhibit of this amendment supplement Planning Commission Resolution 04-016, which remains in effect. Where the two resolutions conflict the more recent conditions shall prevail. The attached Exhibit B (Site Plan/Landscape Plan) to this Resolution amends the northeast portion of the previously approved site plan for PD 02-012 of Resolution No. 04-016.
2. This project approval shall expire on March 28, 2019 unless a time extension request is filed with the Community Development Department prior to expiration.
3. Prior to issuance of building permits, the Planning Division staff shall approve the following:
  - a. A detailed site plan indicating the location of the structure, parking layout, outdoor storage areas, walls, fences and trash enclosures;
  - b. A detailed landscape plan;
  - c. Detailed building elevations of the structures indicating materials, colors, and architectural treatments.
4. Prior to issuance of a grading permit, the applicant shall provide changes to the grading and drainage plan reflecting a 4-foot wide drainage swale and a 6-foot wide landscape strip, per the discussion held by the Development Review Committee (DRC) on March 6, 2017.
5. The applicant/developer shall provide a Stormwater Control Plan to be reviewed concurrently with building permits.
6. Any condition imposed by the Planning Commission in granting this Conditional Use Permit may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the granting of the original permit. No such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use under the Conditional Use Permit.

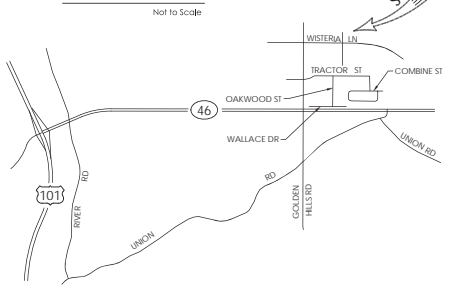


**CONSTRUCTION NOTES**

The footprint of the building shown hereon is based upon a graphic exhibit provided by the owner. While assumed accurate for purposes of this plan, it is not intended for precise building layout.

- 1 Existing scale.
- 2 Existing asphalt pavement.
- 3 Existing concrete curb.
- 4 Construct concrete ramp.
- 5 Construct concrete stairs. See architect's plan for detail.
- 6 Existing edge of asphalt pavement.
- 7 Construct concrete masonry retaining wall, see architect's plans for detail.
- 8 Construct bio-retention swale. See Section A-A for detail.
- 9 Demo/remove existing concrete curb.
- 10 Demo/remove asphalt pavement.

**VICINITY MAP**



**LEGAL DESCRIPTION**

LOT 17, OF TRACT 2249 IN THE CITY OF EL PASO DE ROBLES AS FILED IN BOOK 19, PAGE 88, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA.

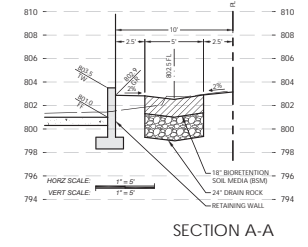
APN 025-425-008

**OWNER**

BUTTONWILLOW WAREHOUSE COMPANY  
2203 WISTERIA LANE  
PASO ROBLES CA, 93446

**PROJECT STATISTICS**

Cut 150 CY±, Fill 100 CY±, Total 250 CY±  
Max. cut = 4.9 ft. Max. fill = 1.6 ft  
Average slope < 10 %  
Area of site disturbance = 9000 sq ft  
Impervious area = 5505 sq ft  
Parcel Area = 2.39 ac±



<b>Roberts Engineering, Inc.</b>		
Buttonwillow Warehouse Company		
<b>Preliminary Grading &amp; Drainage Plan</b>		
Design/Drawn <i>TR/JTM</i>	City Plan Checker	Approved for City Requirements
Revision No. Sheet: 1	Issue Date 1/11/16	Public Works Director
2		1/11/2017
3		Date
4		Timothy P. Roberts, RCE 33366 exp 09/30/17
5		California Coordinator (CC383, Zone 5)
6		N 2433610 E 5773560
		1 of 1



**Roberts Engineering**  
Timothy P. Roberts  
Civil Engineer - RCE 35366  
2015 Vista de la Vista  
Templeton, CA 93465  
Phone (805) 239-4864  
Fax (805) 239-4148  
Email tim@robertsenginc.com  
Website robertsenginc.com

**Record Drawings**

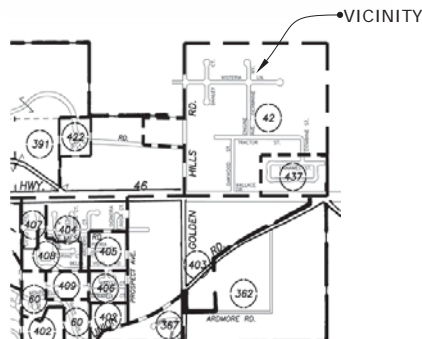
Timothy P. Roberts, RCE 35366 exp 09/30/17	Date
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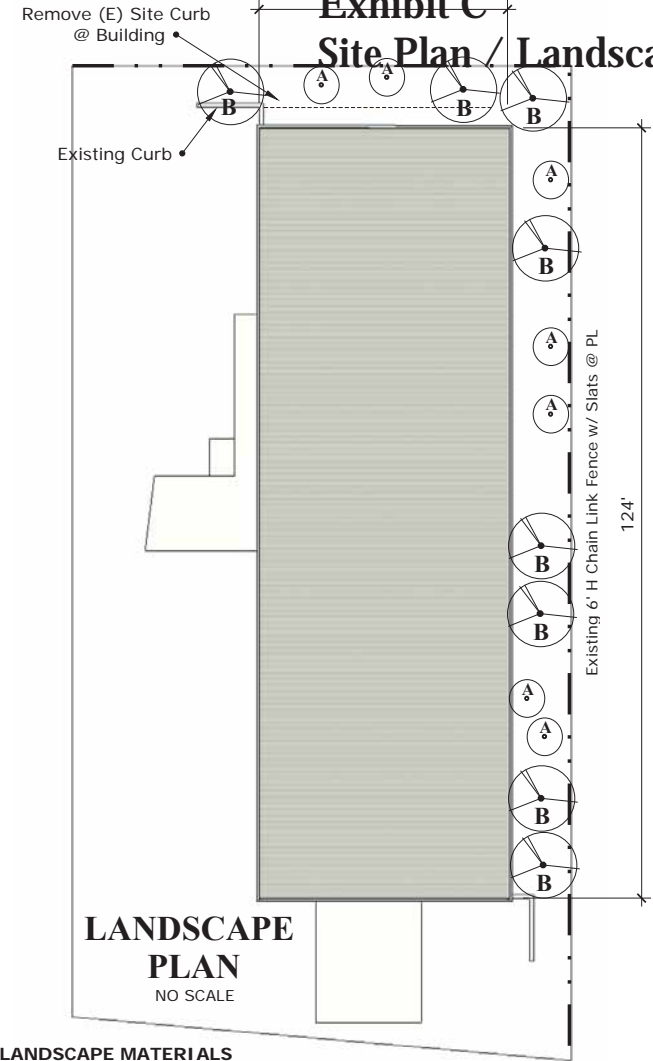
2203 WISTERIA LANE  
PASO ROBLES, CA.  
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## SITE PLAN

NO SCALE



## Exhibit C Site Plan / Landscape Plan



### LANDSCAPE MATERIALS

**A** CUPRESSUS SEMPERVIRENS - "ITALIAN CYPRESS"  
15 GALLON, 3/4" CALIPER

**B** PYRUS CALLERYANA - "ORNAMENTAL PEAR"  
15 GALLON, 3/4" CALIPER

GROUND COVER -  
JUNIPERUS SABINA 'BUFFALO' - "BUFFALO JUNIPER"  
5 GALLON @ 8" O.C. STAGGERED ;  
MULCH SURFACE W/ 1/2 "-2" RIVER RUN ROCK

BUTTONWILLOW  
WAREHOUSE COMPANY

2203 WISTERIA LANE  
PASO ROBLES, CA.  
APN 025-425-008

1/3



**Exhibit D  
Building Elevations**



**WEST ELEVATION**



**EAST ELEVATION**



**PERSPECTIVE**

**BUTTONWILLOW  
WAREHOUSE COMPANY**

**2203 WISTERIA LANE  
PASO ROBLES, CA.  
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**Exhibit D  
Building Elevations**



**NORTH ELEVATION**



**SOUTH ELEVATION**

**BUTTONWILLOW  
WAREHOUSE COMPANY**

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