

RESOLUTION NO PC 17-014

**A RESOLUTION OF
THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
APPROVING PLANNED DEVELOPMENT AMENDMENT (PD 15-004),
FOR CABERNET LINKS RV RESORT
5151 JARDINE ROAD, APN: 025-442-021 - 023 & 025-444-001 - 014**

WHEREAS, an application for Planned Development 15-004 and Conditional Use Permit 94-005 Amendment has been filed by Tom Erskine for development of a 290 space Recreational Vehicle (RV) resort within the existing Links Golf Course, and ancillary site improvements, as shown in the proposed Site Plan in Exhibit B; and

WHEREAS, in conjunction with PD 15-004 and CUP 94-005 Amendment, Vesting Tentative Tract Map 3088 has been submitted requesting to eliminate 39 existing lots created Tract 2716, and resubdivide the property into 9 lots, that would include the golf course, RV resort, vineyards, and future new resort compatible commercial uses; and

WHEREAS, the subject property is designated in the General Plan, Land Use Element as Business Park with Planned Development /Airport Overlays (BP/PD/AP), and the proposed project is consistent with the intent of the land use designation since the project would provide development of "... transient occupancy uses in close proximity to golf courses and commercial recreation...and provide resorts, lodging and related ancillary land uses..."; and

WHEREAS, in accordance with the Paso Robles Zoning Map, the property is located in the Airport zoning district with Planned Development /Airport Overlays (AP/PD/AP), and the proposed RV Resort project is a conditionally permitted land use, and it is consistent with the applicable zoning district and development standards, with Conditions of Approval applied as provided in Exhibit A; and

WHEREAS, the subject property is partially located in two (2) different Airport Safety Zones, including Zones 3, and 5, and the proposed development project is compatible with the land uses identified for each safety zone and the applicable density limitations; and

WHEREAS, the proposed architectural design and site layout are complementary with the existing golf course, with minimal site disturbance preserving the majority of the property in its existing golf course setting, as shown in Exhibits D1 & D2; and

WHEREAS, pursuant to the Statutes and Guidelines of the California Environmental Quality Act (CEQA), and the City's Procedures for Implementing CEQA, an Initial Study was prepared for the project; and

WHEREAS, based on the information and analysis contained in the Initial Study, staff determined that the proposed project as designed, and with appropriate mitigation measures added as conditions of approval, will not result in significant environmental impacts, and a Mitigated Negative Declaration was prepared and circulated for public review and comment in full compliance with CEQA; and

WHEREAS, a duly noticed public hearing was conducted by the Planning Commission on February 28, 2017, on this project to accept public testimony on the Mitigated Negative Declaration and the proposed project. Comments were received from Native American Heritage Commission regarding noticing related to AB-52, and the Cultural Resource Study for the project. The cultural resource mitigation measures were modified,

and incorporated into the Mitigation Monitoring and Reporting Program and incorporated into the in compliance with CEQA; and

WHEREAS, in accordance with Zoning Ordinance Section 21.23B.050, Findings for Approval of Development Plans, and based upon the facts and analysis presented in the staff report and the attachments thereto, the public testimony received, and subject to the Conditions of Approval listed below, the Planning Commission makes the following findings:

1. The goals and policies established by the general plan, since the project would provide transient lodging in proximity to commercial recreation uses such as Barney Schwartz Park, the water park, golf courses, horse park and other amenities.
2. The zoning code, particularly the purpose and intent of the zoning district in which a development project is located since the AP/PD district conditionally permits hotels, and the site will maintain a significant portion of the site with the existing golf course while minimizing disturbance of the natural features on the property.
3. The proposed project complies with all other adopted codes, policies, standards, and plans of the city including the zoning district height limitations, setbacks, and parking requirements, and it would comply with the land uses and applicable density provided for in the Paso Robles Airport Land Use Plan.
4. The proposed development plan will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the person residing or working in the neighborhood, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the city since the property is not located in close proximity to other residents or neighborhoods, and it would not result in significant noise, traffic, light, glare, or other potential effects.
5. The proposed development plan accommodates the aesthetic quality of the city as a whole, especially where development will be visible from gateways to the city and scenic corridors since it proposes to utilize high-quality architectural design with elements of "Winery/Agrarian" architectural style that fits in with and is compatible with the site, and will provide an attractive view as would be seen from surrounding properties and streets.
6. The proposed development plan is compatible with, and is not detrimental to, surrounding land uses and improvements, provides appropriate visual appearance, and contributes to the mitigation of any environmental and social (e.g., privacy) impacts, since it is proposed to be a low-intensity development on the rural landscape, and would mitigate potentially significant environmental impacts.
7. The proposed development plan is compatible with existing scenic and environmental resources such as hillsides, drainage courses, oak tree woodlands, vistas, and historic buildings, as noted in #5 and #6 above.
8. The proposed development plan contributes to the orderly development of the city as a whole by providing a well-designed project that is suitable for the location where it is proposed and surrounding land uses including agricultural land uses, the golf course, and the existing rural residential in the vicinity.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles does hereby approve of Planned Development 15-004, subject to the following conditions:

STANDARD CONDITIONS:

1. This project shall comply with the checked standard Conditions of Approval, attached hereto as Exhibit "A" and incorporated herein by reference.

SITE SPECIFIC CONDITIONS:

NOTE: In the event of conflict or duplication between standard and site-specific conditions, the site-specific condition shall supersede the standard condition.

Planning Division Conditions:

2. The project shall be constructed in substantial conformance with the Conditions of Approval established by this Resolution and it shall be constructed in substantial conformance with the following Exhibits:

EXHIBITS	DESCRIPTION
A.	Standard Conditions of Approval (Refer to Ex. A of Reso. B – Tract Res.)
B.	Cover Sheet
C1-C2.	Vesting Tentative Tract 3088
D.	RV Resort Phasing Plan
E1-E2.	Site Plan
F1-F7.	Conceptual Grading
G1-G7.	Utility Plans
H1-H7.	Lighting Plans
I1-I8.	Landscape Plans
J1-J3.	Building 1 & 2 Floor Plans & Elevations
K1-K2.	Building 3 Floor Plans & Elevations
L1-L3	Club House Floor Plans and Elevations
M1-M2	Shower Room Floor Plans and Elevations

3. The project shall be designed and constructed to be in substantial conformance with the site plan, landscape plan, elevations, floor plans, colors and materials, and preliminary grading plan approved with this resolution.
4. Approval of this project is valid for a period of two (2) years from date of approval. Unless construction permits have been issued and site work has begun, the approval of Planned Development 15-004 and Conditional Use Permit Amendment 94-005 shall expire on February 28, 2019. The Planning Commission may extend this expiration date if a Time Extension application has been filed with the City along with the fees before the expiration date. Once the entitlements for Phase I have been exercised by the issuance of construction permits, phases II – IV would become vested and would not require time extension requests.
5. The project is proposed to be developed in 5 phases as shown on Exhibit D. In the event that the applicant wishes to change the phasing order, after verification from the City Engineer that there are no concerns, the DRC may approve the phasing changer request.

6. Recreational vehicle parks are regulated by the State Department of Housing and Community Development. The City will not be issuing grading or building permits. In order to insure that the project mitigation measures and conditions of approval are satisfied in a timely manner (i.e. prior to the issuance of a grading permit, encroachment permit, or occupancy) an agreement shall be entered into between the applicants and the City outlining timing of project mitigation and condition completion. The agreement shall be subject to approval by the City Attorney and be executed prior to the State's issuance of a grading or any building permit. City Attorney time and materials shall be paid by the applicants prior to execution of the Agreement.
7. Uses of Lots 1-12 of Vesting Tentative Tract 3088 shall be limited to the uses as outlined in the following Cabernet Links Permitted Use Table:

Cabernet Links and RV Resort – Permitted Use Table		
Lot	Permitted Use	Development Review Process
1	Links Golf Course and Cabernet Links RV Resort	Allowed use under PD 15-004 and CUP 94-005 Amendment, subject to conditions and mitigations outlined in Resolutions _____. Special Events with more than 450 attendees shall obtain a City Temporary Use Permit to ensure compatibility with the Airport Land Use Plan and neighborhood compatibility.
2, 3	Vineyard Lot Use: <ul style="list-style-type: none"> • Landscaping • Vineyards • Trails • Passive Recreation 	
4 – 9*	Winery / Wine Tasting	The development of Lots 4-8 are subject to the submittal of a Major Site Plan Review to be reviewed and approved by the DRC, unless the proposed building(s) are 10,000 or more square feet, then a development plan (PD) will be required. The design of buildings for these lots shall utilize similar architecture, colors and materials as the buildings approved for the Cabernet Links and RV Resort. *The development of Lot 9 will require approval of a development plan (PD).
	Brewery / Beer Tasting	
	Retail Commercial	
	Restaurants	
<p>Note: Any use besides the uses listed in this table is not permitted. If in the future a use is proposed that is listed as 'Permitted' or 'Conditionally Permitted' in Table 21.16.200 of the Zoning Code for the AP zone, an amendment to this table would be required to be approved by the Planning Commission as an amendment to PD 15-004 in order to establish the use.</p>		

8. With the adoption of this Resolution, Resolutions 07-091, 07-092, and 07-093 for the Vista Del Hombro project shall be superseded.
9. Vesting Tentative Tract 3088 shall be recorded prior to the issuance of construction permits for Phase I of the development plan for the project.
10. Prior to issuance of certificates of use and occupancy, the property owner or authorized agent is required to pay the City's Development Impact Fees.
11. The maximum length of stay for any RV space is 30 consecutive days.
12. Prior to the issuance of a building permit, the Development Review Committee (DRC) shall review the following items to insure substantial compliance with the above listed Exhibits:
 - Final site details such as landscaping, decorative paving, benches, exterior lighting and any other site planning details;
 - Architectural elevations, including final materials, colors and details;
 - Equipment such as back flow devices, transformers, a/c condensers and appropriate screening methods for both views and noise;
 - Final grading and drainage plans.
 - Signage
13. Prior to the issuance of a grading permit, an archeological survey shall be conducted.
14. If human remains are encountered during project activities, work within 25 feet of the discovery should be redirected and the San Luis Obispo County Coroner notified immediately. At the same time, an archaeologist should be contacted to assess the situation and consult with agencies as appropriate. The project proponent should also be notified. Project personnel should not collect or move any human remains and associated materials. If the human remains are of Native American origin, the Coroner must notify the NAHC within 24 hours of this identification. The NAHC will identify a Most Likely Descendant to inspect the site and provide recommendations for the proper treatment of the remains and associated grave goods.
15. Prior to issuance of certificates of use and occupancy, the property owner or authorized agent is required to pay the City's Development Impact Fees.
16. No underground or aboveground storage of hazardous materials shall be allowed on-site without first obtaining City approval.
17. Temporary construction noise levels in excess of 60 decibels shall be restricted to the daylight hours of 7am to 6pm. Noise levels shall be measured or monitored from site boundaries or the nearest adjoining residential use to determine compliance.
18. Use and operation of the project and its appurtenances shall be conducted in compliance with the City's General Performance Standards for all uses (Section 21.21.040 of Chapter 21.21 Performance Standards of the City's Zoning Ordinance).
19. The project shall be revised to provide a 25-foot buffer between the RV sites that back up to the neighboring vineyard property boundary/fence. As part of the rules and regulations, RV guests shall be made aware that the resort is adjacent to vineyard land, where farming activities will take place.

20. The use and occupancy of the RV Resort and golf course shall conform to the floor plans as shown in Exhibits I and J. Occupancy of the buildings shall comply with density limitation of the Airport Land Use Plan, Zones 3 and 5 as follows:

Zone 3: No development shall be permitted.

Zone 5: The use intensity of this activity shall not exceed an average of 150 persons per gross acre, maximum 450 persons per single acre, at any time. Usage calculations shall include all people (e.g., employees, customers/visitors, etc.) who may be on the property at any single point in time, whether indoors or outside. The RV resort density will be calculated on an average of 1.8 persons per recreational vehicle to be occupied as a suite; plus one person per 60 sq. ft. floor area of any restaurants, club house; plus one person per 10 sq. ft. of floor area of meeting rooms shall be permitted.

21. The city of El Paso de Robles declares it a policy to protect and encourage agricultural operations as defined in [Chapter 21.16J](#) of the city of El Paso de Robles Municipal Code. If your property is located in the incorporated area of the city, in or near the agricultural district, you may at some times be subject to inconvenience or discomfort arising from agricultural operations. If conducted in a manner consistent with state law and city code, said inconveniences and discomforts shall not be or become a nuisance.

22. All rental contracts shall include the following disclosures:

- The resort is located adjacent to the Paso Robles Municipal Airport where there will be low flying aircraft and aircraft related noise that will impact the RV resort. The applicant shall provide sample disclosure statement that will be included with all rental contracts;
- The resort is located adjacent to established Vineyards and there will be farming activities taking place at the common fence line between the Vineyard and the RV Resort.

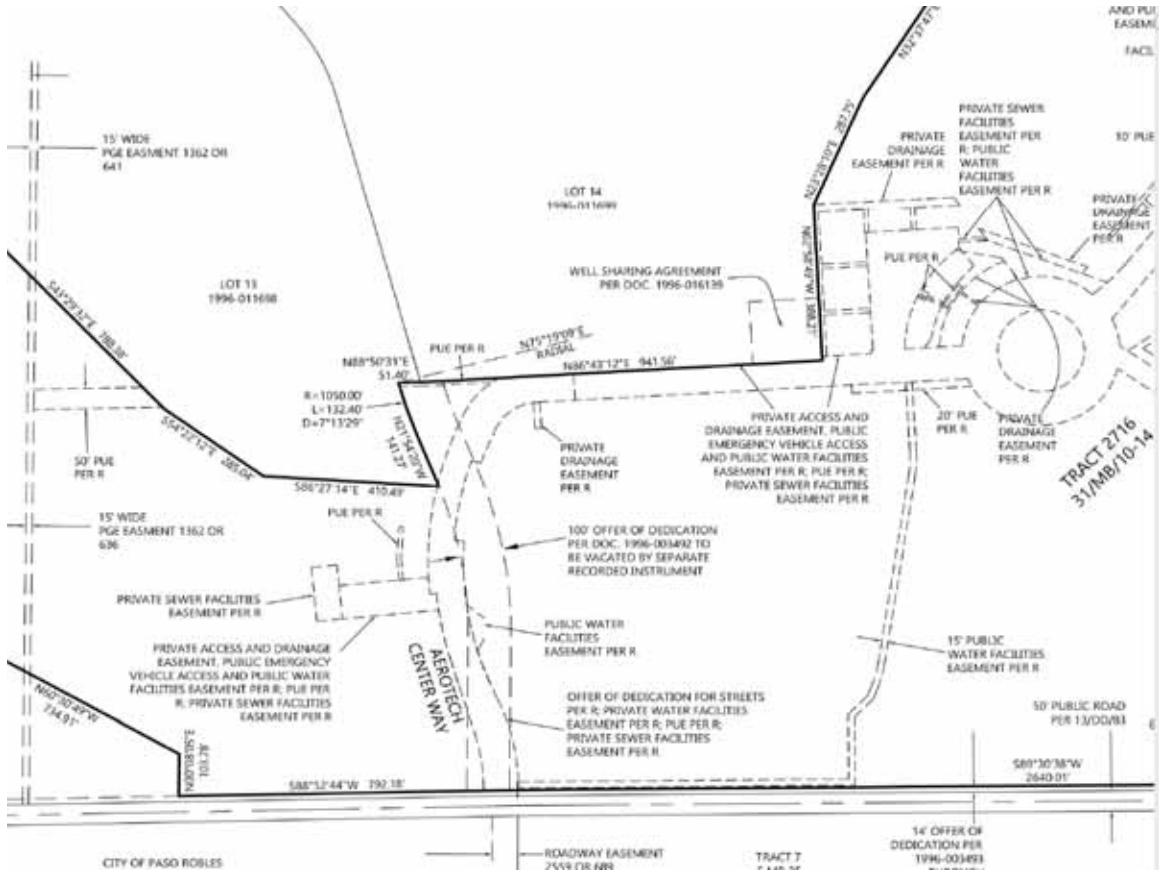
Engineering Division Conditions:

22. The Jardine Road frontage shall be improved as follows:

- a) The full width of Jardine Road paving shall be rehabilitated from Beacon Road to the project entrance in accordance with plans approved by the City Engineer prior to occupancy of Phase I.
- b) The full width of Jardine Road paving shall be rehabilitated from the south project entrance to the north project entrance in accordance with plans approved by the City Engineer prior to occupancy of Phase III. The applicant will be responsible for the cost of the paving west of centerline on this portion of the project.
- c) The full width of Jardine Road paving shall be rehabilitated from the north project entrance to the north boundary of the project in accordance with plans approved by the City Engineer prior to occupancy of Phase IV. The applicant will be responsible for the cost of the paving west of centerline on this portion of the project.

23. The request for the use of an on-site septic system shall be approved by the City Council. The septic system shall be designed in a manner to be approved by the Regional Board. The applicant may choose to work with the City to provide an alternative waste water system that would connect to the City's sanitary sewer system, thereby eliminated the need for an on-site septic system.

24. Prior to recordation of the final map, interest in private easements (Aerotech Center Way extension) encumbering the property must be resolved as well as alternative access to land-locked parcels within the adjacent vineyards. If the easement cannot be adjusted, the project master plan shall be redesigned to accommodate the existing easement alignment, subject to approval by the Development Review Committee.



Mitigation Measures:

- FIRE – 1: Provide minimum 60,000 gallon water storage tank and any necessary infrastructure. Plans to be reviewed and approved by the Emergency Services Department. The applicant may choose to work with the City to provide an additional looped water line connection to the City’s water system that satisfies the fire flow requirements. If this looped water system satisfies the fire flow requirement as determined by the City, the 60,000 gallon water storage tank would not be required.
- HYD-1: Ground Water. The project shall be redesigned so that there will be no more demand on ground water pumping than the projects historic rate.
- HYD-2: Well Metering. All on- and off-site wells permitted for use with this project shall have well meters installed per Public Works standards prior to recordation of the first subdivision map.

- AQ-1: The following measures shall be implemented to minimize construction-generated emissions. These measures shall be shown on grading and building plans:
- a. Reduce the amount of the disturbed area where possible.
 - b. Use water trucks, APCD approved dust suppressants (see Section 4.3 in the CEQA Air Quality Handbook), or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site and from exceeding the District's limit of 20% opacity for greater than 3 minutes in any 60-minute period. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (non-potable) water should be used whenever possible. **Please note that since water use is a concern due to drought conditions, the contractor or builder shall consider the use of an APCD-approved dust suppressant where feasible to reduce the amount of water used for dust control.** For a list of suppressants, see Section 4.3 of the CEQA Air Quality Handbook;
 - c. Reclaimed (non-potable) water should be used whenever possible.
 - d. All dirt stock pile areas should be sprayed daily as needed.
 - e. Permanent dust control measures identified in the approved project revegetation and landscape plans should be implemented as soon as possible following completion of any soil disturbing activities;
 - f. Exposed ground areas that are planned to be reworked at dates greater than one month after initial grading should be sown with a fast germinating, non-invasive grass seed and watered until vegetation is established.
 - g. All disturbed soil areas not subject to revegetation should be stabilized using approved chemical soil binders, jute netting, or other methods approved in advance by the SLOAPCD.
 - h. All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible. In addition, building pads should be laid as soon as possible after grading unless seeding or soil binders are used.
 - i. Vehicle speed for all construction vehicles shall not exceed 15 mph on any unpaved surface at the construction site.
 - j. All trucks hauling dirt, sand, soil, or other loose materials are to be covered or should maintain at least two feet of freeboard (minimum vertical distance between top of load and top of trailer) in accordance with CVC Section 23114.
 - k. Install wheel washers at the construction site entrance, wash off the tires or tracks of all trucks and equipment leaving the site, or implement other SLOAPCD-approved methods sufficient to minimize the track-out of soil onto paved roadways.
 - l. Sweep streets at the end of each day if visible soil material is carried onto adjacent paved roads. Water sweepers with reclaimed water should be used where feasible.
 - m. The burning of vegetative material shall be prohibited.
 - n. The contractor or builder shall designate a person or persons to monitor the fugitive dust emissions and enhance the implementation of the measures as necessary to minimize dust complaints, reduce visible emissions below 20% opacity, and to prevent transport of dust offsite. Their duties shall include holidays and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the SLOAPCD Compliance Division prior to the start of any grading, earthwork or demolition.
 - o. Construction of the proposed project shall use low-VOC content paints not exceeding 50 grams per liter.
 - p. Divert 65 percent of non-hazardous construction or demolition debris.

- AQ-2: To reduce operational emissions, the proposed project shall implement the following measures.
- a. The project proponent shall submit proof to the Paso Robles Community Development Department Staff that implementation of all measures have been met in accordance with a time schedule deemed appropriate by Community Development Department staff.
 - b. Provide shade tree planting in parking lots to reduce evaporative emissions from parked vehicles. Design should provide 50% tree coverage within 10 years of construction using low ROG emitting, low maintenance native drought resistant trees.
 - c. Include the planting of native and drought tolerant trees beyond those required as mitigation for tree removal.
 - d. Incorporate outdoor electrical outlets to encourage the use of electric appliances and tools.
 - e. Provide a designated parking space for alternatively fueled vehicles.
 - f. The project site shall be designed to minimize barriers to pedestrian access, internally links all uses, and connects to all existing or planned external streets, public transit, and pedestrian facilities contiguous with the project site.
 - g. Provide on-site bicycle parking beyond those required by California Green Building Standards Code and related facilities to support long-term use (lockers, or a locked room with standard racks and access limited to bicyclists only).
 - h. Implement traffic calming improvements as appropriate (e.g., marked crosswalks, count-down signal timers, curb extensions, speed tables, raised crosswalks, median islands, mini-circles, tight corner radii, etc.)
 - i. Install water conservation measures sufficient to meet, at a minimum, CALGreen Tier 1 standards for water efficiency and conservation.
 - j. The project shall be designed to incorporate the future installation of solar photovoltaic systems to serve the proposed RV park.
 - k. To the extent locally available, utilize pre-finished building materials or materials that do not require the application of architectural coatings.
 - l. Install energy-efficient appliances and building components sufficient to achieve overall reductions in interior energy use beyond those required at the time of development by CalGreen standards.
 - m. Install roofing material with a solar reflectance values meeting the EPA/DOE Energy Star rating to reduce summer cooling needs.
 - n. Provide a minimum of one on-site level two electrical vehicle (EV) charging station with sufficient electrical capacity for future expansion to add a minimum of three additional EV stations.
 - o. Utilize high efficiency lights in parking lots, streets, and other public areas.

AQ-3: The following measures shall be implemented to reduce exposure of sensitive receptors to substantial pollutant concentrations. These measures shall be shown on grading and building plans:

- a. Implement Mitigation Measure AQ-1.
- b. Demolition of onsite structures shall comply with the National Emission Standards for Hazardous Air Emissions (NESHAP) requirements (NESHAP, 40 CFR, Part 61, Subpart M) for the demolition of existing structures. The SLOAPCD is delegated authority by the Environmental Protection Agency (EPA) to implement the Federal Asbestos NESHAP. Prior to demolition of onsite structures, the SLOAPCD shall be notified, per NESHAP requirements. SLOAPCD notification form and reporting requirements are included in Appendix A. Additional information may be obtained at website url: <http://slocleanair.org/business/asbestos.php>.

- c. If during demolition of existing structures, paint is separated from the construction materials (e.g. chemically or physically), the paint waste will be evaluated independently from the building material by a qualified hazardous materials inspector to determine its proper management. All hazardous materials shall be handled and disposed in accordance with local, state and federal regulations. According to the Department of Toxic Substances Control (DTSC), if paint is not removed from the building material during demolition (and is not chipping or peeling), the material can be disposed of as construction debris (a non-hazardous waste). The landfill operator will be contacted prior to disposal of building material debris to determine any specific requirements the landfill may have regarding the disposal of lead-based paint materials. The disposal of demolition debris shall comply with any such requirements. Contact the SLOAPCD Enforcement Division at (805) 781-5912 for more information. Approval of a lead work plan and permit may be required. Lead work plans, if required, will need to be submitted to SLOAPCD ten days prior to the start of demolition
- d. On-road diesel vehicles shall comply with Section 2485 of Title 13 of the California Code of Regulations. This regulation limits idling from diesel-fueled commercial motor vehicles with gross vehicular weight ratings of more than 10,000 pounds and licensed for operation on highways. It applies to California and non-California based vehicles. In general, the regulation specifies that drivers of said vehicles:
 - 1) Shall not idle the vehicle's primary diesel engine for greater than 5 minutes at any location, except as noted in Subsection (d) of the regulation; and,
 - 2) Shall not operate a diesel-fueled auxiliary power system to power a heater, air conditioner, or any ancillary equipment on that vehicle during sleeping or resting in a sleeper berth for greater than 5.0 minutes at any location when within 1,000 feet of a restricted area, except as noted in Subsection (d) of the regulation.
- e. Maintain all construction equipment in proper tune in accordance with manufacturer's specifications;
- f. Fuel all off-road and portable diesel powered equipment with ARB certified motor vehicle diesel fuel (non-taxed version suitable for use off-road);
- g. Use diesel construction equipment meeting ARB's Tier 2 certified engines or cleaner off-road heavy-duty diesel engines, and comply with the State Off-Road Regulation;
- h. Idling of all on- and off-road diesel-fueled vehicles shall not be permitted when not in use. Signs shall be posted in the designated queuing areas and or job site to remind drivers and operators of the no idling limitation.
- i. Electrify equipment when possible;
- j. Substitute gasoline-powered in place of diesel-powered equipment, when available; and,
- k. Use alternatively fueled construction equipment on-site when available, such as compressed natural gas (CNG), liquefied natural gas (LNG), propane or biodiesel.

AQ-4: Developmental Burning - Effective February 25, 2000, **the APCD prohibited developmental burning of vegetative material within San Luis Obispo County.** If you have any questions regarding these requirements, contact the APCD Engineering & Compliance Division at (805) 781-5912.

AQ-5 Construction Permit Requirements -_Based on the information provided, we are unsure of the types of equipment that may be present during the project's construction phase. Portable equipment, 50 horsepower (hp) or greater, used during construction activities may require California statewide portable equipment registration (issued by the California Air Resources Board) or an APCD permit.

The following list is provided as a guide to equipment and operations that may have permitting requirements, but should not be viewed as exclusive. For a more detailed listing, refer to the Technical Appendices, page 4-4, in the APCD's 2012 CEQA Handbook.

- Power screens, conveyors, diesel engines, and/or crushers;
- Portable generators and equipment with engines that are 50 hp or greater;
- Electrical generation plants or the use of standby generator;
- Internal combustion engines;
- Rock and pavement crushing;
- Unconfined abrasive blasting operations;
- Tub grinders;
- Trommel screens; and,
- Portable plants (e.g. aggregate plant, asphalt batch plant, concrete batch plant, etc).

To minimize potential delays, prior to the start of the project, please contact the APCD Engineering & Compliance Division at (805) 781-5912 for specific information regarding permitting requirements.

- BR-1. Soil disturbance for the Project exceeds one acre. Prior to the onset of construction, a Storm Water Pollution Prevention Plan (SWPPP) shall be prepared. The SWPPP shall contain Best Management Practices (BMPs) to prevent pollutants from leaving the site and entering waters of the State."
- BR-2. Biodegradable fiber rolls shall be installed pursuant to Caltrans Fiber Roll Detail SC-5, available at <http://www.dot.ca.gov/hq/construc/stormwater/SC-05.pdf>. To minimize the risk of ensnaring and strangling wildlife, coir rolls, erosion control mats or blankets, straw or fiber wattles, or similar erosion control products shall be comprised entirely of natural-fiber, biodegradable materials. No "photodegradable" or other plastic erosion control materials shall be used.
- BR-3. Tree canopies and trunks within 50 feet of proposed disturbance zones should be mapped and numbered by a certified arborist or qualified biologist and a licensed land surveyor. Data for each tree should include date, species, number of stems, diameter at breast height (DBH) of each stem, critical root zone (CRZ) diameter, canopy diameter, tree height, health, habitat notes, and nests observed.
- BR-4. Impacts to the oak canopy or critical root zone (CRZ) should be avoided where practicable. Impacts include pruning, any ground disturbance within the drip-line or CRZ of the tree (whichever distance is greater), and trunk damage
- BR-5. If ground disturbance is proposed within the drip line or CRZ an oak tree protection plan shall be prepared and approved by the City of Paso Robles.
- BR-6. Impacts to oak trees shall be assessed by a licensed arborist. Mitigations for impacted trees shall comply with the City of Paso Robles tree ordinance.

- BR-7. Within one week of ground disturbance activities, if work occurs between March 15 and August 15, nesting bird surveys shall be conducted. If surveys do not locate nesting birds, construction activities may be conducted. If nesting birds are located, no construction activities shall occur within 100 feet of nests until chicks are fledged. A preconstruction survey report shall be submitted to the lead agency immediately upon completion of the survey. The report shall detail appropriate fencing or flagging of the buffer zone and make recommendations on additional monitoring requirements. A map of the Project site and nest locations shall be included with the report. The Project biologist conducting the nesting survey shall have the authority to reduce or increase the recommended buffer depending upon site conditions.
- BR-8. Occupied nests of special status bird species shall be mapped using GPS or survey equipment. Work shall not be allowed within a 100 foot buffer while the nest is in use. The buffer zone shall be delineated on the ground with orange construction fencing where it overlaps work areas.
- BR-9. Occupied nests of special status bird species that are within 100 feet of project work areas shall be monitored at least every two weeks through the nesting season to document nest success and check for project compliance with buffer zones. Once nests are deemed inactive and/or chicks have fledged and are no longer dependent on the nest, work may commence in these areas.
- BR-10. A pre-construction survey shall be conducted within thirty days of beginning work on the site to identify if badgers are using the site. If the pre-construction survey finds potential badger dens, they shall be inspected to determine whether they are occupied. The survey shall cover the entire area of disturbance, and shall examine both old and new dens. If badgers are found in dens on the property between February and July, nursing young may be present. To avoid disturbance and the possibility of direct take of adults and nursing young, and to prevent badgers from becoming trapped in burrows during construction activity, no grading shall occur within 100 feet of active badger dens between February and July. Between July 1st and February 1st all potential badger dens shall be inspected to determine if badgers are present. During the winter badgers do not truly hibernate, but are inactive and asleep in their dens for several days at a time. Because they can be torpid during the winter, they are vulnerable to disturbances that may collapse their dens before they rouse and emerge. Therefore, surveys shall be conducted for badger dens throughout the year. If badger dens are found on the property during the pre-construction survey, the CDFW wildlife biologist for the area shall be contacted to review current allowable management practices that may include encouraging badgers to move offsite and/or trapping and relocation.
- BR-11. Prior to issuance of grading and/or construction permits, the applicant shall submit evidence to the City of Paso Robles, Community Development Department (see contact information below) that states that one or a combination of the following three San Joaquin kit fox mitigation measures has been implemented:
- a. Provide for the protection in perpetuity, through acquisition of fee or a conservation easement of:
 - 34.68 acres for Phase 1
 - 51.6 acres for Phase 2
 - 30.84 acres for Phase 3
 - 19.5 acres for Phase 4
 - 23.88 acres for Phase 5

160.5 acres total for all phases of suitable habitat in the kit fox corridor area (e.g. within the San Luis Obispo County kit fox habitat area, northwest of Highway 58), either on-site or off-site, and provide for a non-wasting endowment to provide for management and monitoring of the property in perpetuity. Lands to be conserved shall be subject to the review and approval of the California Department of Fish and Wildlife and the City. This mitigation alternative requires that all aspects of this program must be in place before City permit issuance or initiation of any ground disturbing activities.

- b. Deposit funds into an approved in-lieu fee program, which would provide for the protection in perpetuity of suitable habitat in the kit fox corridor area within San Luis Obispo County, and provide for a non-wasting endowment for management and monitoring of the property in perpetuity. Mitigation alternative (b) above can be completed by providing funds to The Nature Conservancy (TNC) pursuant to the Voluntary Fee-Based Compensatory Mitigation Program (Program). The Program was established in agreement between the CDFW and TNC to preserve San Joaquin kit fox habitat, and to provide a voluntary mitigation alternative to project proponents who must mitigate the impacts of projects in accordance with the California Environmental Quality Act (CEQA). The fee, payable to "The Nature Conservancy," would total:

\$86,700 for Phase 1
\$129,000 for Phase 2
\$77,100 acres for Phase 3
\$48,750 for Phase 4
\$59,700 for Phase 5, or
\$401,250 total for all phases.

This fee is calculated based on the current cost-per-unit of \$2500 per acre of mitigation, which is scheduled to be adjusted to address the increasing cost of property in San Luis Obispo County; your actual cost may increase depending on the timing of payment. This fee must be paid after the CDFW provides written notification about your mitigation options but prior to City permit issuance and initiation of any ground disturbing activities.

- c. Purchase credits in a CDFW-approved conservation bank, which would provide for the protection in perpetuity of suitable habitat within the kit fox corridor area and provide for a non-wasting endowment for management and monitoring of the property in perpetuity. Mitigation alternative (c) above can be completed by purchasing credits from the Palo Prieto Conservation Bank (see contact information below). The Palo Prieto Conservation Bank was established to preserve San Joaquin kit fox habitat, and to provide a voluntary mitigation alternative to project proponents who must mitigate the impacts of projects in accordance with the California Environmental Quality Act (CEQA). The cost for purchasing credits is payable to the owners of The Palo Prieto Conservation Bank, and would total:

\$86,700 for Phase 1
\$129,000 for Phase 2
\$77,100 acres for Phase 3
\$48,750 for Phase 4
\$59,700 for Phase 5, or
\$401,250 total for all phases.

This fee is calculated based on the current cost-per-credit of \$2,500 per acre of mitigation. The fee is established by the conservation bank owner and may change at any time. Your actual cost may increase depending on the timing of payment. Purchase of credits must be completed prior to City permit issuance and initiation of any ground disturbing activities.

BR-12. Prior to issuance of grading and/or construction permits, the applicant shall provide evidence that they have retained a qualified biologist acceptable to the City. The retained biologist shall perform the following monitoring activities:

- i. Prior to issuance of grading and/or construction permits and within 30 days prior to initiation of site disturbance and/or construction, the biologist shall conduct a pre-activity (i.e. preconstruction) survey for known or potential kit fox dens and submit a letter to the City reporting the date the survey was conducted, the survey protocol, survey results, and what measures were necessary (and completed), as applicable, to address any kit fox activity within the project limits.
- ii. The qualified biologist shall conduct weekly site visits during site-disturbance activities (i.e. grading, diking, excavation, stock piling of dirt or gravel, etc.) that proceed longer than 14 days, for the purpose of monitoring compliance with required Mitigation Measures. Site disturbance activities lasting up to 14 days do not require weekly monitoring by the biologist unless observations of kit fox or their dens are made on-site or the qualified biologist recommends monitoring for some other reason. When weekly monitoring is required, the biologist shall submit weekly monitoring reports to the City.
- iii. Prior to or during project activities, if any observations are made of San Joaquin Kit fox, or any known or potential San Joaquin kit fox dens are discovered within the project limits, the qualified biologist shall re-assess the probability of incidental take (e.g. harm or death) to kit fox. At the time a den is discovered, the qualified biologist shall contact USFWS and the CDFW for guidance on possible additional kit fox protection measures to implement and whether or not a Federal and/or State incidental take permit is needed. If a potential den is encountered during construction, work shall stop until such time the USFWS determines it is appropriate to resume work.

If incidental take of kit fox during project activities is possible, before project activities commence, the applicant must consult with the USFWS. The results of this consultation may require the applicant to obtain a Federal and/or State permit for incidental take during project activities. The applicant should be aware that the presence of kit foxes or known or potential kit fox dens at the project site could result in further delays of project activities.

- iv. In addition, the qualified biologist shall implement the following measures:
 1. Within 30 days prior to initiation of site disturbance and/or construction, fenced exclusion zones shall be established around all known and potential kit fox dens. Exclusion zone fencing shall consist of either large flagged stakes connected by rope or cord, or survey laths or wooden stakes prominently flagged with survey ribbon. Each exclusion zone shall be roughly circular in configuration with a radius of the following distance measured outward from the den or burrow entrances:
 - Potential kit fox den: 50 feet
 - Known or active kit fox den: 100 feet
 - Kit fox pupping den: 150 feet

2. All foot and vehicle traffic, as well as all construction activities, including storage of supplies and equipment, shall remain outside of exclusion zones. Exclusion zones shall be maintained until all project-related disturbances have been terminated, and then shall be removed.
 3. If kit foxes or known or potential kit fox dens are found on site, daily monitoring by a qualified biologist shall be required during ground disturbing activities.
- BR-13. Prior to issuance of grading and/or construction permits, the applicant shall clearly delineate the following as a note on the project plans: "Speed signs of 25 mph (or lower) shall be posted for all construction traffic to minimize the probability of road mortality of the San Joaquin kit fox". Speed limit signs shall be installed on the project site within 30 days prior to initiation of site disturbance and/or construction.
- BR-14. During the site disturbance and/or construction phase, grading and construction activities after dusk shall be prohibited unless coordinated through the City, during which additional kit fox mitigation measures may be required.
- BR-15. Prior to issuance of grading and/or construction permit and within 30 days prior to initiation of site disturbance and/or construction, all personnel associated with the project shall attend a worker education training program, conducted by a qualified biologist, to avoid or reduce impacts on sensitive biological resources (i.e. San Joaquin kit fox). At a minimum, as the program relates to the kit fox, the training shall include the kit fox's life history, all mitigation measures specified by the City, as well as any related biological report(s) prepared for the project. The applicant shall notify the City shortly prior to this meeting. A kit fox fact sheet shall also be developed prior to the training program, and distributed at the training program to all contractors, employers and other personnel involved with the construction of the project.
- BR-16. During the site-disturbance and/or construction phase, to prevent entrapment of the San Joaquin kit fox, all excavations, steep-walled holes and trenches in excess of two feet in depth shall be covered at the close of each working day by plywood or similar materials, or provided with one or more escape ramps constructed of earth fill or wooden planks. Trenches shall also be inspected for entrapped kit fox each morning prior to onset of field activities and immediately prior to covering with plywood at the end of each working day. Before such holes or trenches are filled, they shall be thoroughly inspected for entrapped kit fox. Any kit fox so discovered shall be allowed to escape before field activities resume, or removed from the trench or hole by a qualified biologist and allowed to escape unimpeded.
- BR-17. During the site-disturbance and/or construction phase, any pipes, culverts, or similar structures with a diameter of four inches or greater, stored overnight at the project site shall be thoroughly inspected for trapped San Joaquin kit foxes before the subject pipe is subsequently buried, capped, or otherwise used or moved in any way. If during the construction phase a kit fox is discovered inside a pipe, that section of pipe will not be moved. If necessary, the pipe may be moved only once to remove it from the path of activity, until the kit fox has escaped.
- BR-18. During the site-disturbance and/or construction phase, all food-related trash items such as wrappers, cans, bottles, and food scraps shall be disposed of only in closed containers. These containers shall be regularly removed from the site. Food items may attract San Joaquin kit foxes onto the project site, consequently exposing such animals to increased risk of injury or mortality. No deliberate feeding of wildlife shall be allowed.

- BR-19. Prior to, during and after the site-disturbance and/or construction phase, use of pesticides or herbicides shall be in compliance with all local, State and Federal regulations. This is necessary to minimize the probability of primary or secondary poisoning of endangered species utilizing adjacent habitats, and the depletion of prey upon which San Joaquin kit foxes depend.
- BR-20. During the site-disturbance and/or construction phase, any contractor or employee that inadvertently kills or injures a San Joaquin kit fox or who finds any such animal either dead, injured, or entrapped shall be required to report the incident immediately to the applicant and City. In the event that any observations are made of injured or dead kit fox, the applicant shall immediately notify the USFWS and CDFW by telephone. In addition, formal notification shall be provided in writing within three working days of the finding of any such animal(s). Notification shall include the date, time, location and circumstances of the incident. Any threatened or endangered species found dead or injured shall be turned over immediately to CDFW for care, analysis, or disposition.
- BR-21. Prior to final inspection, or occupancy, whichever comes first, should any long internal or perimeter fencing be proposed or installed, the applicant shall do the following to provide for kit fox passage:
- i. If a wire strand/pole design is used, the lowest strand shall be no closer to the ground than 12 inches.
 - ii. If a more solid wire mesh fence is used, 8 by 12 inch openings near the ground shall be provided every 100 yards
 - iii. Upon fence installation, the applicant shall notify the City to verify proper installation. Any fencing constructed after issuance of a final permit shall follow the above guidelines.

PASSED AND ADOPTED THIS 28th day of February, 2017 by the following Roll Call Vote:

AYES: Barth, Donaldson, Agredano, Davis, Brennan
 NOES: Rollins
 ABSENT: None
 ABSTAIN: None



 Bob Rollins, Chairperson

ATTEST:



 Warren Frace, Secretary of the Planning Commission

THE CABERNET LINKS & RV RESORT

PASO ROBLES, CALIFORNIA

APPLICANT

VINA VISTA, LLC.
 PO BOX 510, PASO ROBLES, CA 93447
 (805) 239-5111

CONSULTANT TEAM

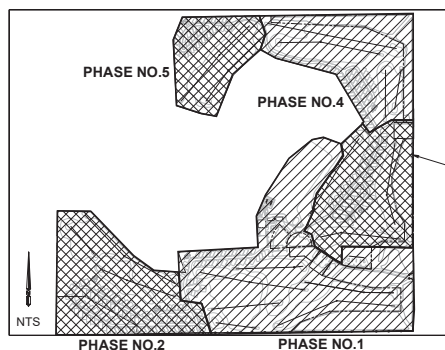
DEVELOPMENT PLANNING CONSULTANT
LANDSITE, INCORPORATED
 P.O. BOX 378, CAYUCOS, CA 93430
 (805) 995-1618

CIVIL ENGINEER / LANDSCAPE ARCHITECT
WALLACE GROUP
 612 CLARION COURT, SAN LUIS OBISPO, CA 93401
 (805) 544-4011

ARCHITECT
KEN M. NAGAHARA
 610 10TH STREET, SUITE A, PASO ROBLES, CA 93446
 (805) 610-7006

LAND SURVEYOR
DAKOS LAND SURVEYS
 7600 MORRO ROAD, ATASCADERO, CA 93442
 (805) 466-2445

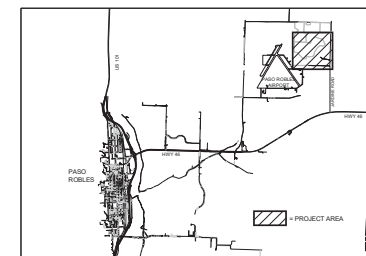
PHASING PLAN



CONCEPT SITE PLAN

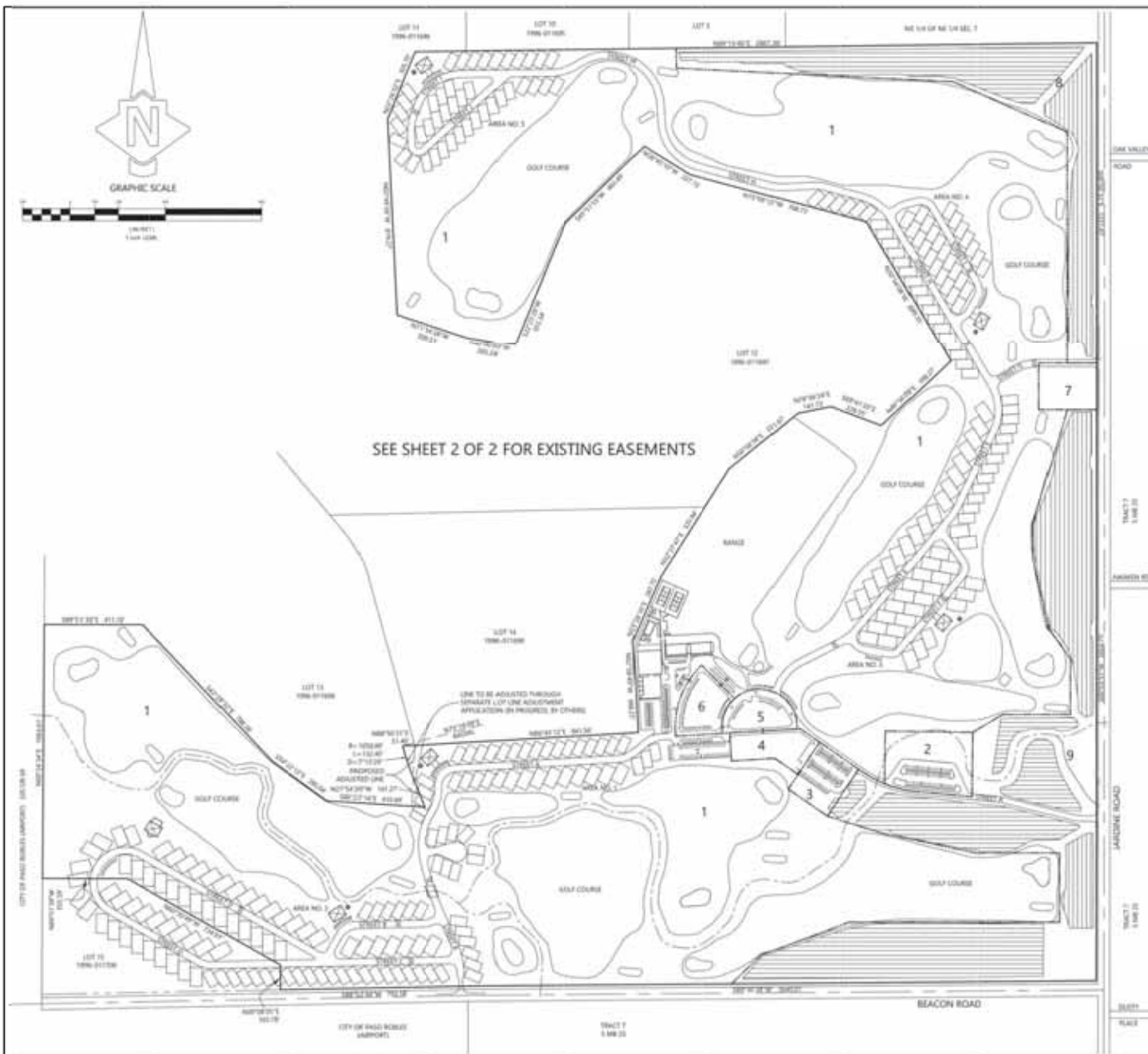


VICINITY MAP



Sheet Number	Sheet Title
Cover	
CS1.0	Cover Sheet
Tentative Map	
V1.0	Vesting Tentative Map
V1.1	Vesting Tentative Map
Site Map	
C2.0	Concept Site Plan
C2.1	Facilities & Parking Site Plan
Grading Plan	
C3.1	Conceptual Grading
C3.2	Conceptual Grading
C3.3	Conceptual Grading
C3.4	Conceptual Grading
C3.5	Conceptual Grading
C3.6	Conceptual Grading
C3.7	Conceptual Grading
Utility Plan	
C4.1	Conceptual Utilities
C4.2	Conceptual Utilities
C4.3	Conceptual Utilities
C4.4	Conceptual Utilities
C4.5	Conceptual Utilities
C4.6	Conceptual Utilities
C4.7	Conceptual Utilities
Lighting Plan	
E1.1	LIGHTING PLAN
E1.2	LIGHTING PLAN
E1.3	LIGHTING PLAN
E1.4	LIGHTING PLAN
E1.5	LIGHTING PLAN
E1.6	
E1.7	LIGHTING PLAN
Landscape	
L1.1	Planting Plan
L1.2	Planting Plan
L1.3	Planting Plan
L1.4	Planting Plan
L1.5	Planting Plan
L1.6	Planting Plan
L1.7	Planting Plan
L1.8	Details
Architecture	
A-1	BLDG 1 & 2 - FLOOR PLAN
A-2	BLDG 1 & 2 - UPPER FLOOR - ELEVATIONS
A-3	BLDG 1 & 2 - ELEVATIONS
A-4	BLDG 3 FLOOR PLAN - ELEVATIONS
A-5	BLDG 3 - ELEVATIONS
A-6	CLUB HOUSE - FLOOR PLAN
A-7	CLUB HOUSE - ELEVATIONS
A-8	CLUB HOUSE - ELEVATIONS
A-9	SHOWER & LAUNDRY - FLOOR PLAN
A-10	SHOWER & LAUNDRY - ELEVATIONS

Exhibit C-1



OWNERS' STATEMENT
 I HEREBY APPLY FOR THE APPROVAL OF THE BOARD OF PUBLIC WORKS OF THE CITY OF PASCANA, CALIFORNIA, TO THE TENTATIVE MAP AND STATEMENT I AM THE OWNER OF OR THE AUTHORIZED AGENT OF THE PROPERTY AND THAT THE INFORMATION HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

OWNERS
 VINO VISTA LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

APN'S
 025-442-021-400-003
 025-442-021-THROUGH-002
 025-442-021-THROUGH-014

GENERAL NOTES
 1. All of the commercial lots will be base individual right systems.
 2. Water will be provided to each of the commercial lots via a private water service.
 3. All of the proposed roads will have a 4' strip Public Utility Easement adjacent to their right of way.
 4. Lot 4 & 6 Public Access & Utility Easements are to be provided over Lot 1 for the benefit of lots 4 & 6.

ACREAGE

EXISTING		TOTAL ACRES
TRACT 2714	TRACT 3088	
RESIDENTIAL		
1	3,645.00	3,645.00
2	2,112.00	2,112.00
3	1.11	1.11
4	1.00	1.00
5	1.50	1.50
6	1.10	1.10
7	1.10	1.10
8	1.00	1.00
9	3.80	3.80
TOTAL	18.27	18.27

VESTING TENTATIVE TRACT 3088

Prepared For: **VINO VISTA LLC**

BEING A PROPOSED SUBDIVISION OF TRACT 2714, IN THE CITY OF PASCANA, COUNTY OF SAN GABRIEL, STATE OF CALIFORNIA, REAL PROPERTY.

APPLIC: 025-442-021, 022, 023, 024, 025, 026, 027, 028
 DATE: AUGUST 2015, REVISED 11-18-15
 RELEASED: 11-18-15, 11:00 AM, PASCANA, CALIFORNIA

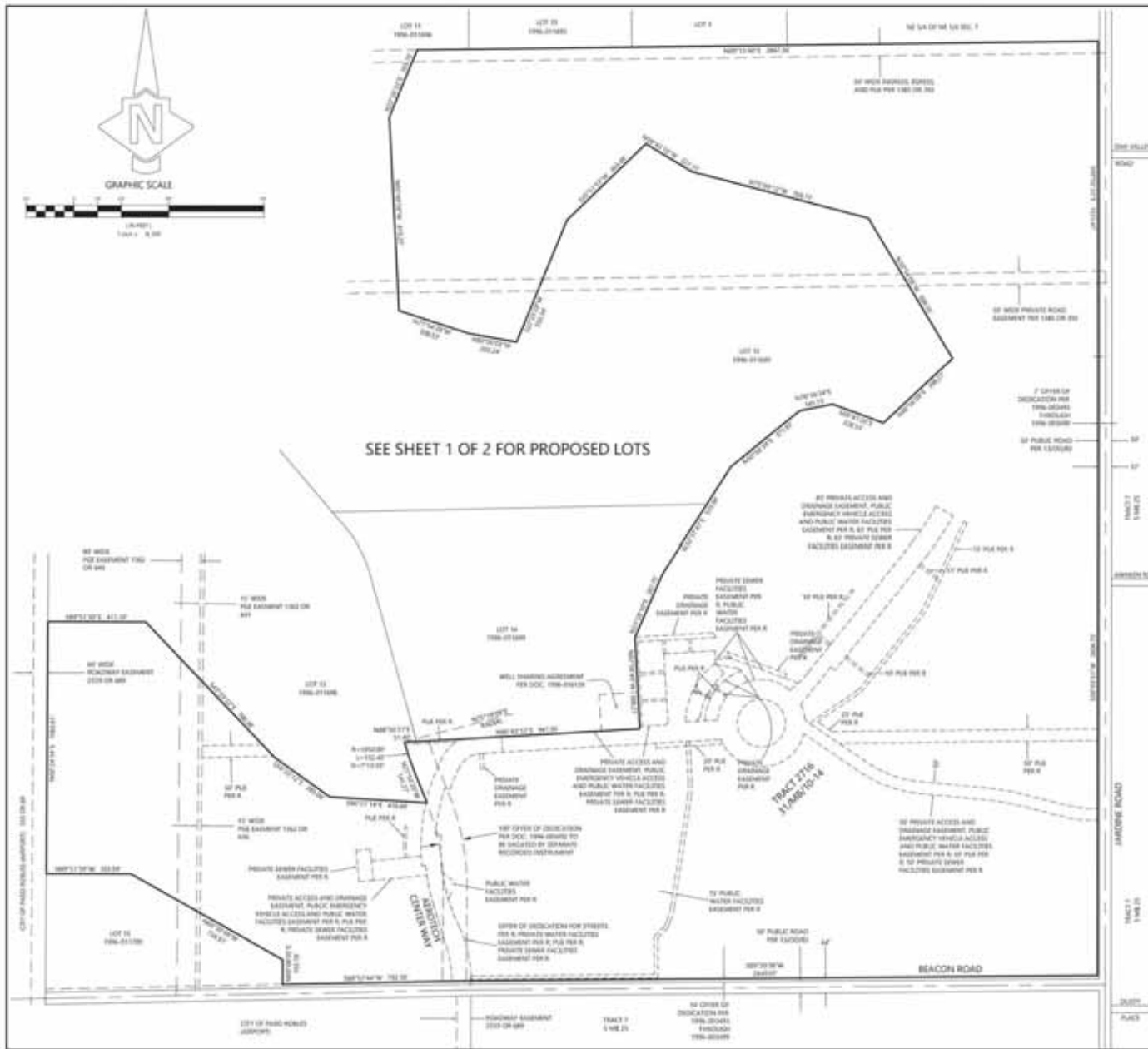
Prepared By: **DAKOS LAND SURVEYS**

Scale: 1" = 200'
 Project: 15,012
 Date: 11,012
 Sheet: 1 of 3

PLACER TITLE COMPANY 2011-10-04



Exhibit C-2



OWNERS' STATEMENT

I HEREBY AFFIRM FOR THE APPROVAL OF DIVISION OF REAL PROPERTY ACTIONS ON THIS TENTATIVE MAP AND STATE THAT I AM THE OWNER OF OR THE AUTHORIZED AGENT TO SELL THEREIN, AND THAT THE INFORMATION SHOWN HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

OWNERS

VINO VISTA, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

APN

051-462-001-002-000
051-462-002 THROUGH 003
051-462-004 THROUGH 006

ACREAGE

SUBTOTAL
TRACT 2716 322.95 AC

UNPLOTTABLE EASEMENTS

THERE ARE CERTAIN UNPLOTTABLE EASEMENTS AFFECTING THIS PROPERTY. CITY OF PALM BEACH RECORDS AS EASEMENT HOLDING THIS DATED VARIOUS MEASUREMENTS, ALL FROM AN INSTRUMENT NO. 1996-00003 OF OFFICIAL RECORDS.

RECORDING REFERENCES

8 BOOK 31 OF MAPS, PAGES 10-14

VESTING TENTATIVE TRACT 3088

Registered To:	VINO VISTA, LLC
Being A Proposed Subdivision Of:	TRACT 2716, IN THE CITY OF PALM BEACH, COUNTY OF DADE, STATE OF FLORIDA, PARCELS 14
APRONS:	051-462-001-002-003-004-005-006-007-008
DATE:	AUGUST 2016 REVISED 4-11-2016
SURNAME:	DAKOS (Dallas John Vito)
OWNER:	VINO VISTA, LLC
PLANNING:	PLANNING
PLACES:	PLACES



PHASING PLAN

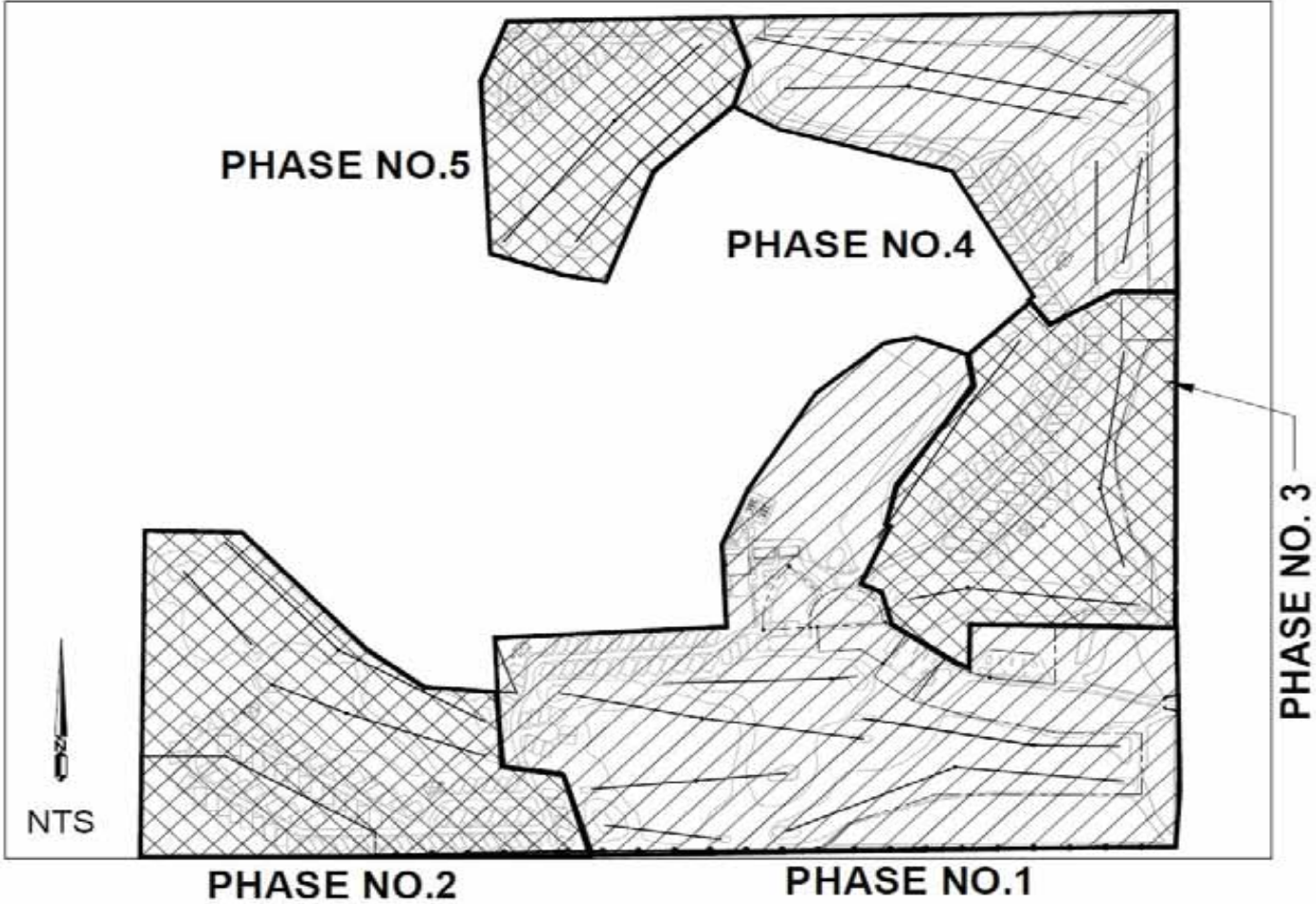


Exhibit E-1

LEGEND

- LARGE TREE
- SMALL TREE
- EXISTING VINEYARD
- OVERFLOW PARKING
- PROJECT ENTRANCE
- EMERGENCY INGRESS / EGRESS (JARDINE RD ENTRANCE OPEN TO PUBLIC FOR LOT 7)
- ENTRY MONUMENT
- PRO SHOP / CLUBHOUSE / RESTAURANT
- RV & GOLF CHECK-IN / CLUBHOUSE
- RESORT RECREATION FACILITY (SHOWERS, TENTS AND RESTROOMS)
- RESORT POOL AREA
- BANQUET ROOM
- GOLF PRACTICE FACILITY
- DEER FENCE ALONG BEACON RD. - 8' MIN. HEIGHT
- TENNIS COURTS / PICKLE BALL
- CART STAGING
- INDOOR CART STORAGE
- MAINTENANCE YARD
- PARKING AREA INGRESS - EGRESS
- W/P CLUBHOUSE
- PARKING LOTS (SEE TABLE BELOW)
- HANDICAP PARKING
- OVERFLOW PARKING
- RESORT SPA TUB
- RV RESTROOM / SHOWER / LAUNDRY FACILITY
- EXISTING DRAINAGE WAY
- EXISTING POND
- EXISTING PUMP HOUSE
- GOLF RESTROOMS

PARCEL ACREAGE CHART

ORIGINAL ACREAGE		
TRACT 2716	222.19	AC±
PROPOSED ACREAGE		
1	180.66	AC± GOLF RV & CLUBHOUSE
2	2.12	AC± COMMERCIAL
3	1.10	AC± COMMERCIAL
4	1.05	AC± COMMERCIAL
5	1.02	AC± COMMERCIAL
6	1.12	AC± COMMERCIAL
7	1.08	AC± COMMERCIAL
8	9.93	AC± AGRICULTURE
9	23.91	AC± AGRICULTURE
TOTAL	222.19	AC±

PHASE SCHEDULE

PHASE	AREA	UNITS	RV UNIT COUNT
PHASE 1	AREA NO. 1	47 UNITS	30' X 60' 2 UNITS
	LOT 2, 3, 4, 5, 6		40' X 70' 174 UNITS
PHASE 2	AREA NO. 2	96 UNITS	50' X 60' 114 UNITS
	TOTAL		290 UNITS
PHASE 3	AREA NO. 3	56 UNITS	
	LOT 7		
PHASE 4	AREA NO. 4	49 UNITS	
	TOTAL		290 UNITS
PHASE 5	AREA NO. 5	42 UNITS	
	TOTAL		290 UNITS

PARKING COUNT

PARKING (Q1)	101 SPACES
PARKING (Q2)	75 SPACES
PARKING (Q3)	57 SPACES
HANDICAP PARKING	5 SPACES
OVERFLOW PARKING	84 SPACES
PARK (RESTROOM/GUEST)	52 SPACES
TOTAL	374 SPACES

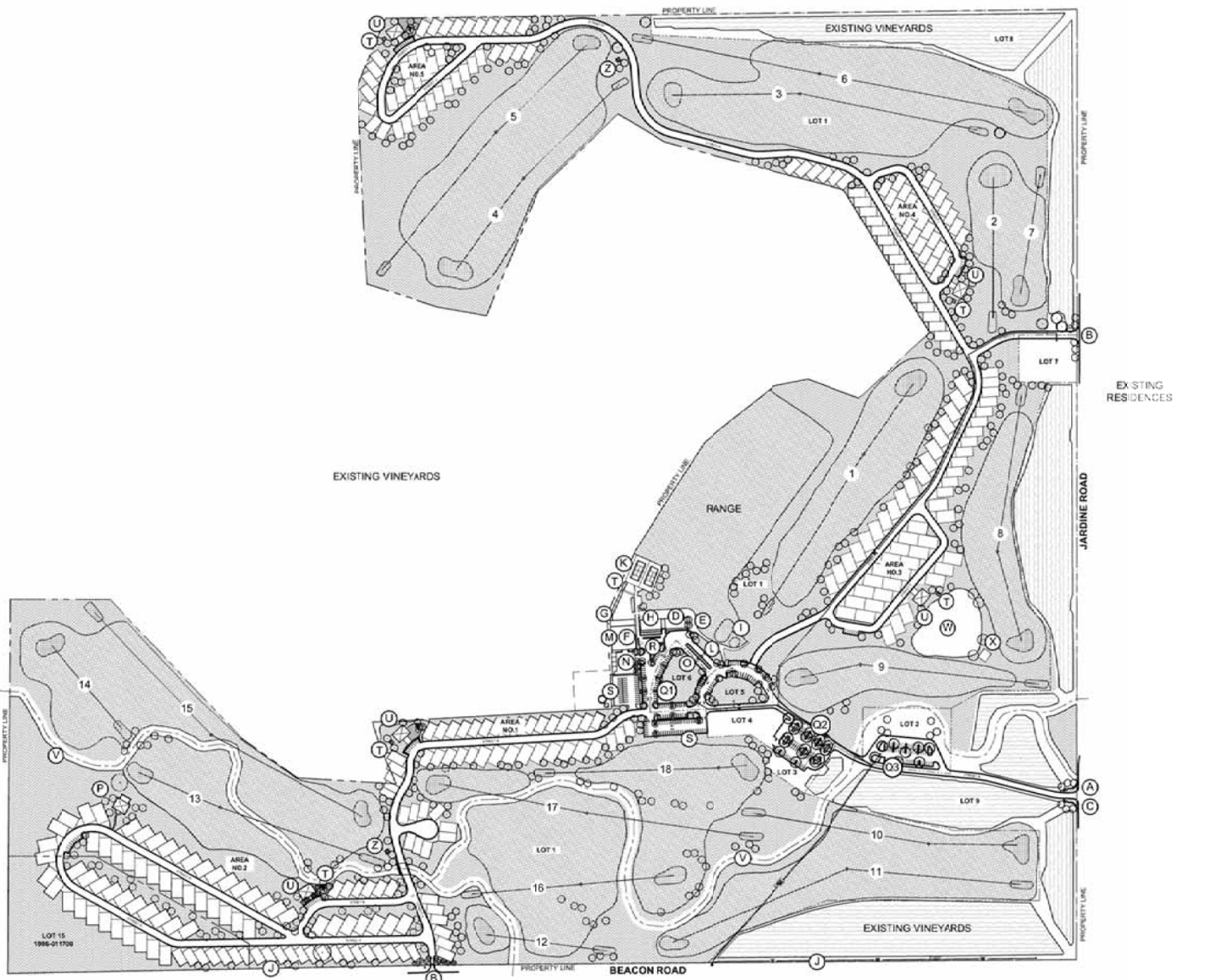
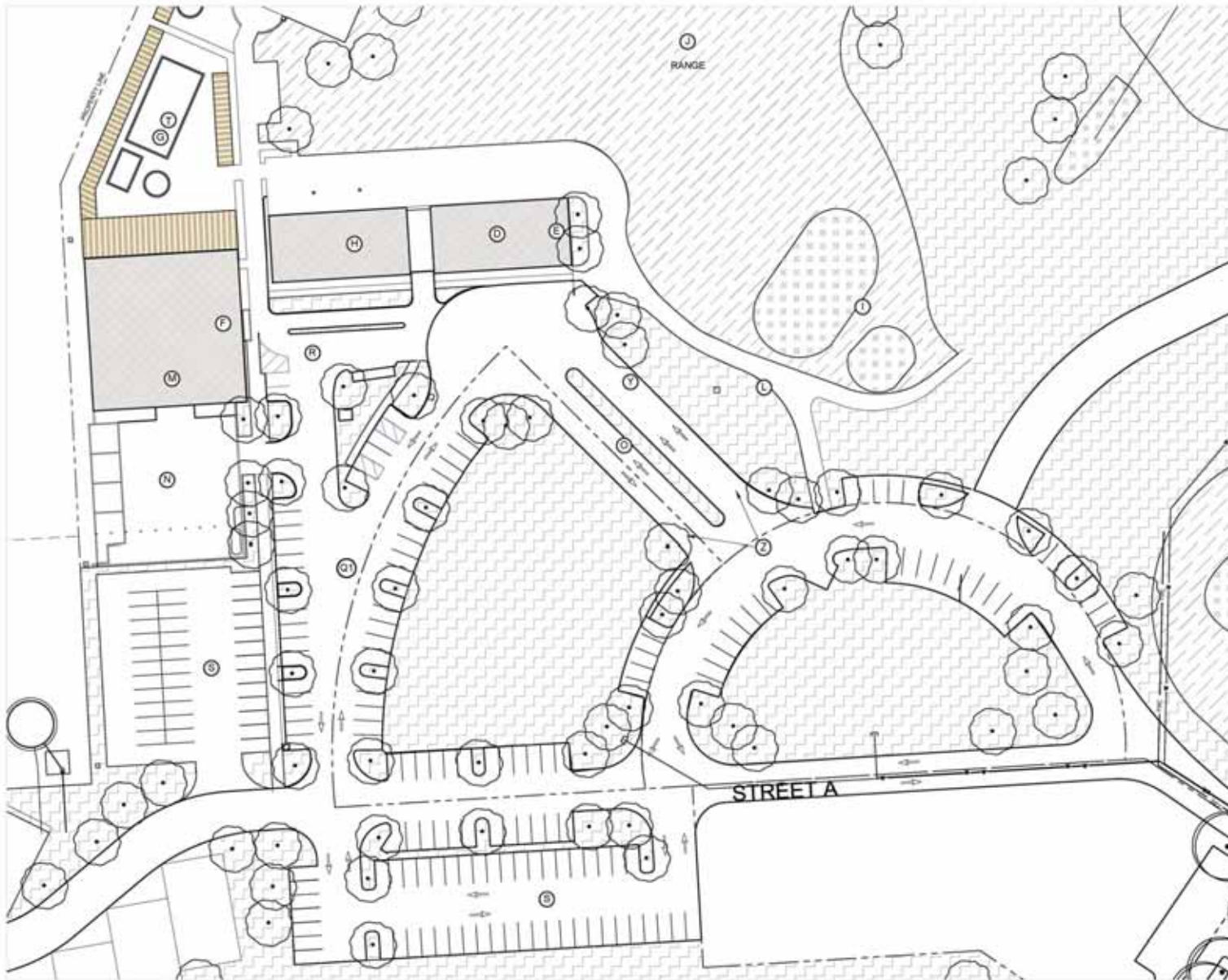


Exhibit E-2

LEGEND



- A PROJECT ENTRANCE
- B 15' EMERGENCY INGRESS / EGRESS, BEACON ROAD
- C ENTRY MONUMENT
- D PRO SHOP / CLUBHOUSE / RESTAURANT LOUNGE
- E RV & GOLF CHECK-IN / CLUBHOUSE
- F RESORT RECREATION FACILITY (SHOWERS, LOCKERS, AND RESTROOMS)
- G RESORT POOL AREA
- H BANQUET ROOM
- I GOLF PRACTICE GREENS
- J GOLF DRIVING RANGE
- K TENNIS COURTS / PICKLE BALL
- L CART STAGING
- M INDOOR CART STORAGE
- N MAINTENANCE YARD
- O PARKING AREA INGRESS - EGRESS
- P VIP CLUBHOUSE
- Q PARKING LOTS (SEE TABLE SHEET C2-D)
- R HANDICAP PARKING
- S OVERFLOW PARKING
- T RESORT SPA TUB
- U RV RESTROOM / SHOWER / LAUNDRY FACILITIES
- V EXISTING DRAINAGE WAY
- W EXISTING POND
- X EXISTING PUMP HOUSE
- Y TEMPORARY RV CHECK IN STAGING AREA
- Z GUEST INGRESS / EGRESS



Cut/Fill Summary

Name	Cut Factor	Fill Factor	30 Area	Cut	Fill	Vol
RD # 23 EAST	1.000	1.000	820211.45 Sq. Ft.	12029.48 Cu. Yd.	18289.23 Cu. Yd.	15274.38 Cu. Yd. (45111)A
RD # 23 Westside	1.000	1.000	862211.47 Sq. Ft.	24944.21 Cu. Yd.	28511.84 Cu. Yd.	1148.22 Cu. Yd. (45111)A
Totals			1682322.92 Sq. Ft.	47983.69 Cu. Yd.	46801.07 Cu. Yd.	46801.07 Cu. Yd. (45111)A

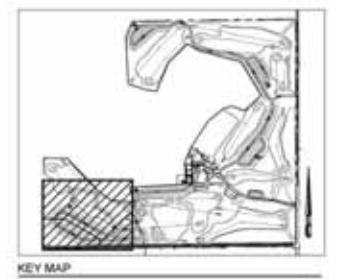
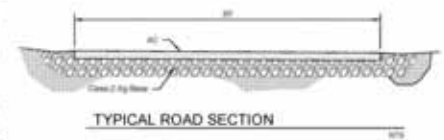
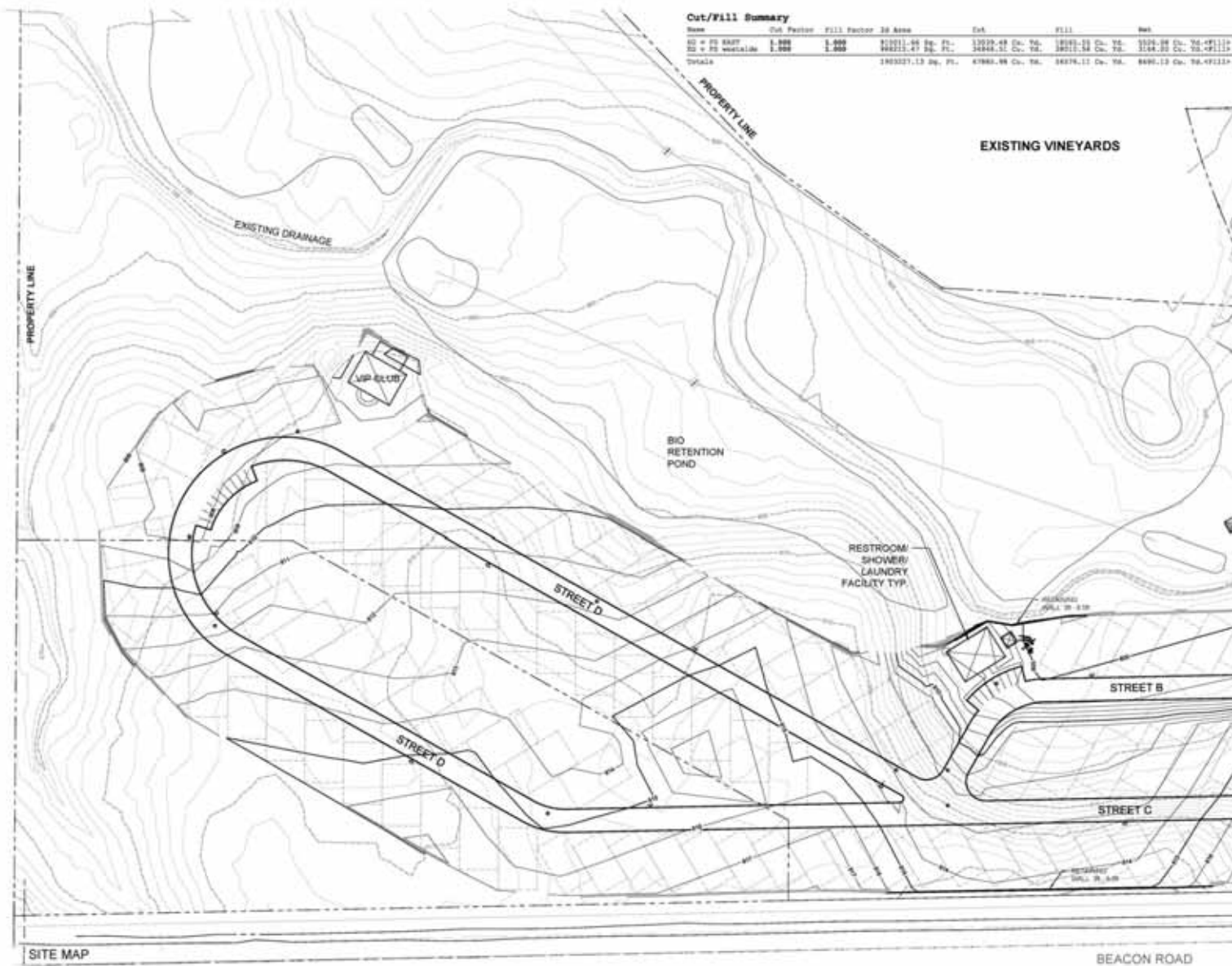


Exhibit F-2

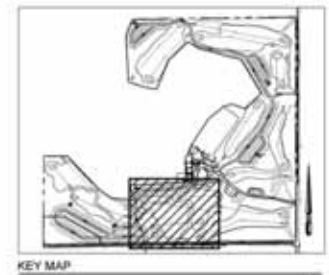
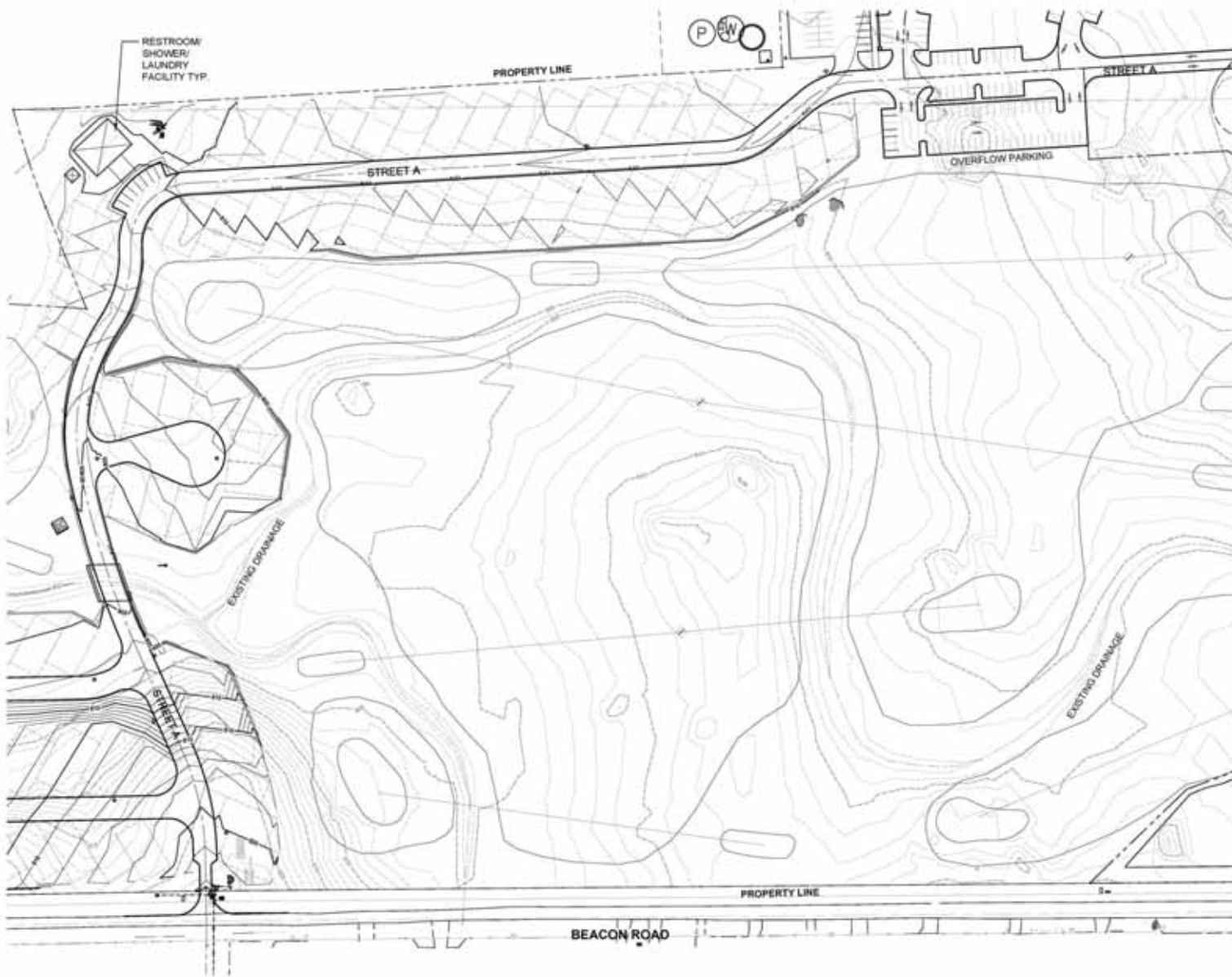


Exhibit F-3

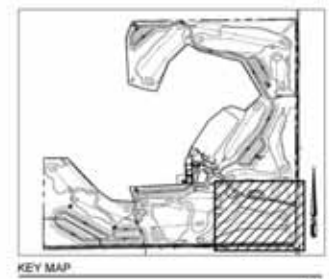
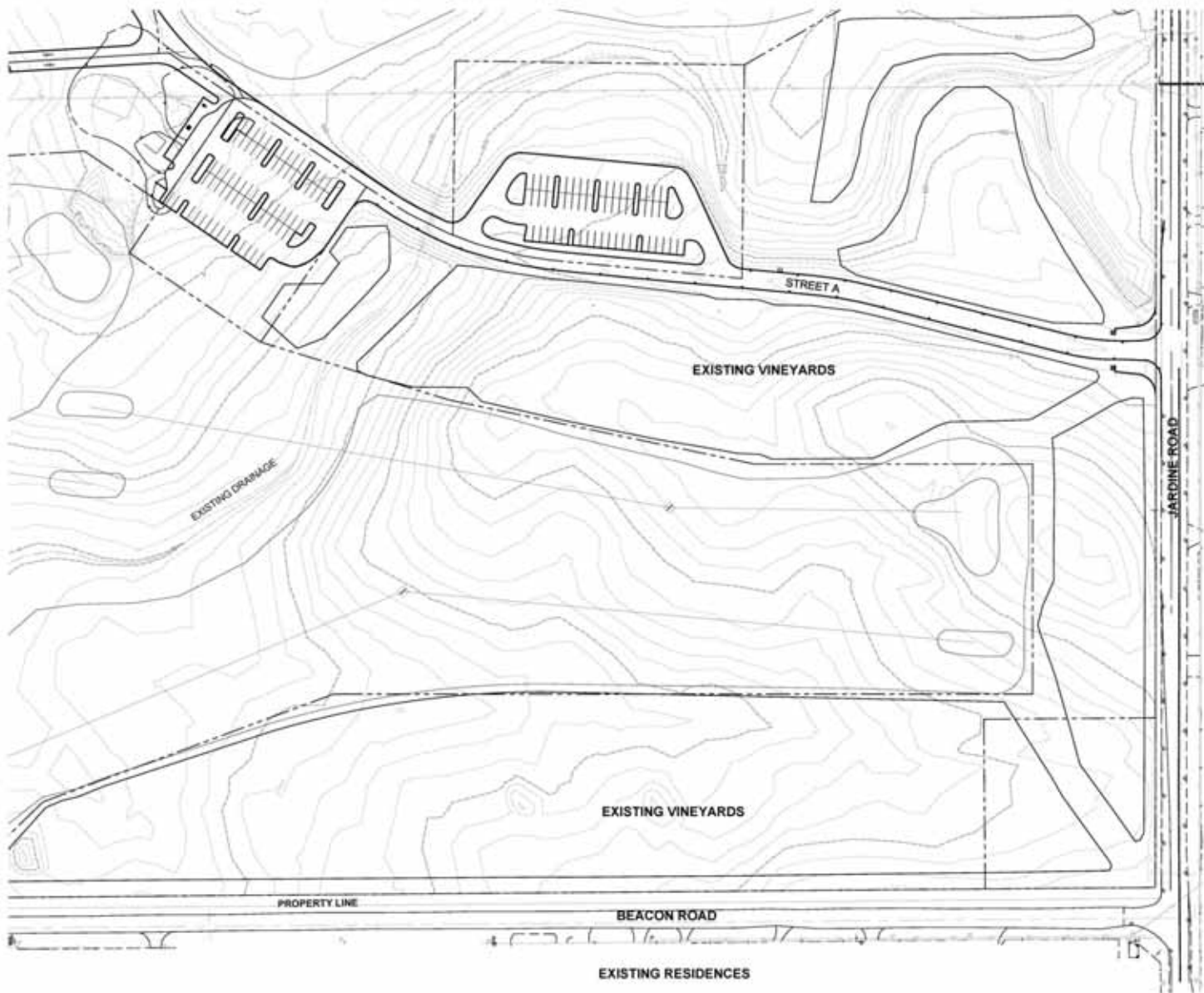


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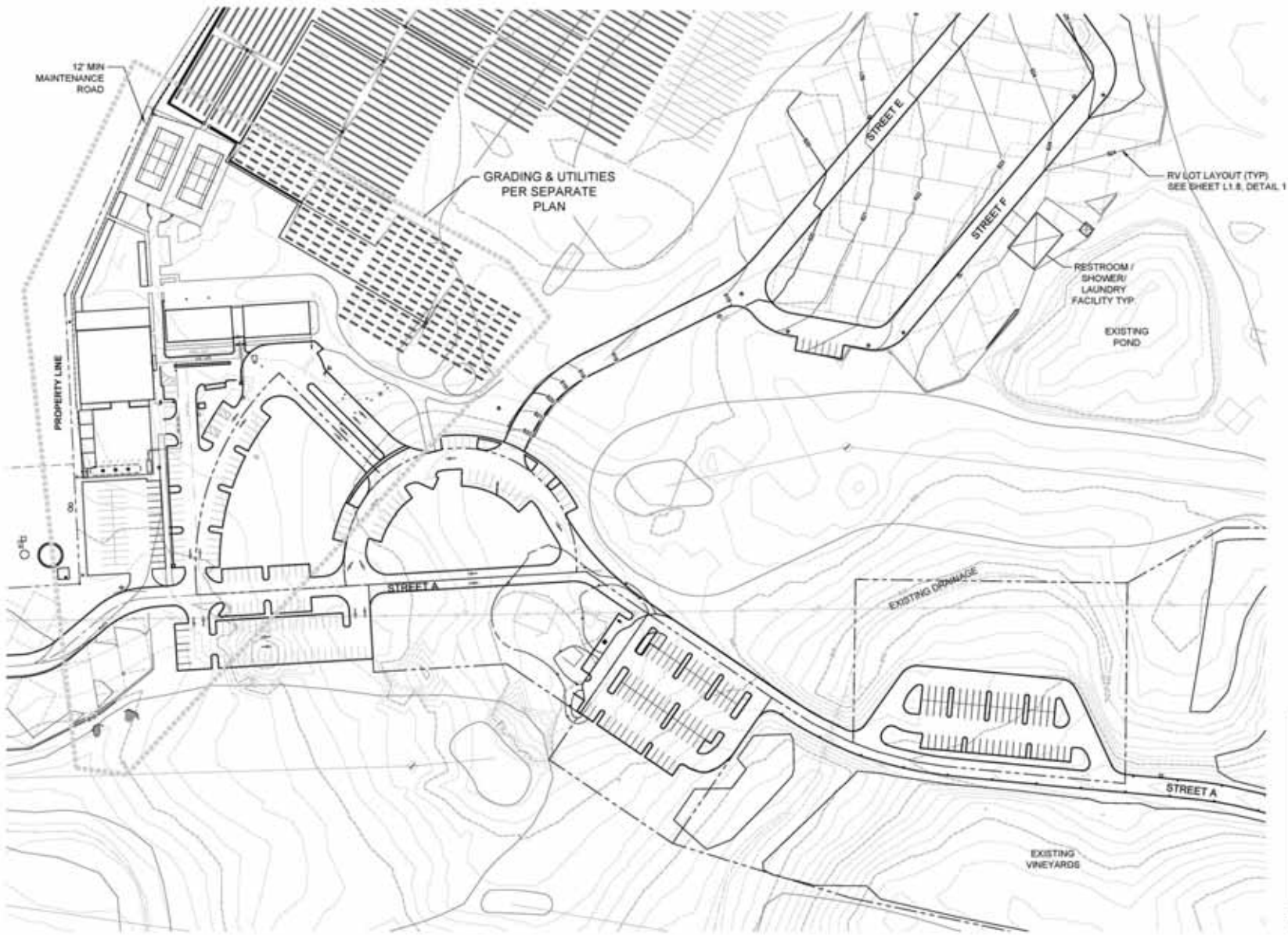


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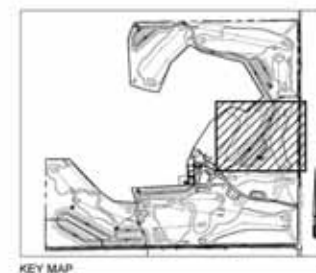


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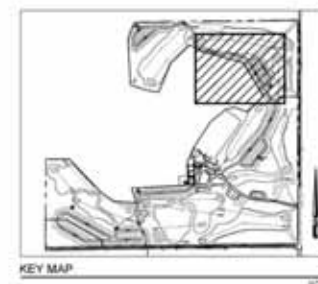


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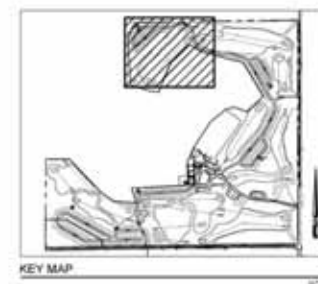
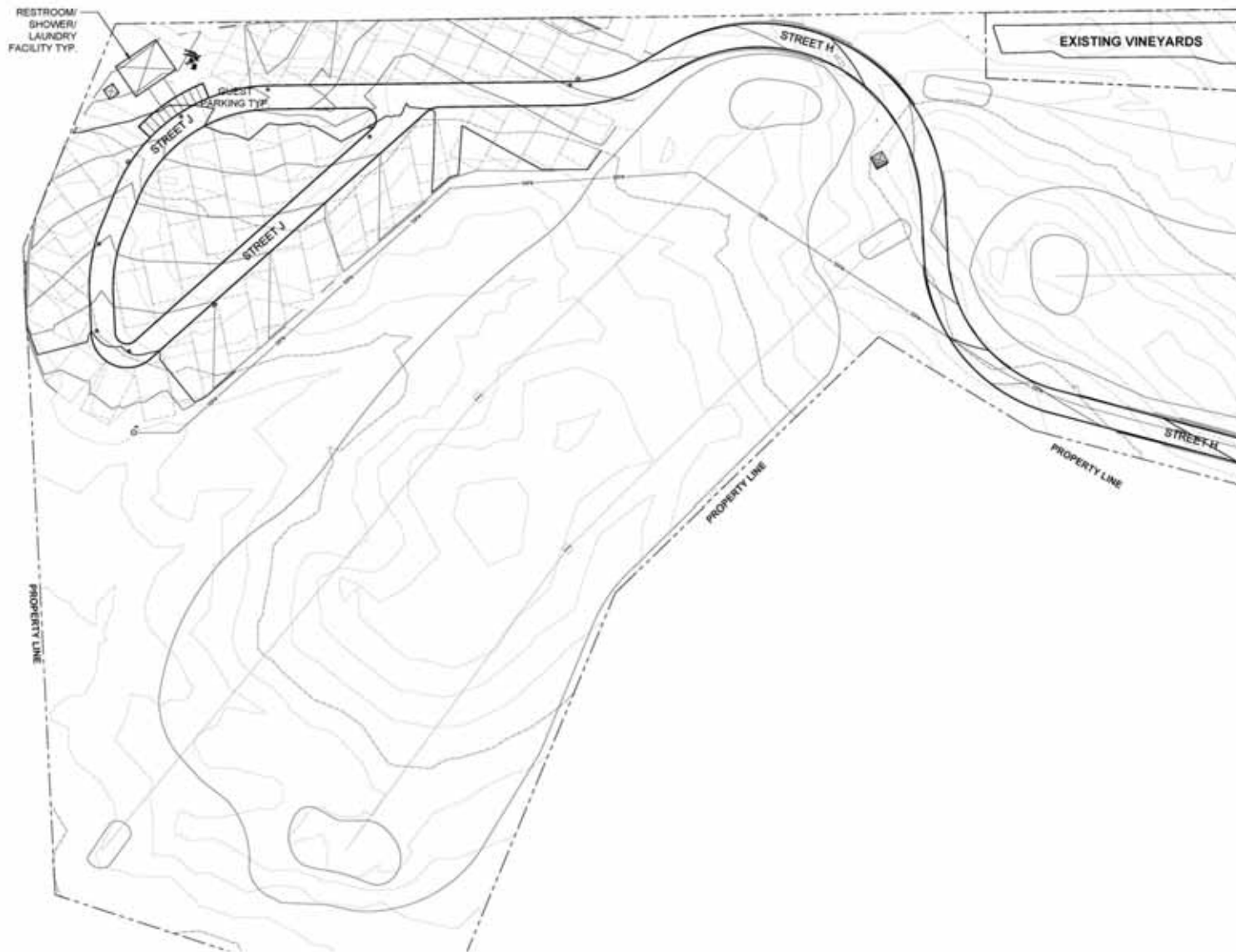
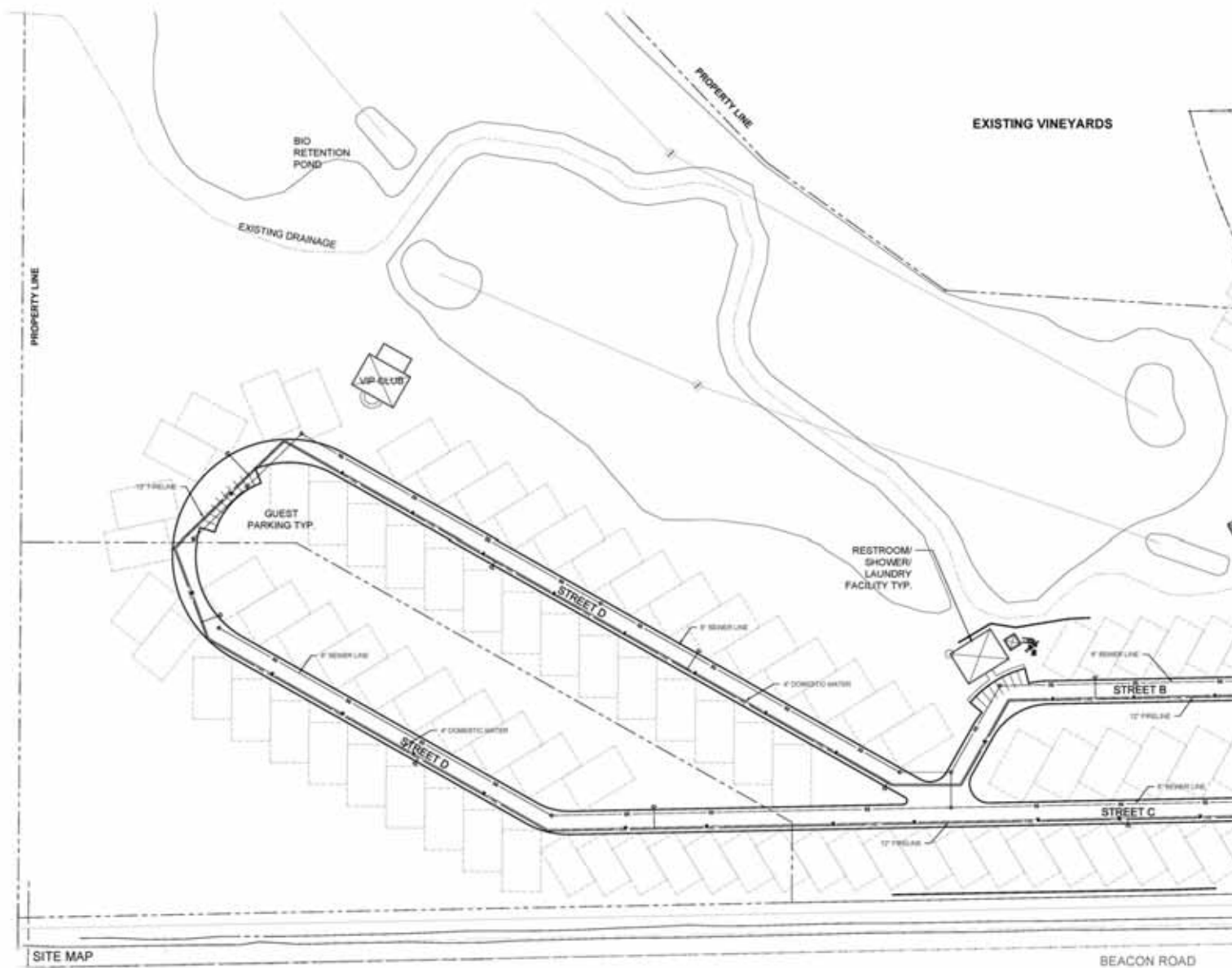


Exhibit G-1



Legend

- Waterline
- Fireline
- Sewer
- Storm Drain Pipe
- Sanitary Force Main
- Fire Hydrant
- Manhole

NOTE:
UTILITY SIZE AND ROUTING ARE
CONCEPTUAL. FINAL SIZES AND ROUTING TO
BE DETERMINED DURING DESIGN FOR
INDIVIDUAL COMMERCIAL LOTS TO BE
DEVELOPED AT THE TIME OF PERMITTING
AND DEVELOPMENT.

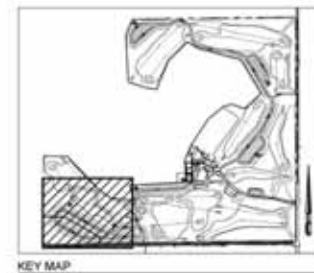
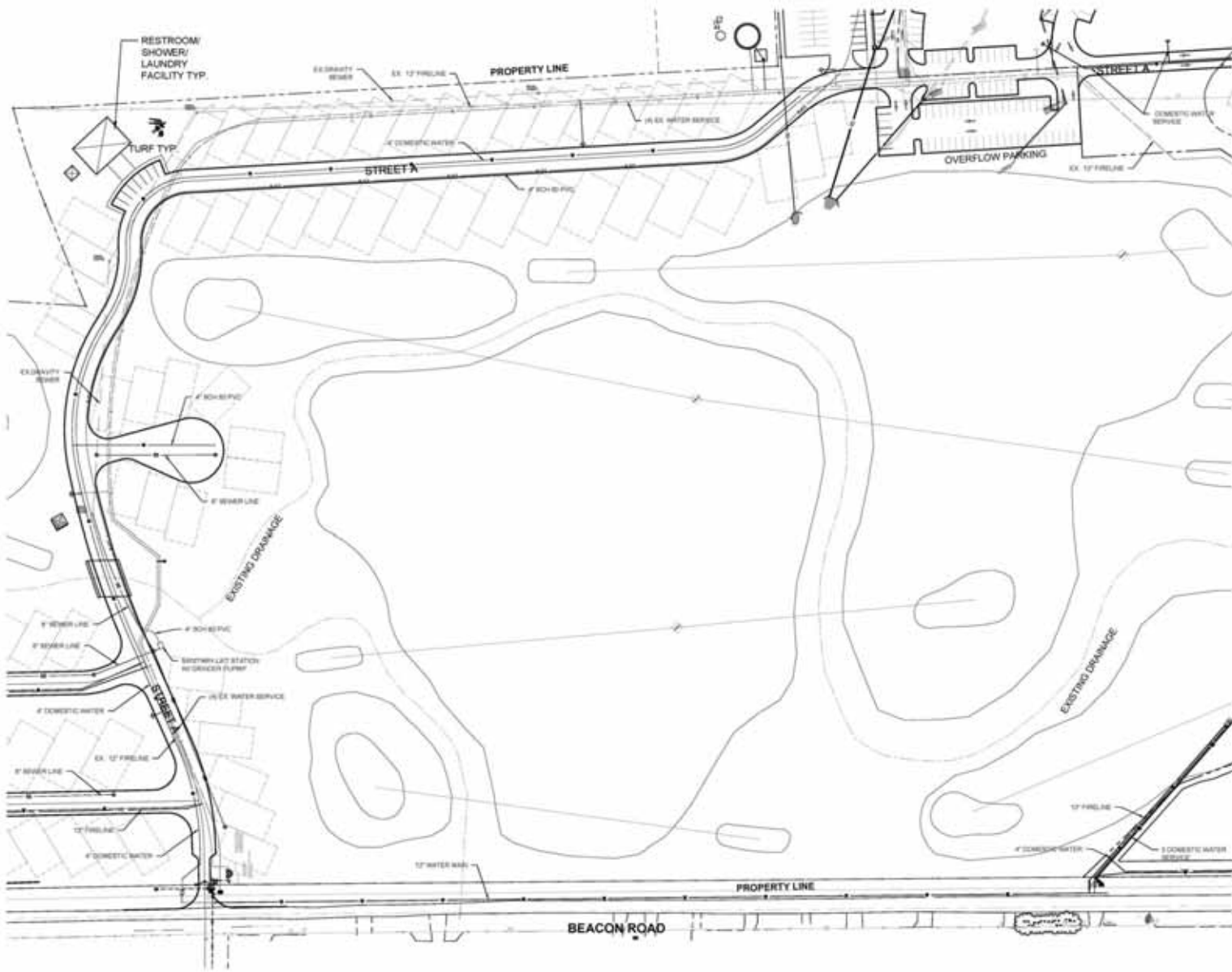









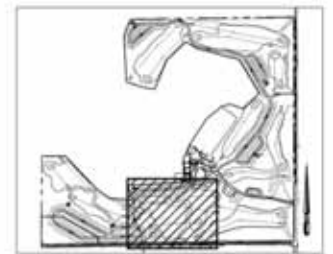
Exhibit G-2



Legend

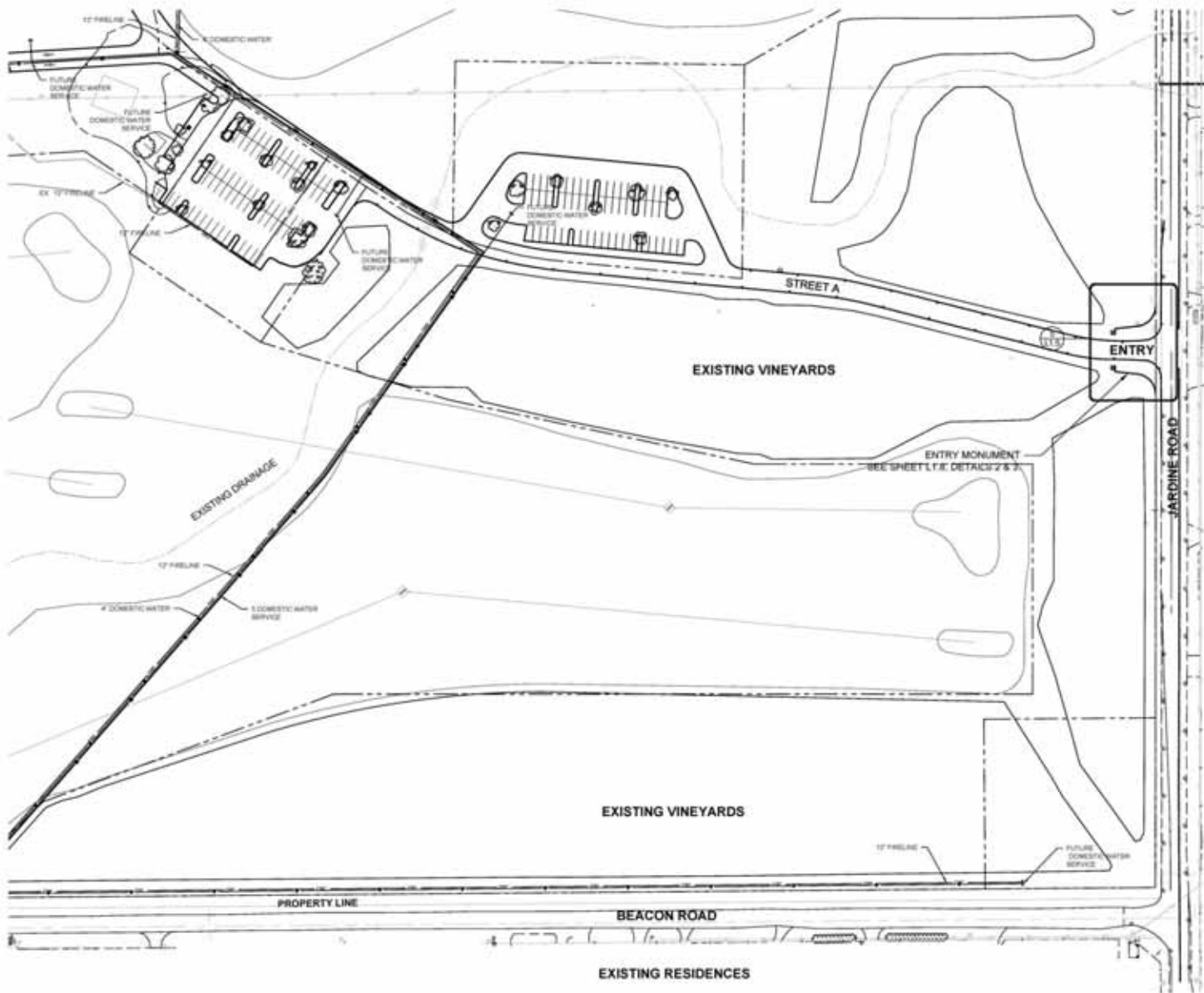
-  Waterline
-  Fireline
-  Sewer
-  Storm Drain Pipe
-  Sanitary Force Main
-  Fire Hydrant
-  Manhole

NOTE:
UTILITY SIZE AND ROUTING ARE
CONCEPTUAL. FINAL SIZES AND ROUTING TO
BE DETERMINED. SEEING DESIGN FOR
INDIVIDUAL COMMERCIAL LOTS TO BE
PERFORMED AT THE TIME OF PERMITTING
AND DEVELOPMENT.



KEY MAP

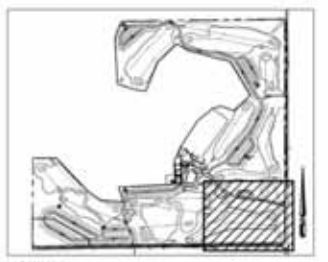
Exhibit G-3



Legend

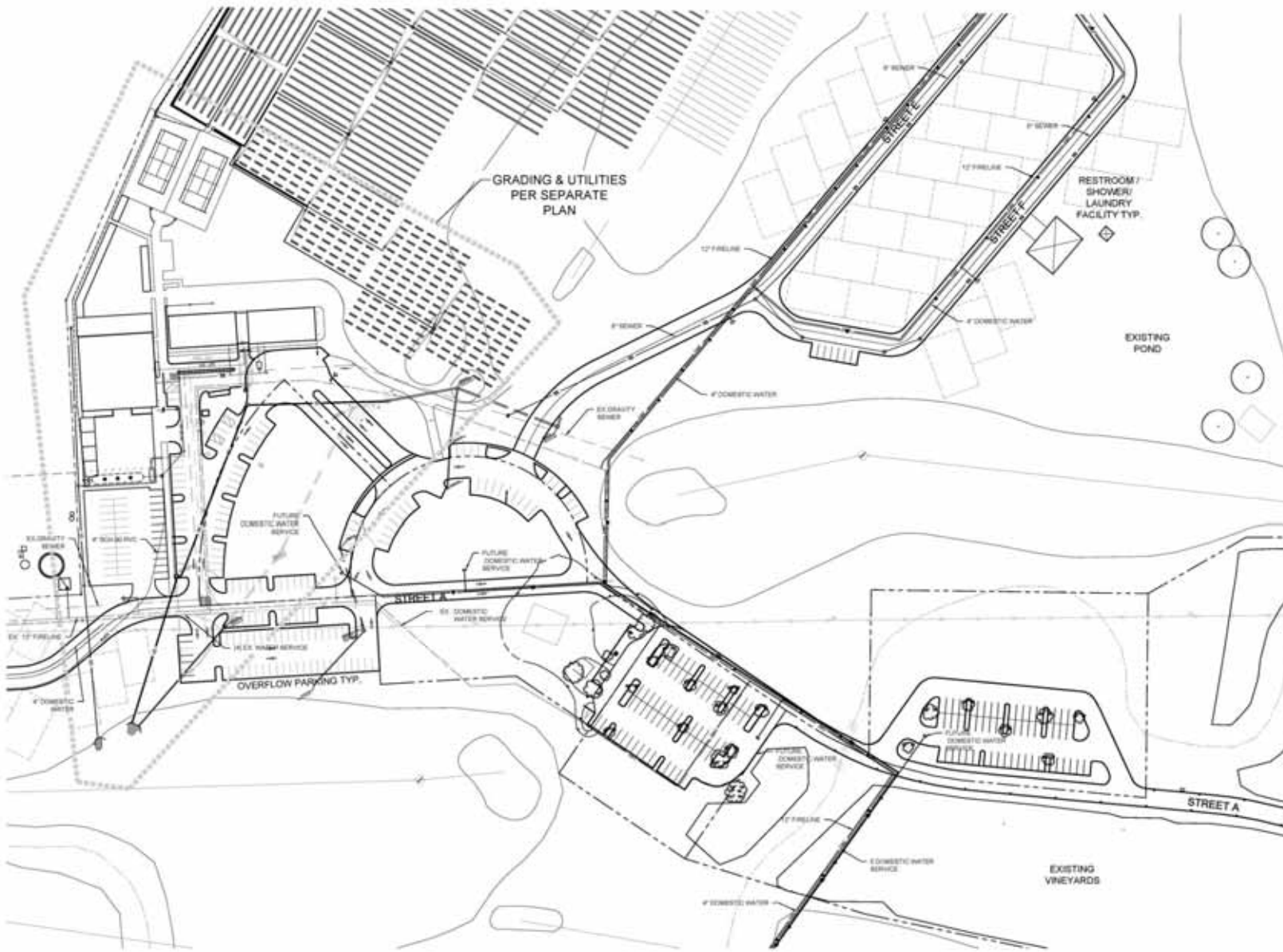
	Waterline
	Fireline
	Sewer
	Storm Drain Pipe
	Sanitary Force Main
	Fire Hydrant
	Manhole

NOTE:
 UTILITY SIZE AND ROUTING ARE CONCEPTUAL. FINAL SIZES AND ROUTING TO BE DETERMINED. SEEING DESIGN FOR INDIVIDUAL COMMERCIAL LOTS TO BE SUBMITTED AT THE TIME OF PERMITTING AND DEVELOPMENT.










KEY MAP

Exhibit G-4



Legend

-  Waterline
-  Fireline
-  Sewer
-  Storm Drain Pipe
-  Sanitary Force Main
-  Fire Hydrant
-  Manhole

NOTE:
UTILITY SIZE AND ROUTING ARE
CONCEPTUAL. FINAL SIZES AND ROUTING TO
BE DETERMINED PER SITE DESIGN FOR
INDIVIDUAL COMMERCIAL LOTS TO BE
DETERMINED AT THE TIME OF PERMITTING
AND DEVELOPMENT.

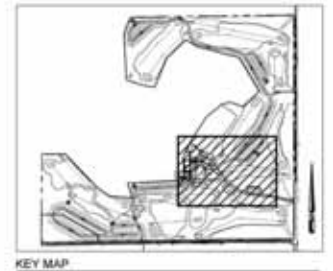
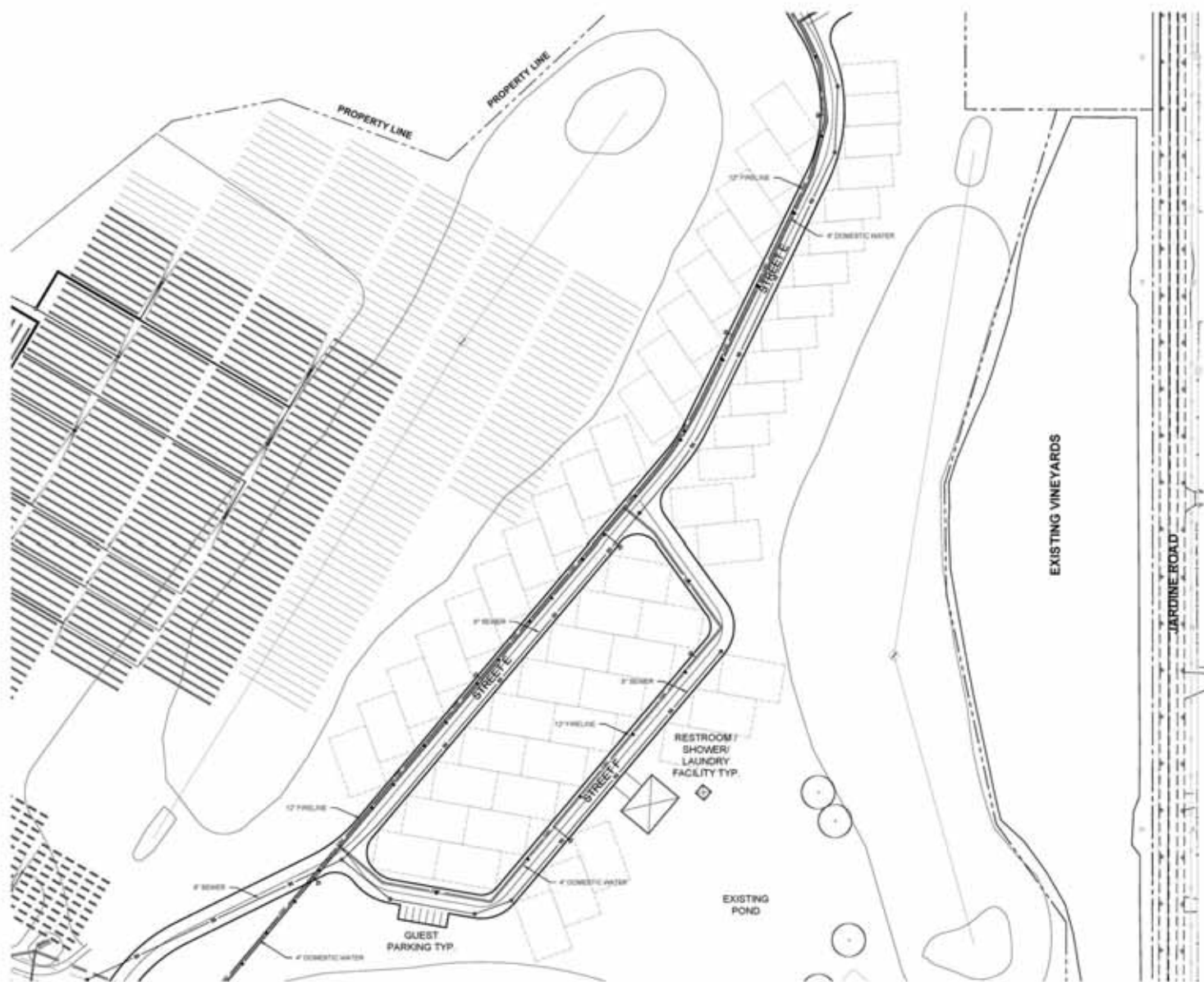


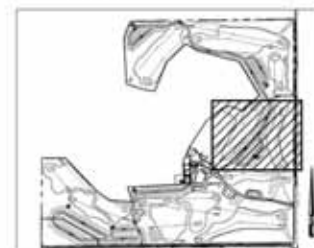
Exhibit G-5



Legend

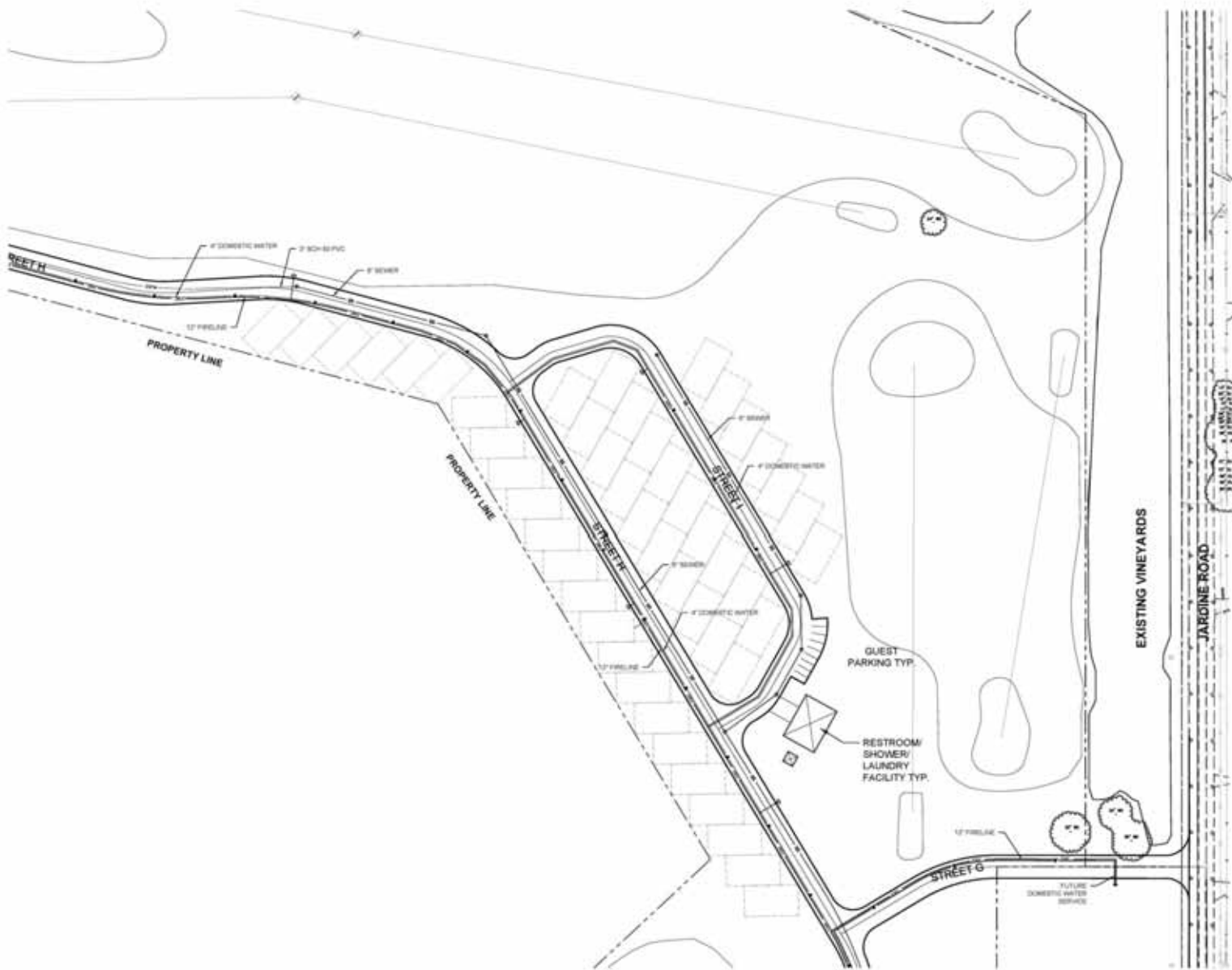
- Waterline
- Fireline
- Sewer
- Storm Drain Pipe
- Sanitary Force Main
- Fire Hydrant
- Manhole

NOTE:
UTILITY SIZE AND ROUTING ARE
CONCEPTUAL. FINAL SIZES AND ROUTING TO
BE DETERMINED. SEEING DESIGN FOR
INDIVIDUAL COMMERCIAL LOTS TO BE
PERFORMED AT THE TIME OF PERMITTING
AND DEVELOPMENT.



KEY MAP

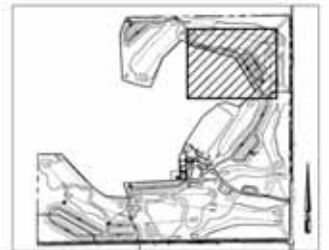
Exhibit G-6



Legend

- Waterline
- Fireline
- Sewer
- Storm Drain Pipe
- Sanitary Force Main
- Fire Hydrant
- Manhole

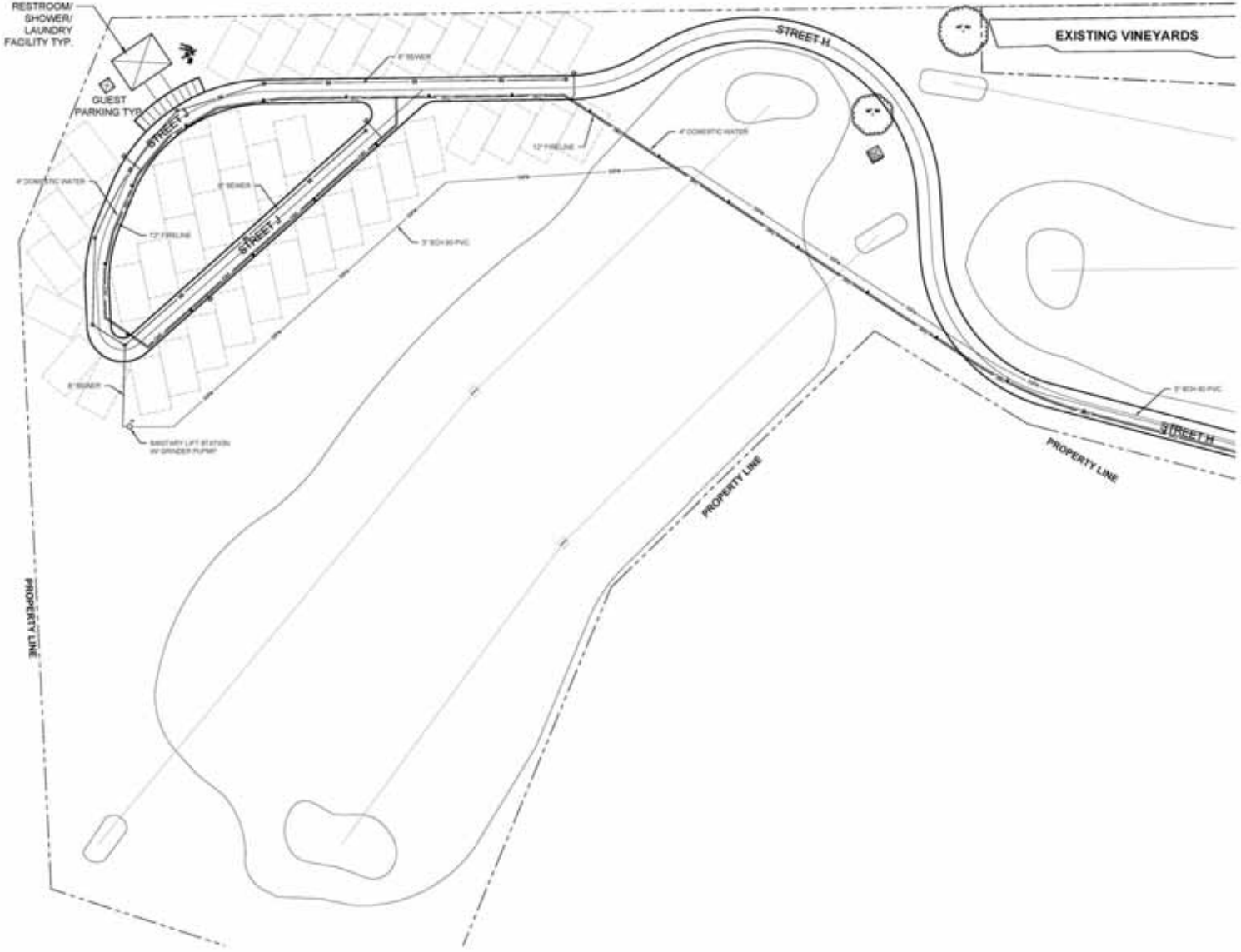
NOTE:
UTILITY SIZE AND ROUTING ARE
CONCEPTUAL. FINAL SIZES AND ROUTING TO
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INDIVIDUAL COMMERCIAL LOTS TO BE
PERFORMED AT THE TIME OF PERMITTING
AND DEVELOPMENT.



KEY MAP



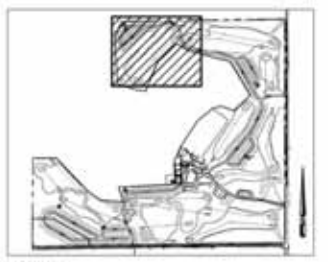
Exhibit G-7



Legend

	Waterline
	Fireline
	Sewer
	Storm Drain Pipe
	Sanitary Force Main
	Fire Hydrant
	Manhole

NOTE:
UTILITY SIZE AND ROUTING ARE
CONCEPTUAL. FINAL SIZES AND ROUTING TO
BE DETERMINED. SLOPE DESIGN FOR
INDIVIDUAL COMMERCIAL LOTS TO BE
PERFORMED AT THE TIME OF PERMITTING
AND DEVELOPMENT.



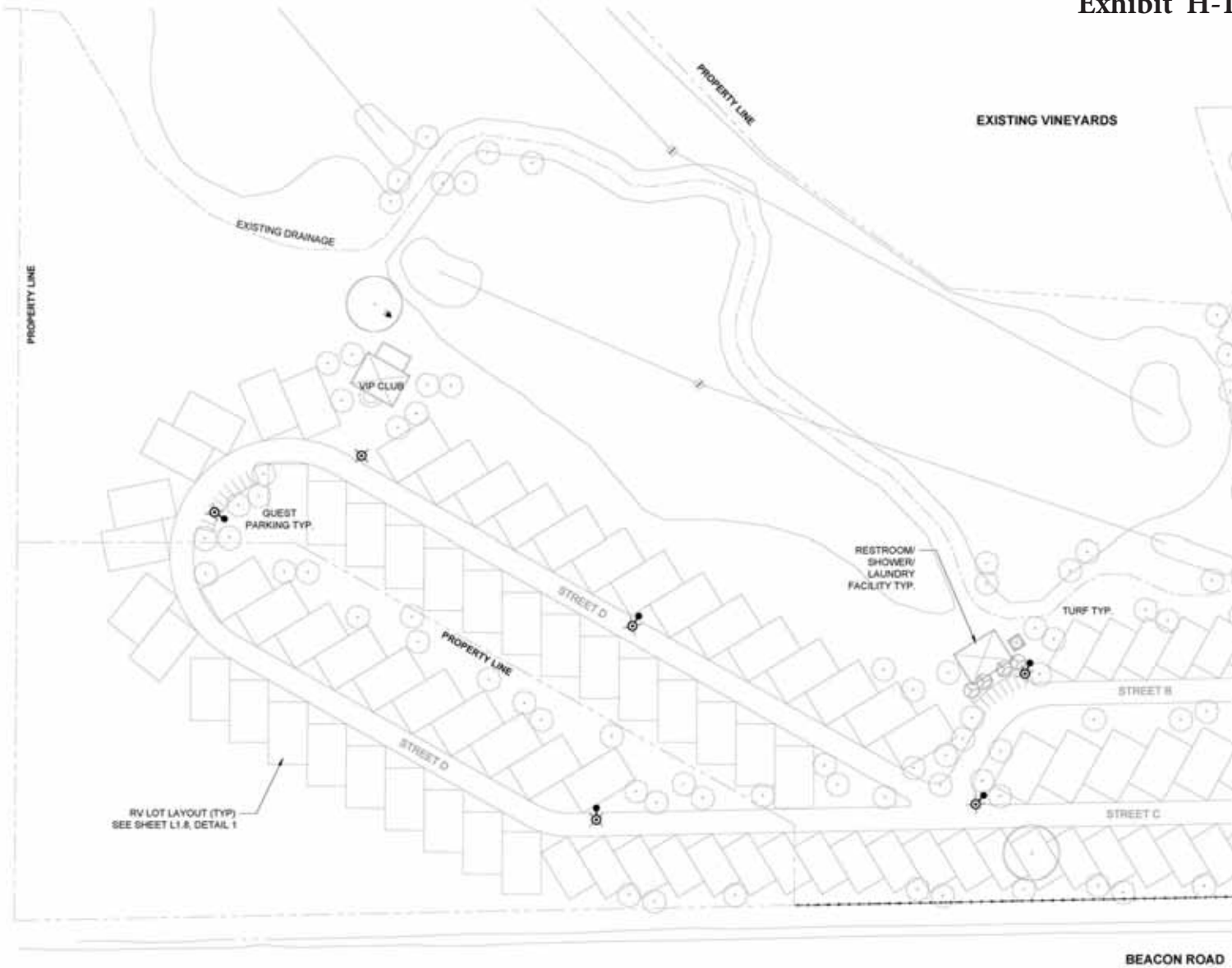
KEY MAP



Exhibit H-1

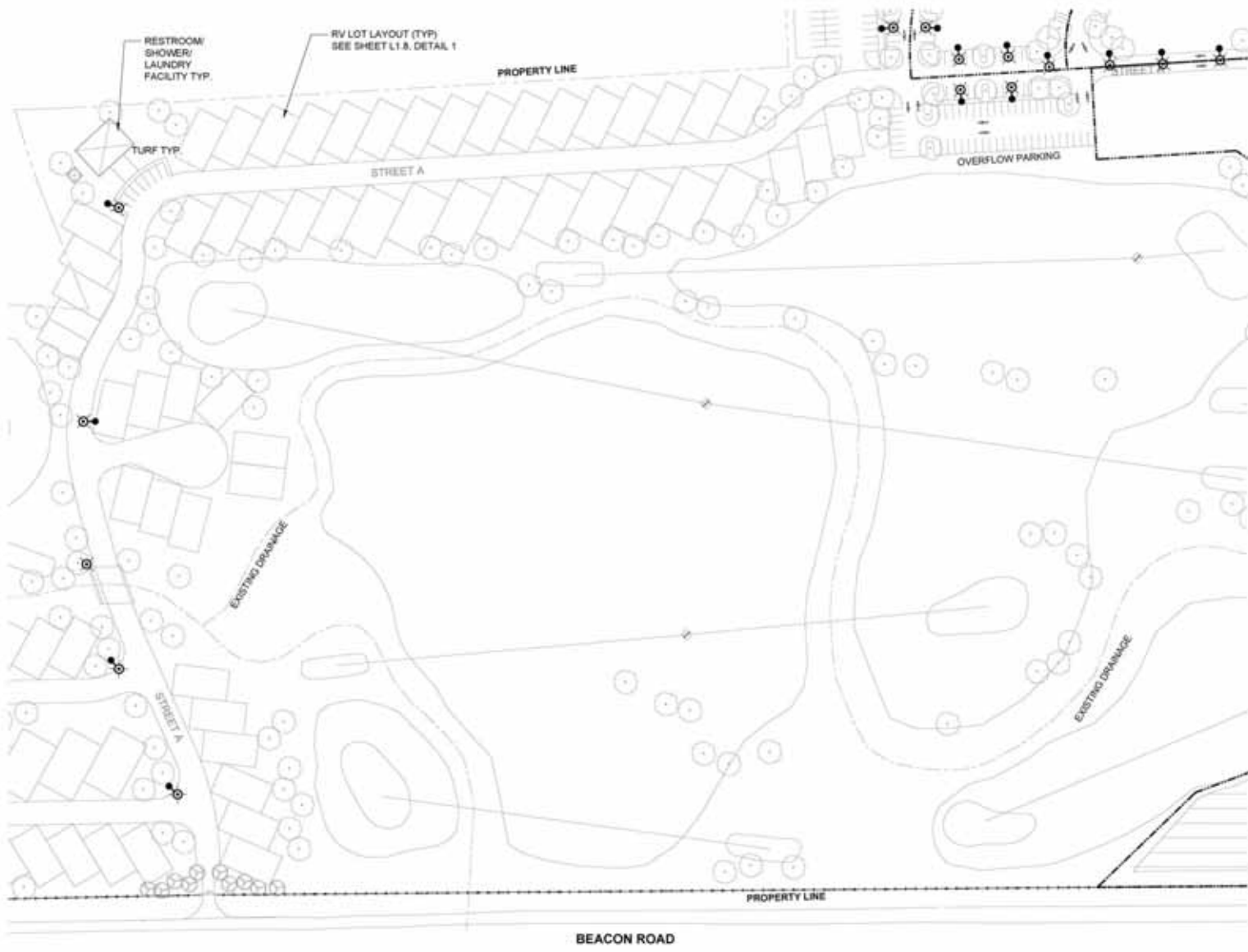
LIGHTING SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
⊗	Recess Light	2	
●	Street Light	10	
⊕	Clear Street Light	4	
←	Van Lighting	7	

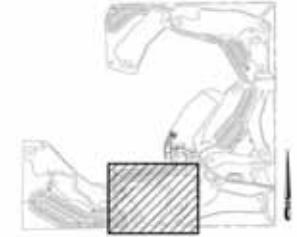


KEY MAP

Exhibit H-2



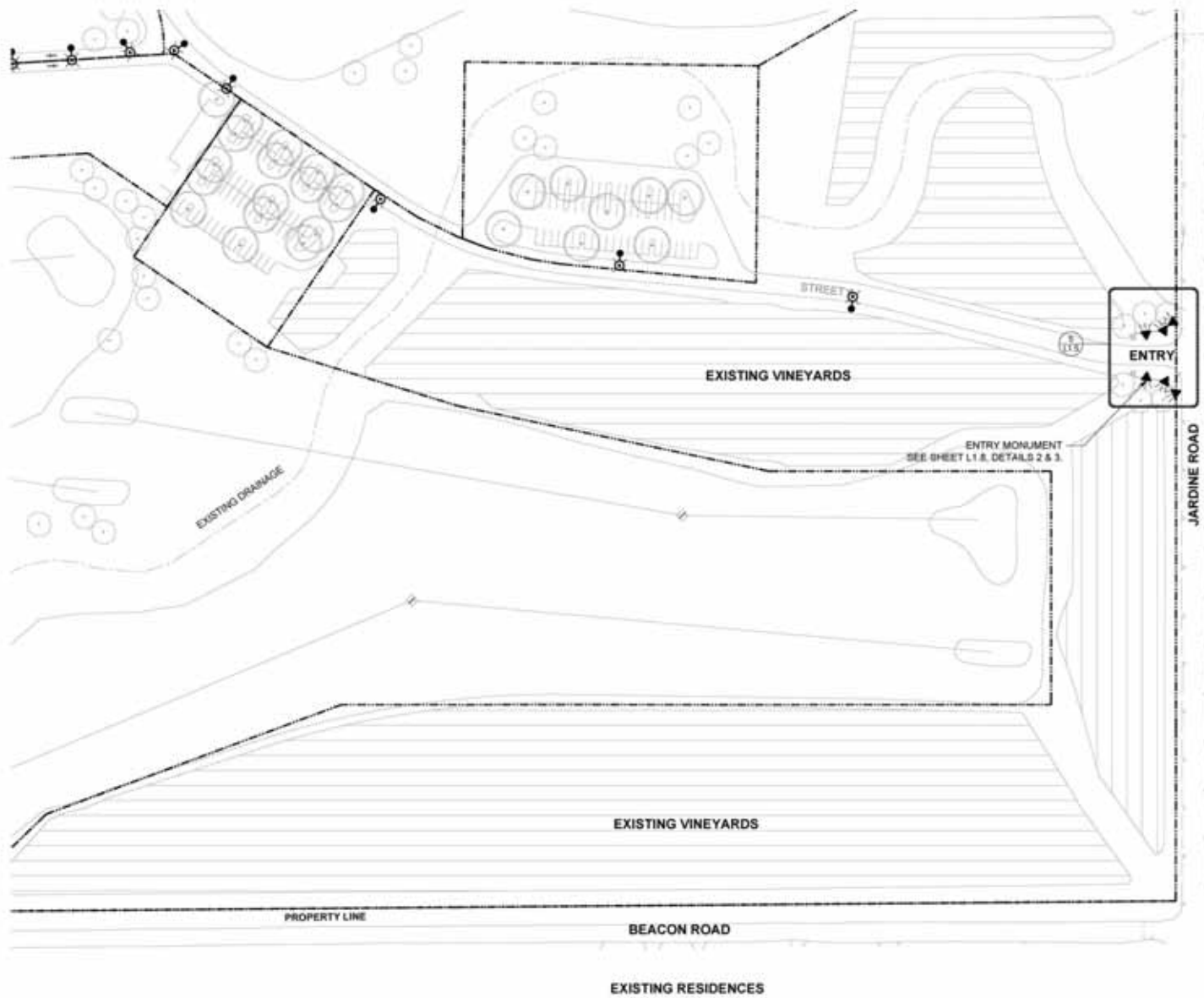
*SEE LIGHTING SCHEDULE ON SHEET E1.1 FOR QUANTITIES



KEY MAP



Exhibit H-3

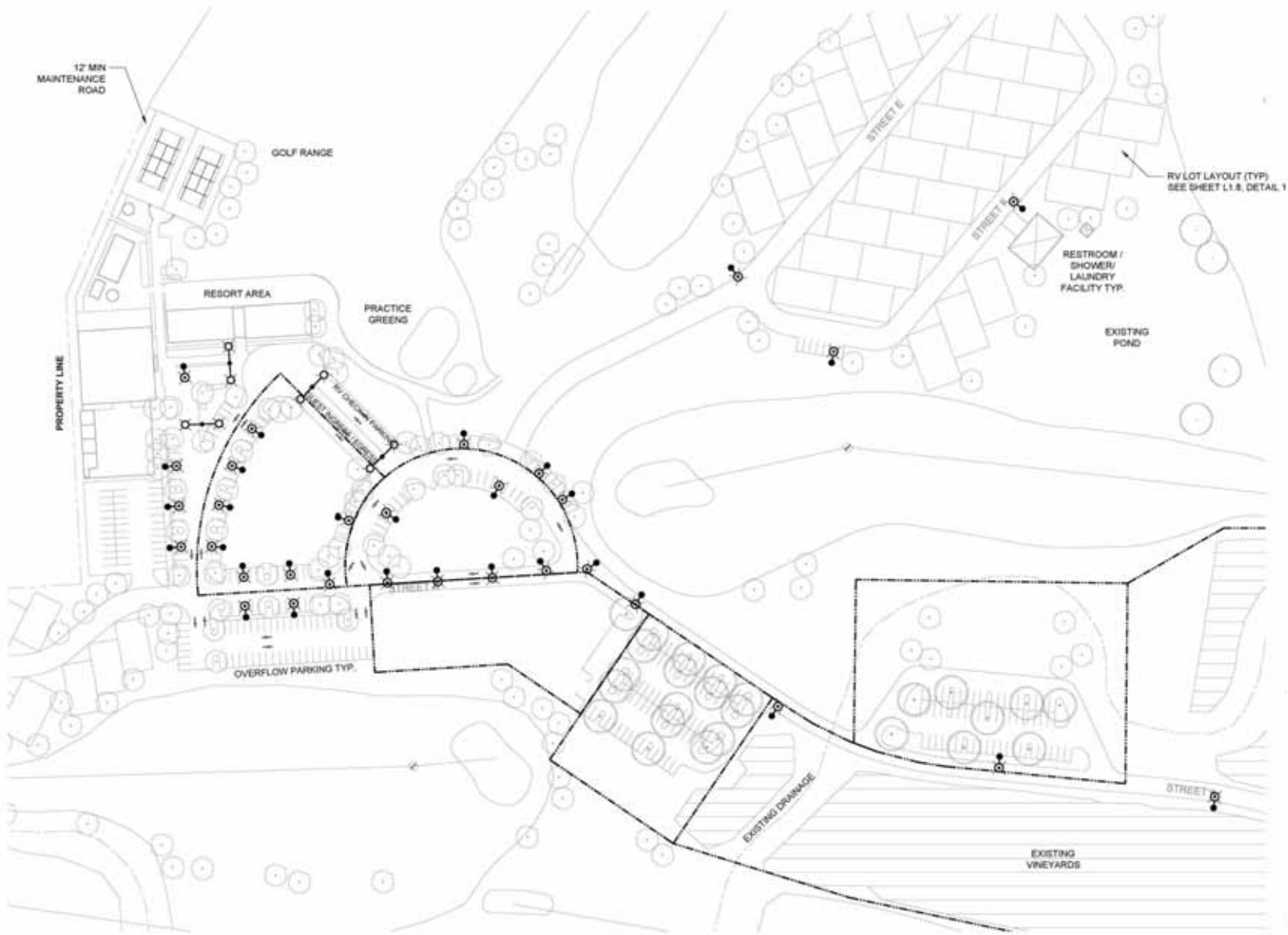


*SEE LIGHTING SCHEDULE ON SHEET E1.1 FOR QUANTITIES



KEY MAP

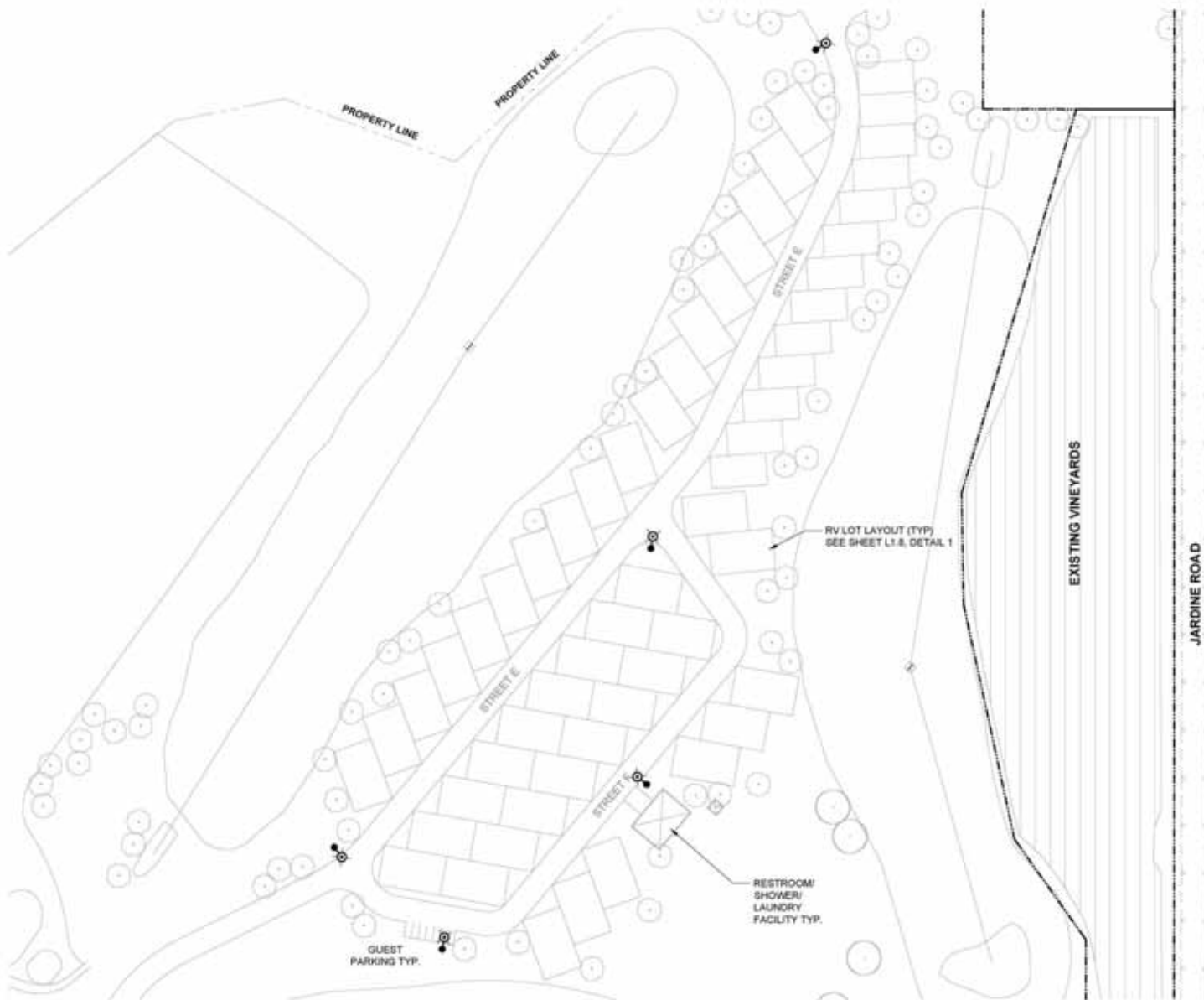
Exhibit H-4



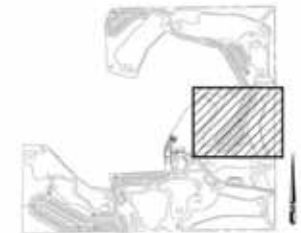
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Exhibit H-5



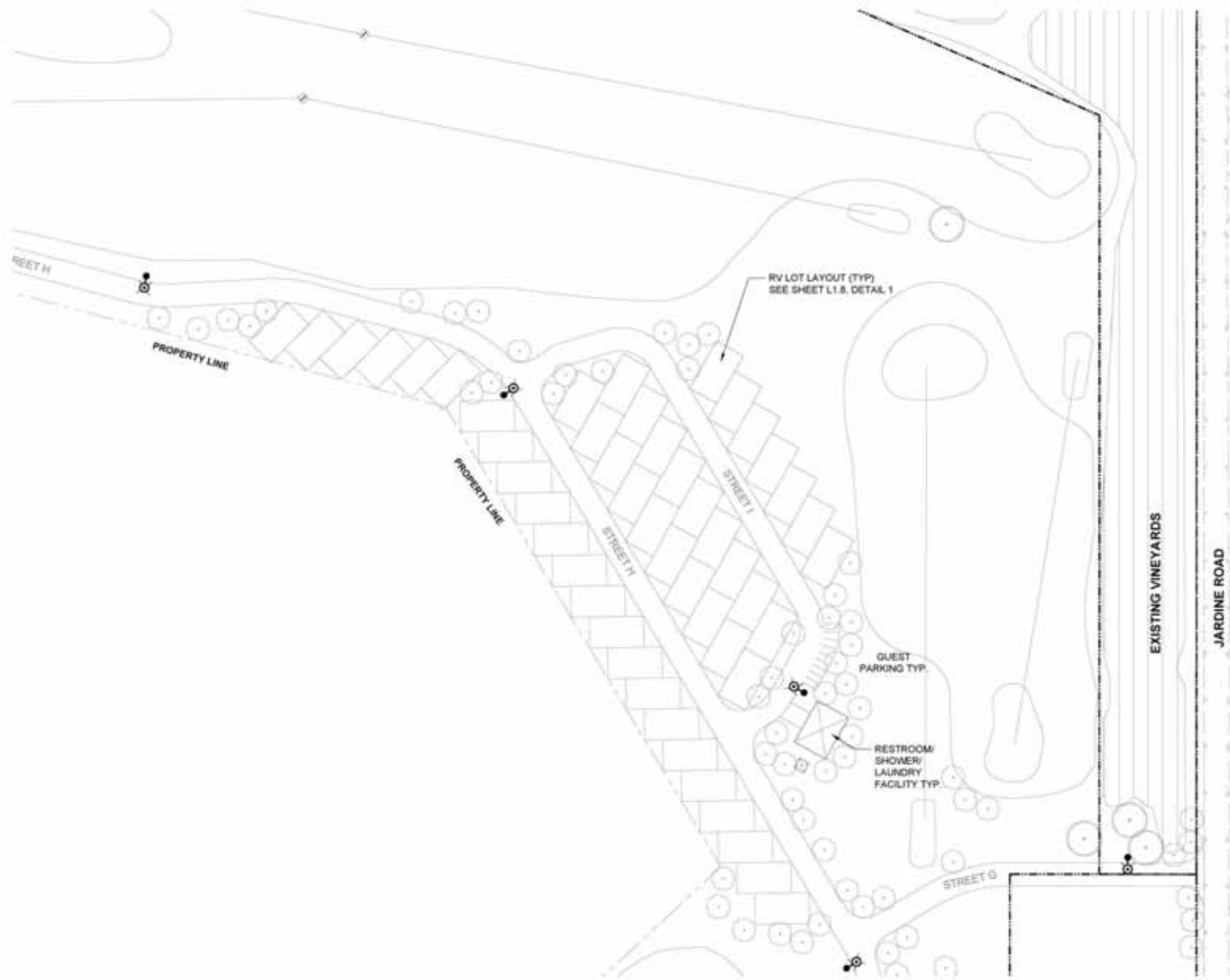
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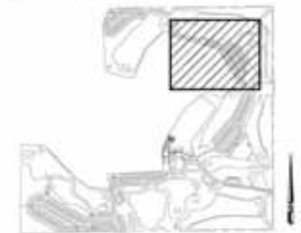
KEY MAP



Exhibit H-6

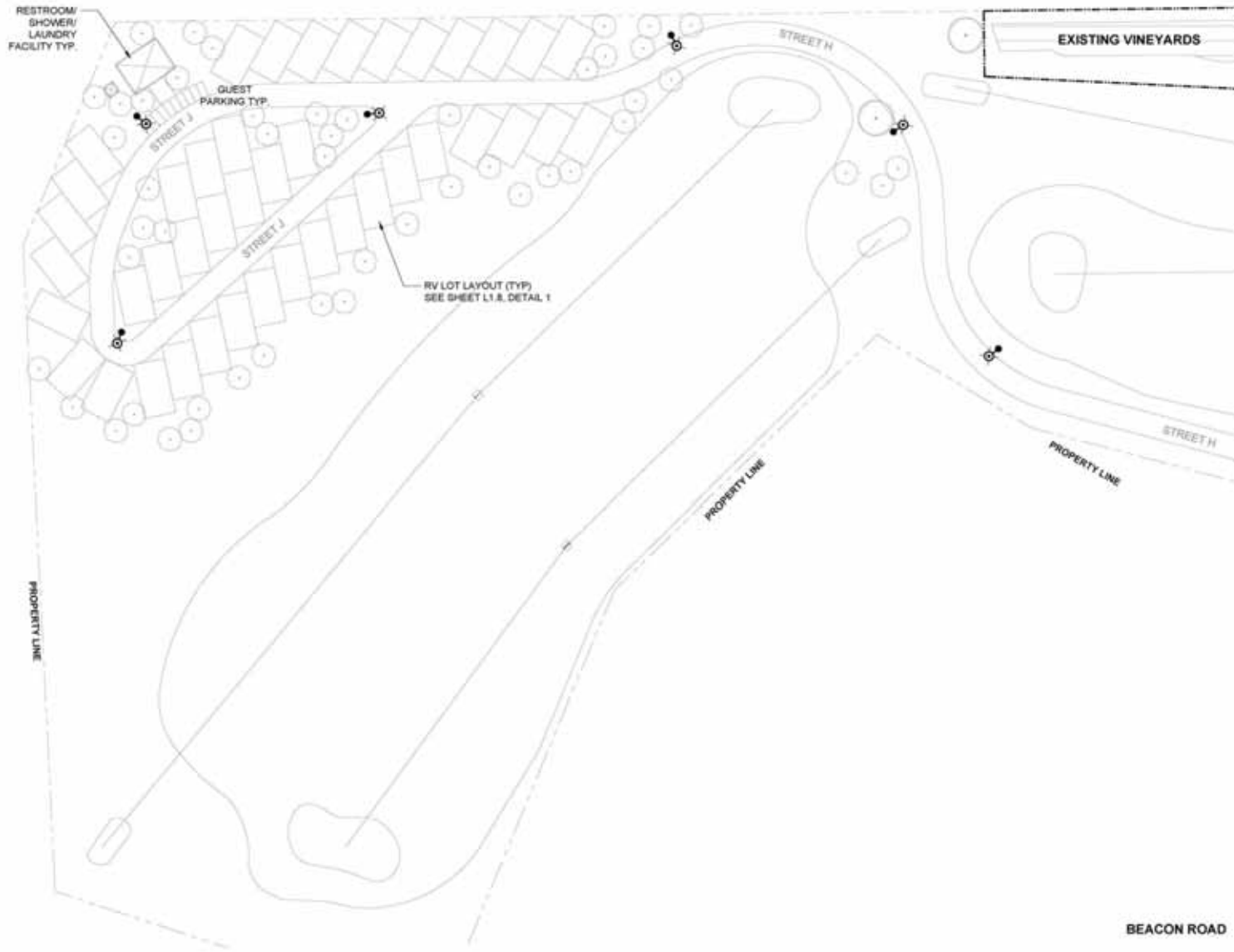


*SEE LIGHTING SCHEDULE ON SHEET E1.1 FOR QUANTITIES

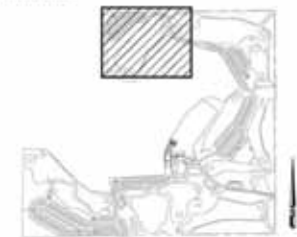


KEY MAP

Exhibit H-6



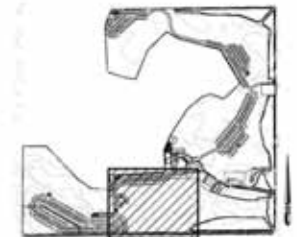
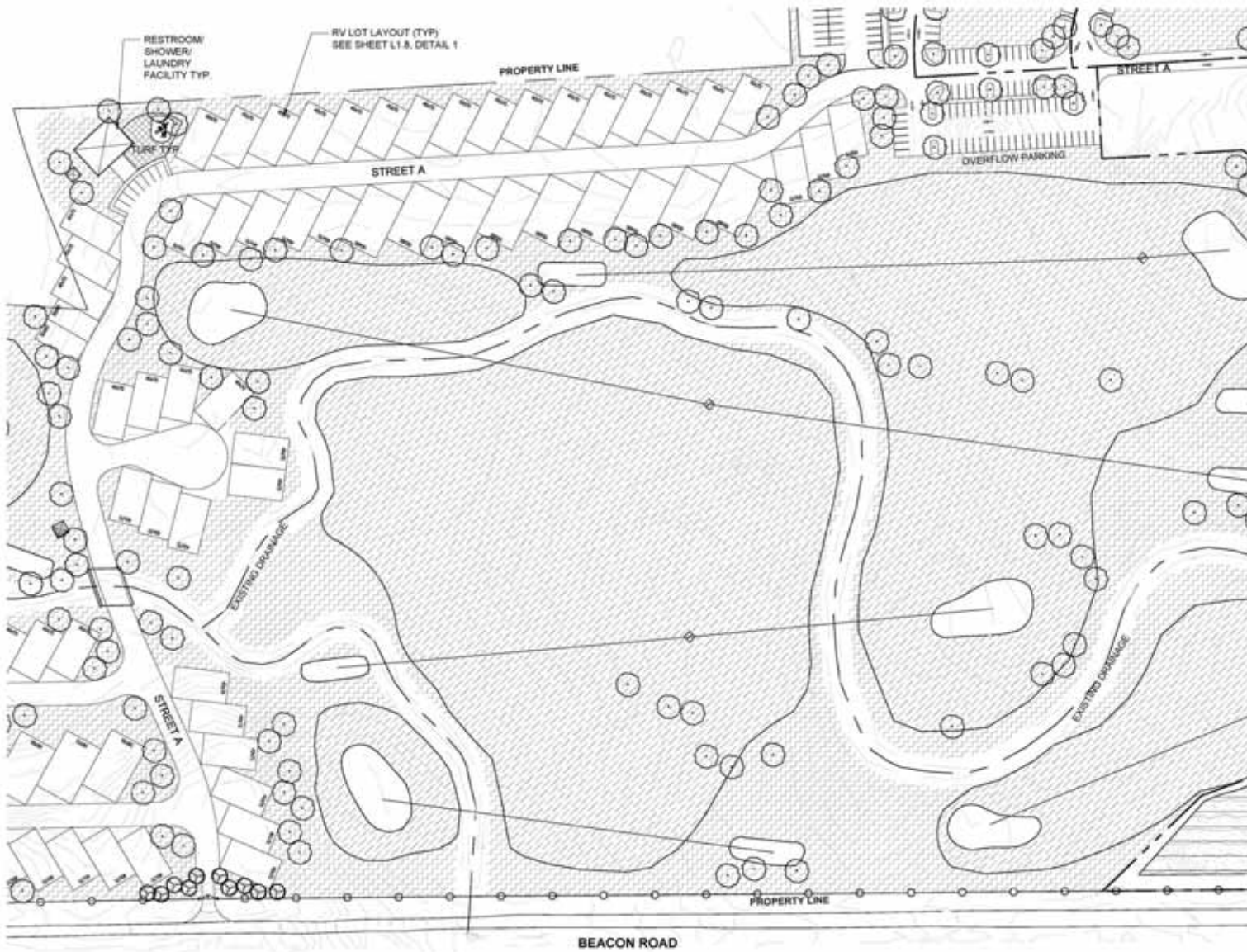
*SEE LIGHTING SCHEDULE ON SHEET E1.1 FOR QUANTITIES



KEY MAP

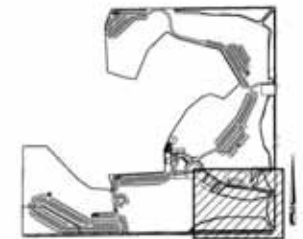
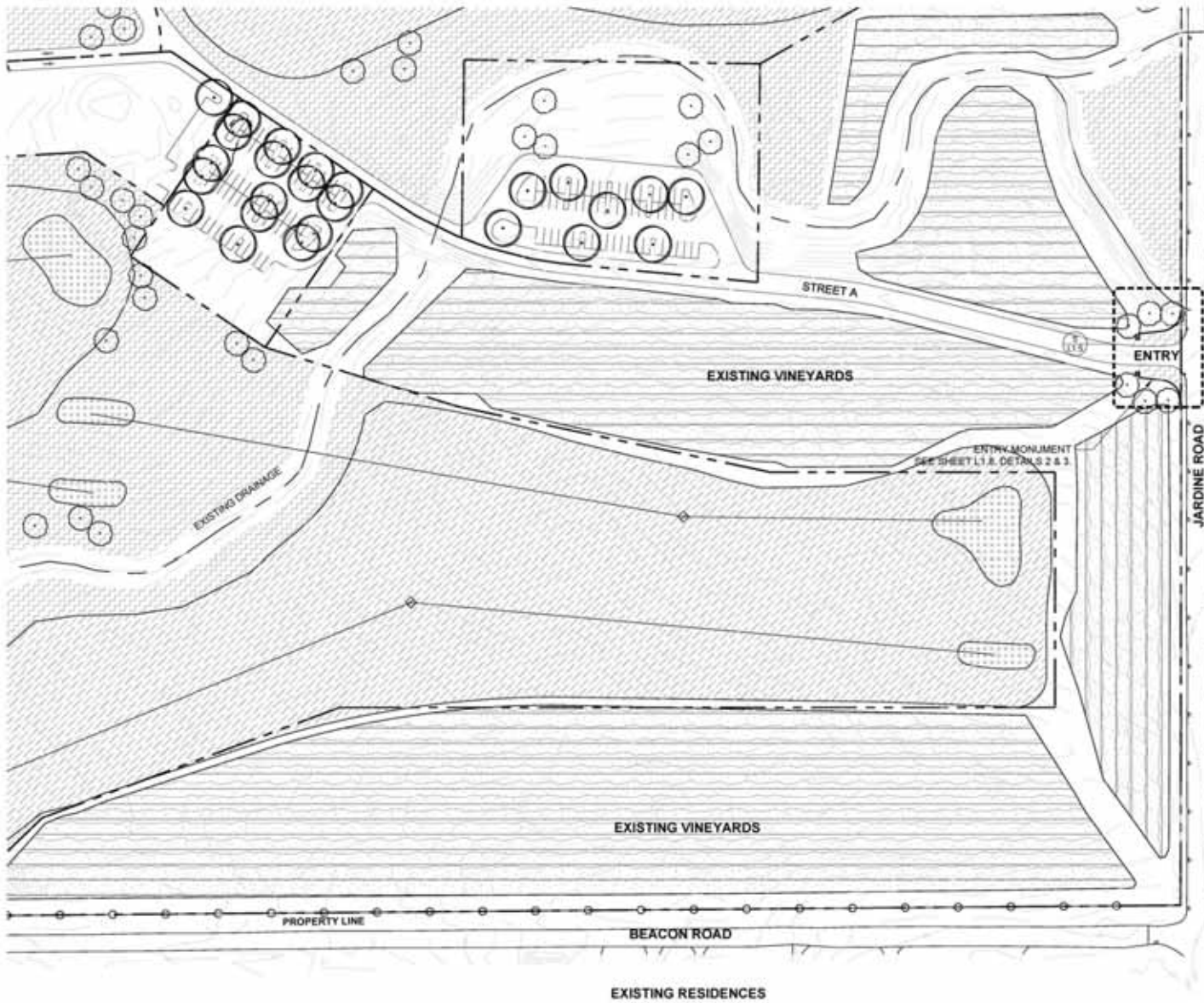


Exhibit I-2



KEY MAP

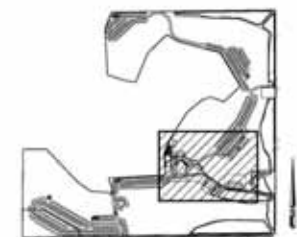
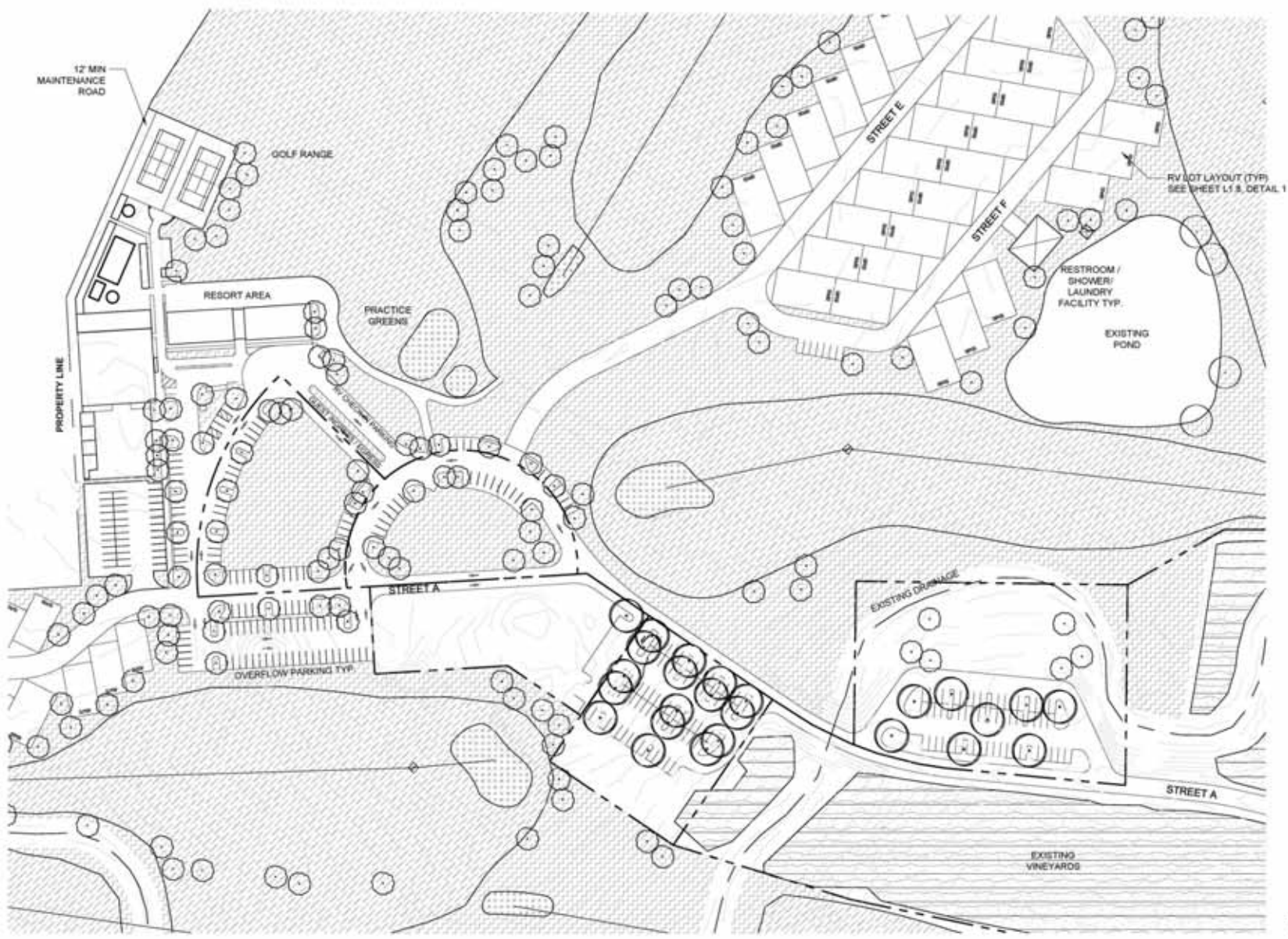
Exhibit I-3



KEY MAP



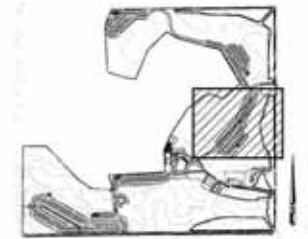
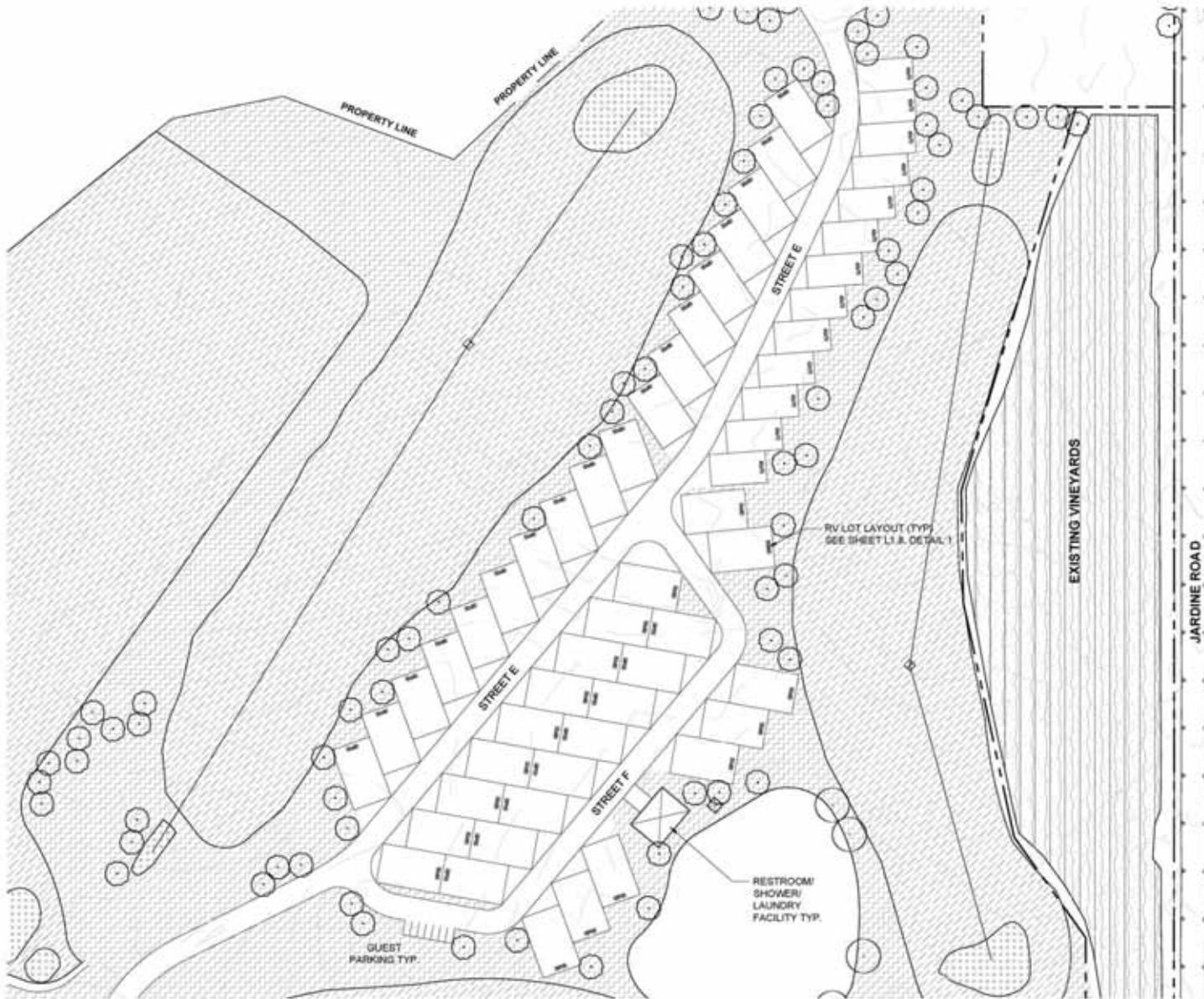
Exhibit I-4



KEY MAP

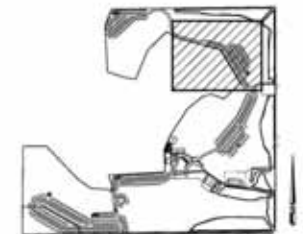
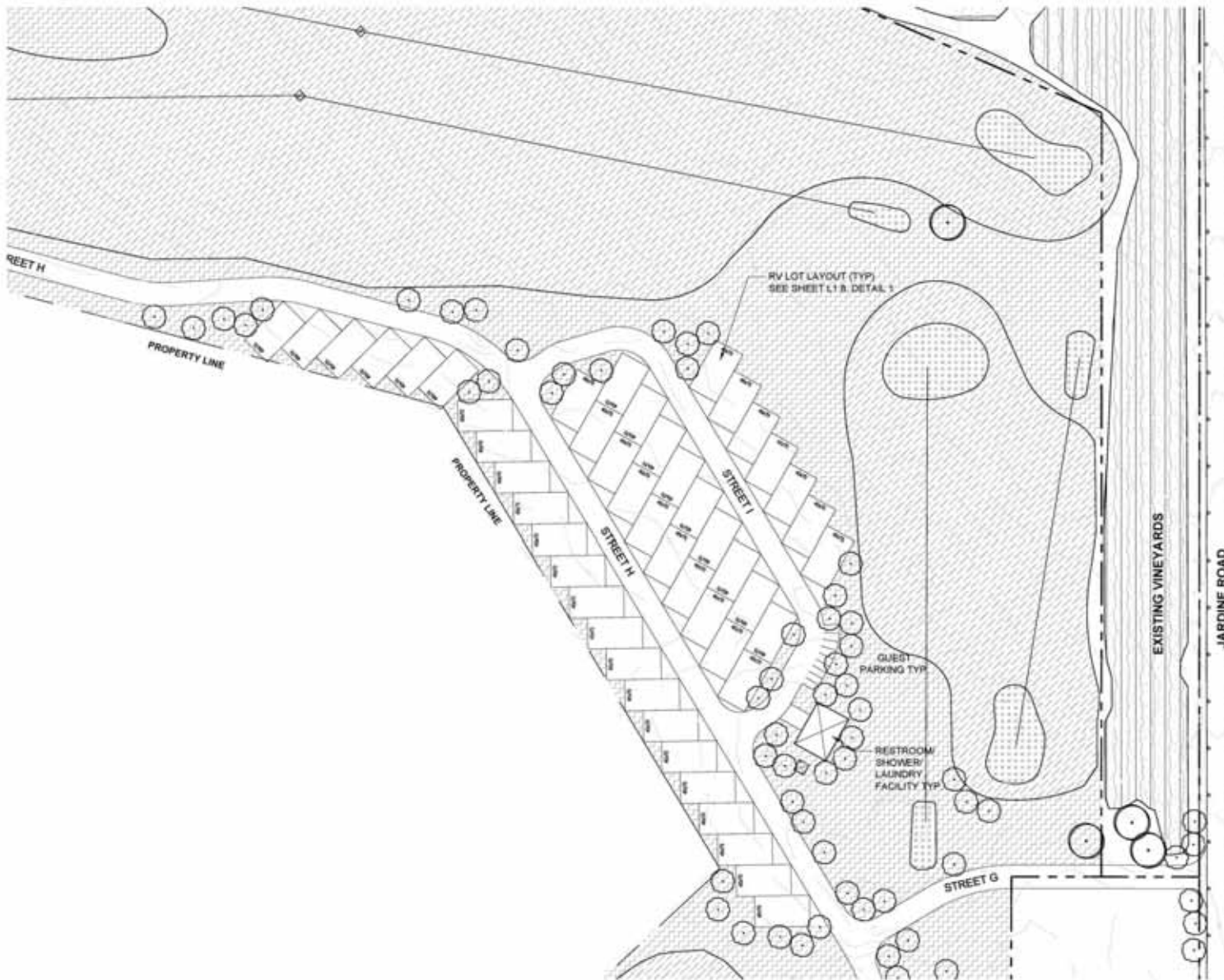


Exhibit I-5



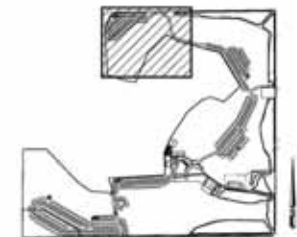
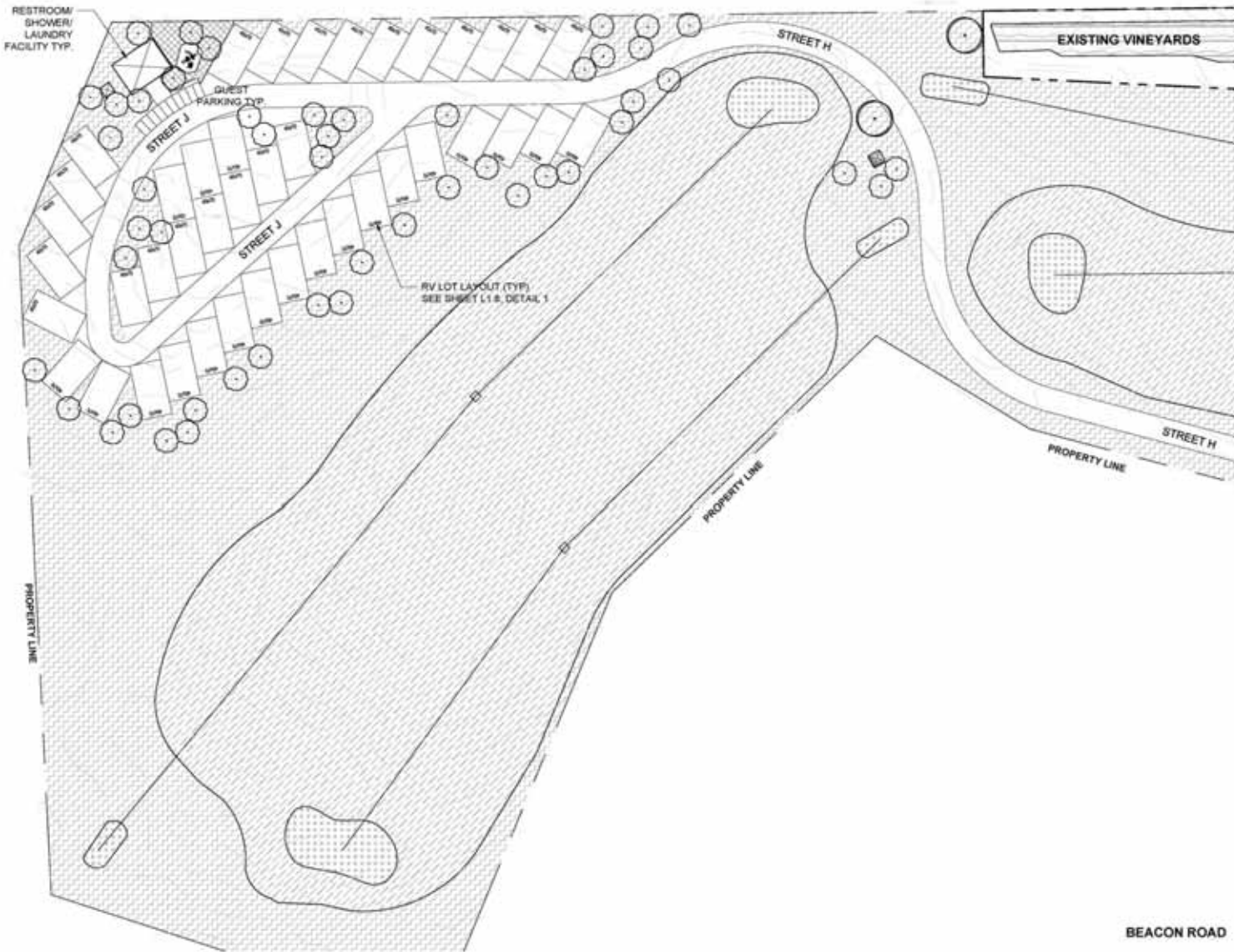
KEY MAP

Exhibit I-6



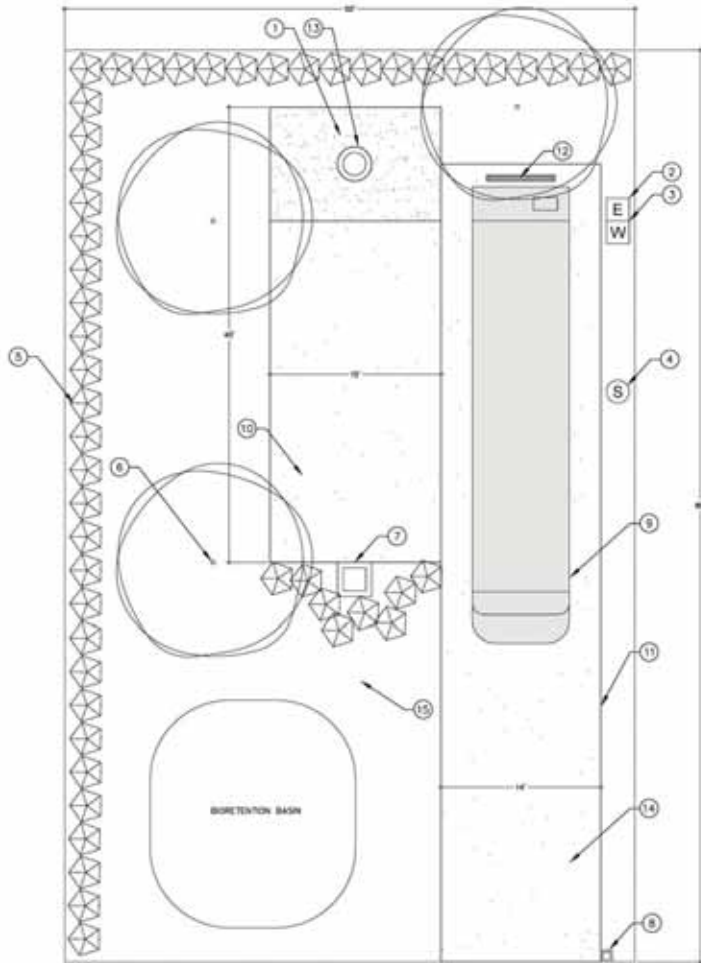
KEY MAP

Exhibit I-7



KEY MAP

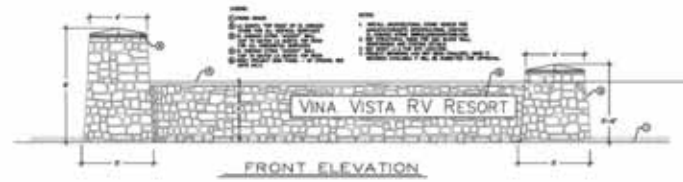




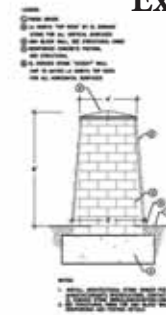
- LEGEND:**
- ① OPTIONAL - DECOMPOSED GRANITE AREA
 - ② ELECTRICAL UTILITY HOOKUP
 - ③ WATER UTILITY HOOKUP
 - ④ SEWER UTILITY HOOKUP
 - ⑤ VEGETATION SCREEN PLANTING TYP.
 - ⑥ SHADE TREE TYP.
 - ⑦ OPTIONAL - 880 FT
 - ⑧ RV SITE BOLLARD MARKER (SEE DETAIL 3, SHEET L1.8)
 - ⑨ RECREATIONAL VEHICLE (SHOWN FOR REFERENCE)
 - ⑩ PAVO PAVING
 - ⑪ RV PAD PAVING
 - ⑫ WHEEL STOP TYP.
 - ⑬ OPTIONAL - FIRE PIT
 - ⑭ VEHICLE & GUEST PARKING
 - ⑮ 3/4" GRAVEL TYP.

NOTES:
 1. TYPICAL SITE PLAN SHOWN FOR BOXED TYPICAL SITE ONLY.

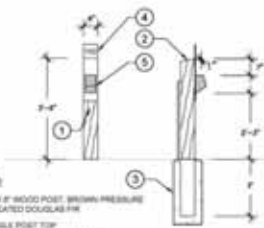
1 RV LOT LAYOUT (TYP) Scale 1/2"



2 ENTRY MONUMENT Scale 1/4"

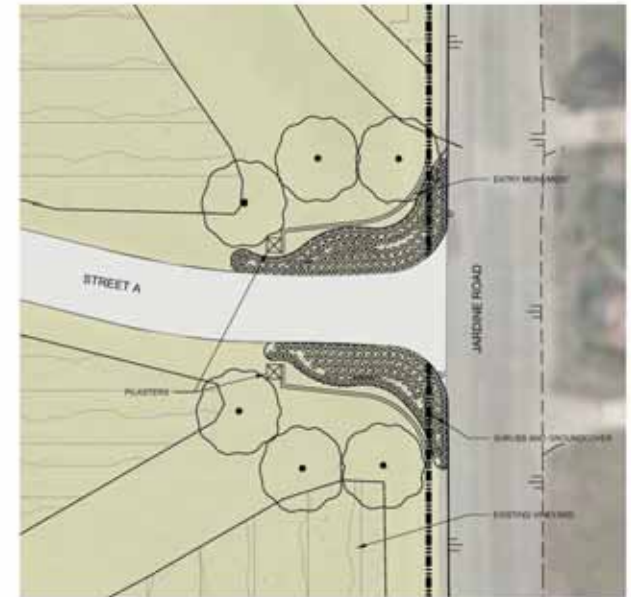


3 ENTRY MONUMENT PILASTER Scale 1/4"



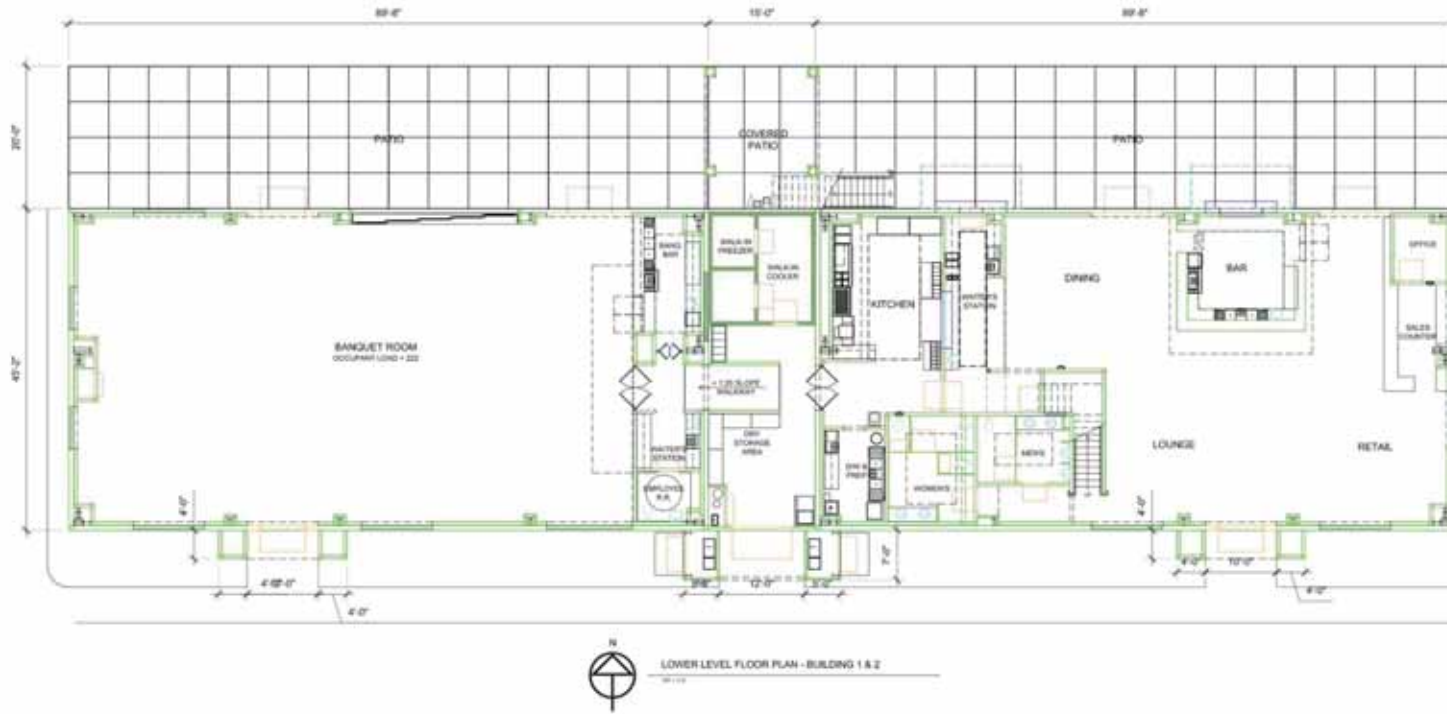
- LEGEND:**
- ① 4" x 4" WOOD POST BROWN PRESURE TREATED DOUGLASS FIR
 - ② WHEELS POST TOP
 - ③ 12" x 36" CONCRETE FOOTING
 - ④ RV LOT NUMBER SIGN (TO BE PROVIDED BY OTHERS)
 - ⑤ BESA LIGHT FIXTURE, REC. 304LSS

4 RV SITE BOLLARD MARKER & LIGHT Scale 1/2"



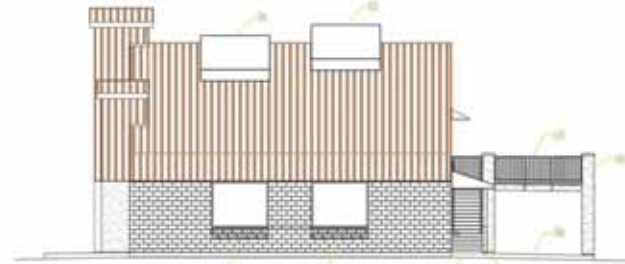
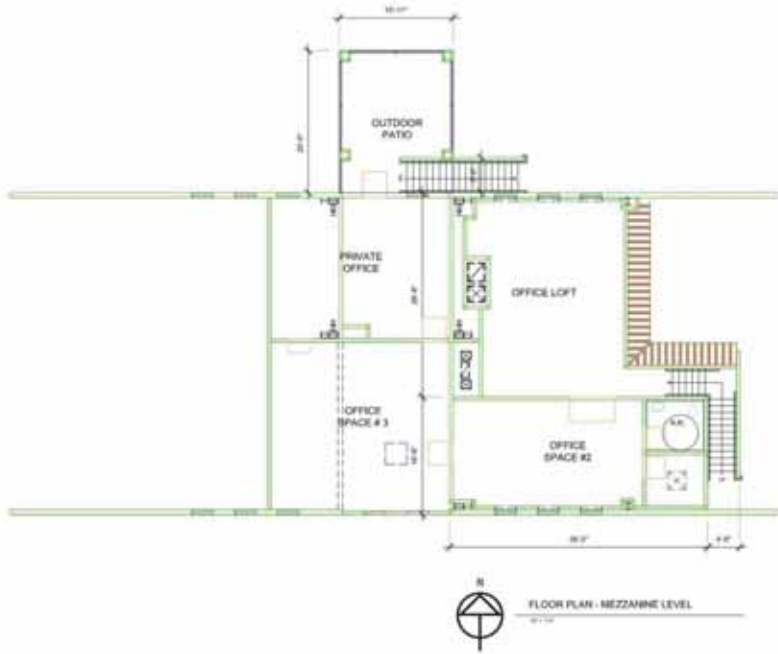
5 ENTRY ENLARGEMENT Scale 1/2"

Exhibit J-1



PROJECT DATA	
PROJECT NAME:	VINO VISTA, THE LINKS AT PASO ROBLES - TENANT IMPROVEMENTS AND ADDITION
OWNER:	VINO VISTA, LLC
PROJECT LOCATION:	P.O. BOX 510, PASO ROBLES, CA 93247
A.P.N.:	310 JARDINE ROAD, PASO ROBLES, CA 93246
LEGAL DESCRIPTION:	SE - 4E2 - 115 - 017 - 102
LOT 100:	LOTS 10, 11 & 12 OF TRACT 2716, CITY OF PASO ROBLES, S.B. 38 ACRES
PROJECT DESCRIPTION:	TENANT IMPROVEMENT TO THE EXISTING BUILDING, BUILDING 1, 2 & 3, AND A SET OF ADDITION AND 240 SF COVERED SERVICE AREA TO CONNECT BUILDING #1 AND BUILDING #2. SEE ATTACHED VINO VISTA TENANT IMPROVEMENT PROJECT DESCRIPTION.
PROJECT STATISTICS	
CONSTRUCTION TYPE:	MB
BUILDING HEIGHT:	22' 4" A.F.F.
ALLOWABLE BUILDING HEIGHT (CBC TABLE 1601):	22' 0"
ALLOWABLE BUILDING AREA (CBC TABLE 1601):	8000 SF
SPRINKLES:	YES
OCCUPANCY (CBC CHAPTER 5):	
BUILDING 1:	
• LOWER FLOOR - GOLF RETAIL SHOP:	M
• RESTAURANT/BAR:	A-2
• WOODENDEEP AREA/WAIVER'S STATION:	A-2
• ADDITION - DRY/COLD STORAGE AREA:	S-1
BUILDING 2:	
• BANQUET ROOM/BAR:	A-2
BUILDING 3:	
• OFFICE SPACE:	B
• RESTROOM/SHOWER:	A-2
• CART BARN/MAINTENANCE:	S-1
BUILDING AREA - BUILDING 1 & 2 (ACTUAL AREA):	6000 SQ. FT.
• BUILDING 1 (GOLF RETAIL SHOP, RESTAURANT/BAR):	4800 SQ. FT.
• ADDITION - LOWER LEVEL DRY/COLD STORAGE AREA:	4800 SQ. FT.
• BUILDING 2 (BANQUET ROOM):	4000 SQ. FT.
• TOTAL LOWER LEVEL AREA:	4700 SQ. FT.
• BUILDING 1 - UPPER LEVEL OFFICE SPACES:	1500 SQ. FT.
• ADDITION BUILDING 2 - OFFICE SPACES:	4400 SQ. FT.
• ADDITION - UPPER LEVEL BALCONY:	2800 SQ. FT.
• TOTAL UPPER FLOOR AREA:	2400 SQ. FT.
• TOTAL BUILDING AREA (BUILDING 1 & 2):	11000 SQ. FT.
• EXTERIOR PATIO AREA:	1800 SQ. FT.
BUILDING AREA - BUILDING 3 (ACTUAL AREA):	400 SQ. FT.
• OFFICE SPACE:	400 SQ. FT.
• RESTROOM/SHOWER/DOCK:	1400 SQ. FT.
• CART BARN/MAINTENANCE:	2600 SQ. FT.
• TOTAL LOWER LEVEL AREA:	10100 SQ. FT.
TOTAL BUILDING AREA FOR ENTIRE PROJECT:	21000 SQ. FT.
BUILDING AREA PER ALLOWABLE AREA CALCULATION PER CBC TABLE 1601, LOWER FLOOR:	8000 SQ. FT.
DRIVING LOUVER SETBACK SPACE (A-2) (8'-0" MIN)	8000 SQ. FT.
PER SECTION 108.1.5a + 20 + 10A + 10 + 10A + 10	22000 SQ. FT.
A ₂ = (2000 + 2000 + 2000 + 2000) + 20 + 10	
TOTAL LOWER FLOOR AREA (A-2) (B) (M):	21000 SQ. FT. + 20000 SQ. FT. (A)
BUILDING AREA (OCCUPANCY AREA)	
BUILDING 1 (ADDITION - LOWER FLOOR)	
• RETAIL OFFICE:	400 SQ. FT.
• OFFICE AREA:	75 SQ. FT.
• DINING/LOUNGE AREA:	1000 SQ. FT.
• WOODENDEEP AREA/WAIVER'S STATION AREA:	1800 SQ. FT.
• FLOOR PREP/STORAGE/STORAGE:	140 SQ. FT.
• BAR SERVICE AREA:	200 SQ. FT.
• RESTROOM:	200 SQ. FT.
• DRY/COLD STORAGE (ADDITION):	2800 SQ. FT.
• EXTERIOR PATIO AREA:	2800 SQ. FT.
BUILDING 1 (ADDITION - UPPER FLOOR)	
• OFFICE SPACE:	1400 SQ. FT.
BUILDING 2	
• BANQUET ROOM:	3400 SQ. FT.
• BAR SERVICE AREA:	400 SQ. FT.
BUILDING 3	
• OFFICE SPACE:	400 SQ. FT.
• RESTROOM/SHOWER/DOCK:	1400 SQ. FT.
• CART BARN/MAINTENANCE:	700 SQ. FT.
PARKING REQUIREMENTS	
PARKING SPACES REQUIRED FOR TENANT IMPROVEMENT BUILDING 1, BUILDING 1 & 2 (11000 SF + 4,510,000)	
57 ST SPACES	
BUILDING 3	
• OFFICE & RESTROOM/SHOWER (2000 SF x 3) (1000)	0.33 SPACES
• CART BARN/MAINTENANCE (7000 SF x 1000)	1.81 SPACES
TOTAL MINIMUM PARKING REQUIRED:	
74.14 SPACES	
PARKING REQUIREMENTS FOR THE GOLF COURSE ARE EXISTING. NO CHANGES ARE BEING MADE TO THE NUMBER OF PARKING FOR THE GOLF COURSE.	

Exhibit J-2



- ELEVATION CALLOUTS - BUILDING 1 & 2**
- EXISTING METAL ROOFING SHALL REMAIN.
 - EXISTING METAL SIDING SHALL REMAIN.
 - EXISTING CONCRETE SHALL BE REPAIR.
 - EXISTING SLOPE SHALL SLOPE AWAY FROM BUILDING FOR 10'-0" OR MORE AWAY FROM BUILDING TO ON SOLID SURFACE (CONCRETE/ASPHALT).
 - NEW 2" CONCRETE PLASTER SHALL BE INSTALLED OVER APPROVED ANGLE LATH AND BUILDING PAPER WITH COLOR WITH EXISTING CONCRETE SHALL BE ON HORIZONTAL SURFACE USE 1/2" CONCRETE PLASTER OVER APPROVED ANGLE LATH ATTACHED TO FRAMING MEMBER IN AN APPROVED MANNER.
 - CUT OUT AND REMOVE EXISTING METAL SIDING AND FRAMING AS REQUIRED FOR INSTALLATION OF NEW WINDOWS FOR THE UPPER FLOOR LEVEL. OPENING SHALL BE FINISHED WITH APPROVED METAL STUDS AS REQUIRED FOR PROPER INSTALLATION.
 - REMOVE DECORATIVE CANOPY OVER NEW WINDOWS.
 - REMOVE DECORATIVE CANOPY OVER EXTERIOR FACE OF SERVICE AREAS. BOTTOM OF CANOPY SHALL BE SET AT 7'-0" ABOVE FINISH FLOOR AND SHALL EXTEND 12" MINIMUM BEYOND THE EDGE OF THE SERVICE COUNTER.
 - NEW CONCRETE METAL ROOF GLASS AS SHALL MATCH EXISTING METAL PANELS AND SHALL BE INSTALLED OVER AN APPROVED 3/4" ROOFING FELT NEW WITH 2" SLOPE AT FINISH FLOOR SHALL BE OVER 1/2" THICK INSULATION BARRIER AND SHALL MATCH EXISTING METAL SIDING OF ADJACENT BUILDING NEW 24-GA. (1) PANNOPET CAP WITH DRAIN SHALL BE MANUFACTURED BY METAL BUILDING COMPANY.
 - NEW ROOF MOUNTED HVAC UNITS SHALL BE INSTALLED ON AN APPROVED CURB NOT LLS FOR MANUFACTURER'S SPECIFICATIONS. PROVIDE APPROVED FLASHING/COUNTER FLASHING AT ROOF CONNECTIONS. SEE STRUCTURAL DRAWINGS FOR SUPPORT OF NEW EQUIPMENT.
 - REMOVE EXISTING STONEFRONT DOOR, WINDOWS, AND FRAME AND REPLACE WITH NEW 10'-0" WIDE x 8'-0" HIGH STONEFRONT WINDOW. PROVIDE NEW CONCRETE CURB TO 2" ABOVE FINISH FLOOR TO MATCH ADJACENT CONCRETE WALL IN THICKNESS AND FINISHES. SEE STRUCTURAL DRAWINGS FOR DETAILS ON CONSTRUCTION AND CONNECTION TO EXISTING BUILDING.
 - REPLACEMENT METAL GUARD SHALL BE 1/2" MINIMUM HIGH ABOVE FINISH FLOOR OF BUILDING UPPER FLOOR. GUARD SHALL BE IN ACCORDANCE WITH CBC 101. HEIGHT OF GUARD SHALL BE 42" MINIMUM AND SHALL HAVE FEET HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. USE 2" SQUARE WITH PLATE ATTACHED TO FRAMING MEMBER. TOP OF GUARD SHALL BE LEVEL WITH BOTTOM RAIL OF GUARD SHALL SLOPE TO MATCH FINISH FLOOR SLOPE. GUARD SHALL BE CONSTRUCTED OF 2" 30 MMB POST, 1/2" x 2" TOP AND BOTTOM RAILS, 1/2" x 2" SIDE POST CONNECTED TO THE PLASTERING AND WALL. RAILING SHALL BE 3/4" SQUARE SET AT 4' O.C.
 - PLASTER ON PATIO SHALL BE 1/2" SQUARE AND 4" ABOVE FINISH FLOOR OF BUILDING UPPER FLOOR. PLASTER SHALL HAVE DECORATIVE 3/4" SQUARE CAP.
 - EXTERIOR CONCRETE SLAB COUNTERTOP AT SERVICE AND FOOD SERVICE AREA SHALL BE SET AT 2" MINIMUM ABOVE FINISH FLOOR AND SHALL EXTEND TO SERVICE WINDOW. COUNTERTOP SHALL BE 10'-0" WIDE AND EXTEND BEYOND EXISTING EXTERIOR WALL 12". COORDINATE COLOR AND FINISH AND COLOR WITH LOWER PART TO CONSTRUCTION OF COUNTERTOP.
 - CUT NEW OPENING IN EXISTING CONCRETE WALL FOR EXTERIOR BALUSTRADE AND FOOD SERVICE WINDOW. OPENING SHALL EXTEND TO EDGE OF SERVICE WINDOW IN WIDTH AND HEIGHT AND SHALL INCLUDE THE THICKNESS OF THE EXTERIOR SERVICE COUNTER.
 - STAIRWAY GUARD SHALL BE CONCRETE PLASTER FINISHED 1/2" SHALL TO SLAB WITH 4" MINIMUM ABOVE THE NOSE OF STAIR. PROVIDE FLASHING, COUNTER FLASHING AND WEEP SCREED AS REQUIRED ON STAIR SIDE OF WALL.
 - EXTERIOR STAIRS SHALL BE SOLID SURFACE WITH NON-SLIP TREADS. RISERS SHALL NOT BE LESS THAN 4" NOR SHALL GREATER THAN 7" IN HEIGHT WITH THE GREATEST RISE HEIGHT WITHIN ANY FLIGHT OF STAIRS NOT EXCEED THE SHALLEST BY MORE THAN 1/4". MINIMUM TREAD WIDTH SHALL NOT BE LESS THAN 11" IN WIDTH. ON BOTH THE UPPER APPROACH AND LOWER TREAD OF EACH STAIR, A TWO-INCH WIDE STRIP OF CONTRASTING COLOR SHALL BE PLACED PARALLEL TO AND NOT MORE THAN 1 INCH FROM THE STEP NOSE (CBC 108.6). SEE DETAIL S-102A.
 - REMOVE EXISTING STONEFRONT WINDOWS AT EAST WALL AND PROVIDE NEW IF CONCRETE WALL SHALL TO 4'-0" AND INSTALL NEW 8'6" STONEFRONT WINDOWS TO MATCH EXISTING STYLE AND MATERIALS.
 - CUT NEW OPENING FOR BUILDING STAIRS DOORS AND FRAME. NEW BUILDING STAIRS DOORS SHALL BE MARKED CLASS 1 WHITE BALUSTRADE DOORS MODEL 25-070-1/4 (OR AN APPROVED EQUAL). PROVIDE REQUIRED REINFORCING FOR MANUFACTURER'S SPECIFICATIONS.
 - NEW CONCRETE PATIO SHALL HAVE A DECORATIVE SURFACE FINISH.

Exhibit J-3



SOUTH ELEVATION

1/2" = 1'-0"

NORTH ELEVATION

1/2" = 1'-0"

ELEVATION CALLOUTS - BUILDING 1 & 2

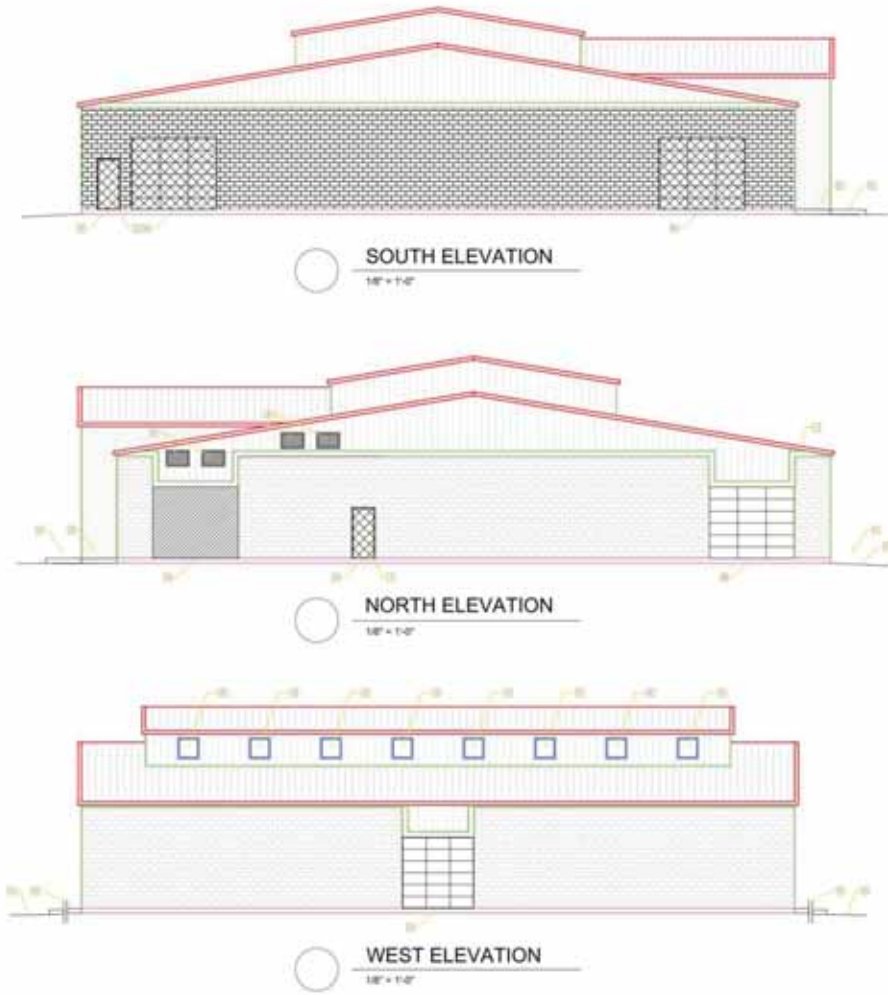
1. EXISTING METAL ROOFING SHALL REMAIN.
2. EXISTING METAL SIDING SHALL REMAIN.
3. EXISTING CONCRETE WALLS SHALL REMAIN.
4. EXISTING GRADE SHALL SLOPE AWAY FROM BUILDING IN PER TO 1/4" PER 12" SLOPE AWAY FROM BUILDING IN PER TO 1/4" SLOPE AWAY FROM BUILDING.
5. NEW 1/2" CONCRETE PLASTER SHALL BE INSTALLED OVER APPROVED SHEET LATH AND BUILDING PAPER. MATCH COLOR WITH EXISTING CONCRETE WALLS. ON HORIZONTAL SURFACE USE OF CONCRETE PLASTER OVER APPROVED 5/8" RIBBED LATH ATTACHED TO FRAMING MEMBER IN AN APPROVED MANNER. CUT OUT AND REMOVE EXISTING METAL SIDING AND FLASHING AS REQUIRED FOR INSTALLATION OF NEW WINDOWS FOR THE UPPER FLOOR LEVEL. OPENINGS SHALL BE FRAMED WITH APPROVED METAL STUDS AS REQUIRED FOR PROPER INSTALLATION.
6. PROVIDE DECORATIVE CANOPY OVER NEW WINDOWS.
7. PROVIDE DECORATIVE CANOPY OVER INTERIOR SERVICE AREAS. BOTTOM OF CANOPY SHALL BE SET AT 7" ABOVE FINISH FLOOR AND SHALL EXTEND 12" BEYOND THE EDGE OF THE SERVICE COUNTER.
8. NEW CORRUGATED METAL ROOF CLASH A1 SHALL MATCH EXISTING METAL PANELS AND SHALL BE INSTALLED OVER AN APPROVED 3/8" ROOFING FELT.
9. NEW METAL SIDING AT PARAPET SHALL BE OVER TOP TRUSS STRUCTURE BARRIER AND SHALL MATCH EXISTING METAL SIDING OF ADJACENT BUILDINGS.
10. NEW 24 GA. ALU. PARAPET CAP WITH DRIP SHALL BE MANUFACTURED BY METAL BUILDING CENTER.
11. NEW ROOF MOUNTED HVAC UNITS SHALL BE INSTALLED ON AN APPROVED CURB METALLED NEW MANUFACTURERS SPECIFICATIONS. PROVIDE APPROVED FLASHING/COUNTER FLASHING AT ROOF CONNECTIONS. SEE STRUCTURAL DRAWINGS FOR SUPPORT OF NEW EQUIPMENT.
12. REMOVE EXISTING STOREFRONT DOOR, WINDOWS, AND FRAME AND REPLACE WITH NEW 10' 0" WIDE X 8' 0" HIGH STOREFRONT WINDOW. PROVIDE NEW CONCRETE CURB TO 4" ABOVE FINISH FLOOR TO MATCH ADJACENT CONCRETE WALL IN THICKNESS AND FINISH. SEE STRUCTURAL DRAWINGS FOR DETAILS ON CONSTRUCTION AND CONNECTION TO EXISTING BUILDING.
13. DECORATIVE METAL GUARD SHALL BE 2" MINIMUM HIGH ABOVE FINISH FLOOR OF BUILDING UPPER FLOOR. GUARD SHALL BE IN ACCORDANCE WITH IBC 1001. HEIGHT OF GUARD SHALL BE 40" MINIMUM AND SHALL HAVE UPSTAIRS WHICH ALLOW PASSAGE OF A SPHERE 6" IN DIAMETER. USE 2" SQUARE WITH PLATE ATTACHED TO FRAMING MEMBER. TOP OF GUARD SHALL BE LEVEL WITH BOTTOM RAIL OF GUARD SHALL SLOPE TO MATCH RATIO FLOOR SLOPE. GUARD SHALL BE CONSTRUCTED OF 2" 80 MIN. POST, 1 X 2 TOP AND BOTTOM RAILS, 1 X 2 END POST CONNECTED TO THE PLASTER AND WALL. RAILING SHALL BE 3/4" SQUARE SET AT 4" O.C.
14. PLASTER IN RATIO SHALL BE 1/2" SQUARE AND 1/4" ABOVE FINISH FLOOR OF BUILDING UPPER FLOOR. PLASTER SHALL HAVE DECORATIVE 3" SQUARE CAP.
15. EXTERIOR CONCRETE SLAB COUNTERTOP AT BEVERAGE AND FOOD SERVICE AREAS SHALL BE SET AT 3/8" MINIMUM ABOVE FINISH FLOOR AND SHALL EXTEND TO SERVICE WINDOW. COUNTERTOP SHALL BE 1/2" WIDE AND EXTEND BEYOND EXISTING EXTERIOR WALL 12". COUNTERTOPS COLOR AND FINISH AND COLOR WITH GRANITE FROM TO CONSTRUCTION OF COUNTERTOP. CUT NEW OPENING IN EXISTING CONCRETE WALL FOR EXTERIOR BEVERAGE AND FOOD SERVICE WINDOW. OPENING SHALL EXTEND TO EDGE OF SERVICE WINDOW IN WIDTH AND HEIGHT AND SHALL INCLUDE THE THICKNESS OF THE EXTERIOR SERVICE COUNTER.
16. STAIRWAY GUARD SHALL BE CONCRETE PLASTER FINISHED 2 X 8 SHALL TO SLAB WITH 40" HIGH MINIMUM ABOVE THE NOSE OF STAIRS. PROVIDE FLASHING, COUNTER FLASHING AND WEIR SCREENS AS REQUIRED ON STAIR SIDE OF WALL.
17. EXTERIOR STAIRS SHALL BE SOLID SURFACE WITH NO. 6 PL TREADS. SIDING SHALL NOT BE LESS THAN 1" HIGH SHALL BE GREATER THAN 7" IN HEIGHT WITH THE GREATEST ROUGH HEIGHT WITH ANY FLIGHT OF STAIRS NOT EXCEED THE SMALLEST BY MORE THAN 1/4". MINIMUM TREAD WIDTH SHALL NOT BE LESS THAN 11" IN WIDTH. ON BOTH THE UPPER APPROACH AND LOWER TREADS OF EACH STAIR, A 2" X 4" MIN. WOOD STRIP OF CONTRASTING COLOR SHALL BE PLACED PARALLEL TO AND NOT MORE THAN 1" HIGH FROM THE STEP NOSING. (SEE DETAIL S1-A-E-1)
18. REMOVE EXISTING STOREFRONT WINDOWS AT EAST WALL AND PROVIDE NEW 8' CONCRETE WALL SHALL TO 4" A.F.F. AND INSTALL NEW FIRE STOREFRONT WINDOW TO MATCH EXISTING STYLE AND MATERIALS.
19. CUT NEW OPENING FOR SLIDING STACKED DOORS AND FRAME. NEW SLIDING STACKED DOORS SHALL BE BARRIN 1/4" ALUMINUM MULTIPLE GLASS DOORS MODEL 35-24-1/4 JACKED ON AN APPROVED EQUAL. PROVIDE REQUIRED ROUGH OPENING FOR SLIDING DOOR SPECIFICATIONS.
20. NEW CONCRETE PATIO SHALL HAVE A DECORATIVE SURFACE FINISH.

Exhibit K-1

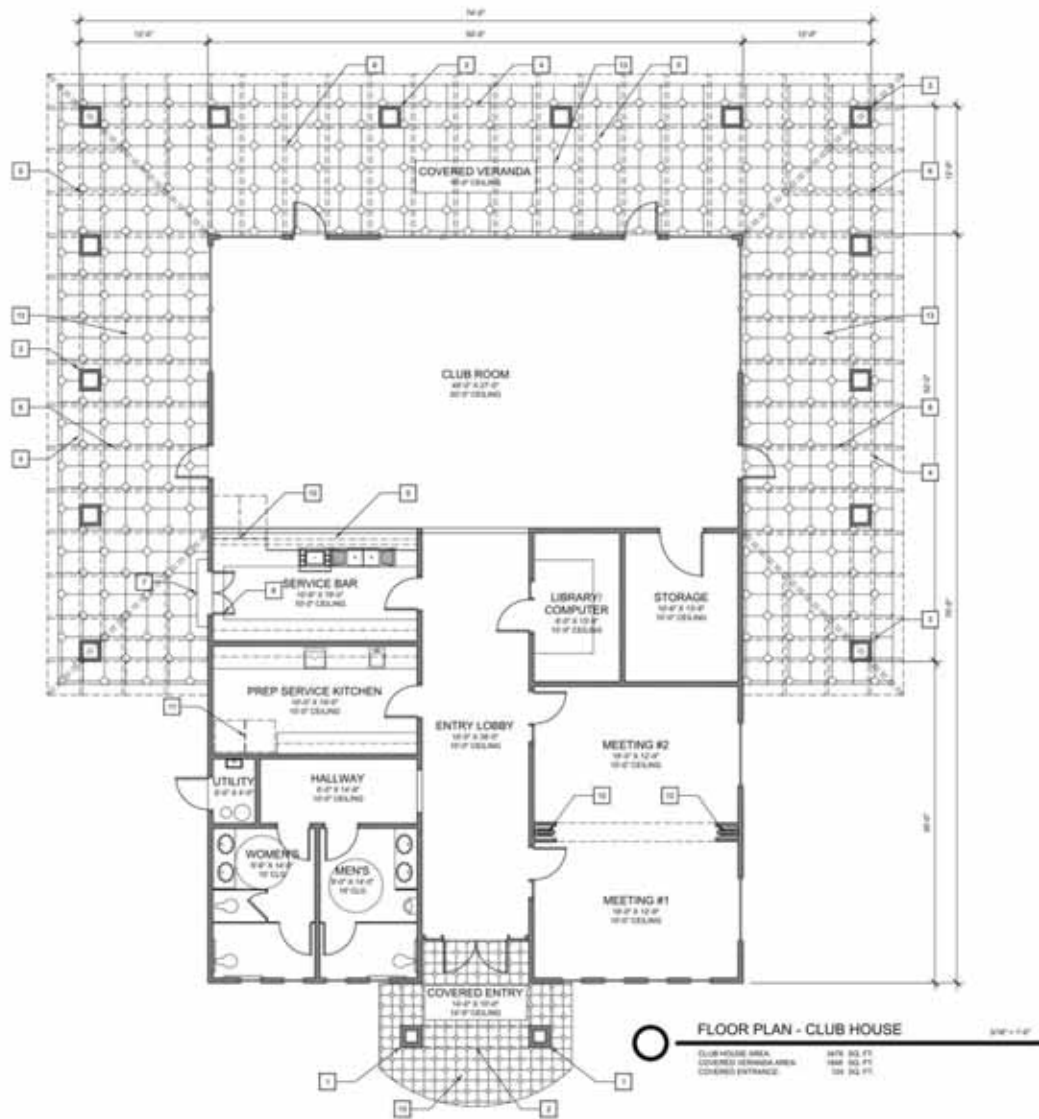


- ELEVATION CALLOUTS - BUILDING 3**
- EXISTING METAL ROOFING SHALL REMAIN
 - EXISTING METAL SIDING SHALL REMAIN
 - EXISTING CONCRETE WALL SHALL REMAIN
 - EXISTING CONCRETE SHALL SLOPE AWAY FROM BUILDING 2% FOR 12" OF OVERSLOPE
 - NEW CONCRETE FND SHALL BE LOCATED ON THE NORTH AND SOUTH SIDE OF BUILDING. CONCRETE PAD SHALL BE 4" CONCRETE SLAB W/ 4# 10" OC EACH WAY OVER 4" CLEAN COMPACTED SAND FILL. SLOPE SURFACE AWAY FROM BUILDING 2% MAXIMUM. PROVIDE 1/2" CONTROL JOINTS @ 8'-0" OC IN BOTH DIRECTIONS. PROVIDE 1/4" EXPANSION FELT @ 20'-0" OC MAXIMUM
 - EXISTING CEILINGSTORY WINDOWS SHALL REMAIN. CUT OUT OPENING IN EXISTING CONCRETE WALL FOR NEW 30" METAL DOORS AND FRAMES. SEE STRUCTURAL PLANS FOR DETAILS FOR FRAME CUT OUT OPENING.
 - NEW CONCRETE LANDINGS/STAIRWALK SHALL BE LOCATED ON THE EAST SIDE OF BUILDING. CONCRETE PAD SHALL BE 4" CONCRETE SLAB W/ 4# 10" OC EACH WAY OVER 4" CLEAN COMPACTED SAND FILL. SLOPE SURFACE AWAY FROM BUILDING 2% MAXIMUM. PROVIDE 1/2" CONTROL JOINTS @ 8'-0" OC IN BOTH DIRECTIONS. PROVIDE 1/4" EXPANSION FELT @ 20'-0" OC MAXIMUM
 - EXISTING 44# STEEPPOINT WINDOWS SHALL REMAIN
 - BLACK OUT (PAINTED) EXISTING WINDOWS WHERE NEW WALL FRAMING OCCURS AT RESTROOM/SHOWER AREA OR REMOVE EXISTING WINDOWS AND INFILL FRAME OPENING WITH 2 x 4 @ 16" OC WITH 1/2" CD PLY SHEATHING AND FINISH WITH 1/2" GYPSUM PLASTER OVER APPROVED WIRE LATH AND BUILDING PAPER. COLOR SHALL MATCH EXISTING METAL SIDING
 - EXISTING SECTIONAL DOORS SHALL REMAIN
 - CUT OUT OPENING IN EXISTING CONCRETE WALL FOR NEW 12'-0" WIDE x 10'-0" HIGH SECTIONAL DOORS. SEE STRUCTURAL PLANS FOR DETAILS FOR FRAME CUT OUT OPENING
 - REMOVE EXISTING SECTIONAL DOOR AND INFILL FRAME WITH 2 x 4 STUD WALL @ 16" OC WITH 1/2" CD PLY SHEATHING AND FINISH WITH 1/2" GYPSUM PLASTER OVER APPROVED WIRE LATH AND BUILDING PAPER

Exhibit K-2



- ELEVATION CALLOUTS - BUILDING 3**
- EXISTING METAL ROOFING SHALL REMAIN
 - EXISTING METAL SIDING SHALL REMAIN
 - EXISTING CONCRETE WALL SHALL REMAIN
 - EXISTING GROUND SHALL SLOPE AWAY FROM BUILDING 3/4\"/>



- FLOOR PLAN CALLOUTS**
- CLUB ROOM**
1. ENTRY COLUMN SHALL BE 24" SQUARE WITH STONE VENEER FINISH.
 2. ENTRY TOWER SHALL HAVE ARCHED OPENING IN FRONT.
 3. VERANDA COLUMNS SHALL BE 14" SQUARE WITH STONE VENEER FINISH.
 4. BEAMS BETWEEN COLUMNS SHALL BE 14" WIDE TO MATCH COLUMNS AND SHALL HAVE A LEGACY PLASTER FINISH.
 5. SOFFIT BEAMS AT VERANDA CEILING SHALL BE SLOPPED AND 12" WIDE TO MATCH COLUMNING AND SHALL HAVE A CEMENT PLASTER FINISH.
 6. DECORATIVE WOOD RAFTER BEAM SHALL BE SET AT VALLEY ROOF.
 7. DECORATIVE WOOD RAFTER BEAM SHALL BE SET AT 8'-0" O.C.
 8. PAVED VERANDA, ENTRANCE, AND GOLF WAY FLOOR SHALL BE DECORATIVE CONCRETE SURFACE.
 9. DECORATIVE WOOD ROOF BEAM SHALL BE SET AT VALLEY ROOF.
 10. DECORATIVE WOOD RAFTER BEAM SHALL BE SET AT 8'-0" O.C.
 11. BAR AREA SHALL SERVICE CLUB ROOM AREA.
 12. FOOD SERVICE SHALL OPEN INTO CLUB ROOM AREA.

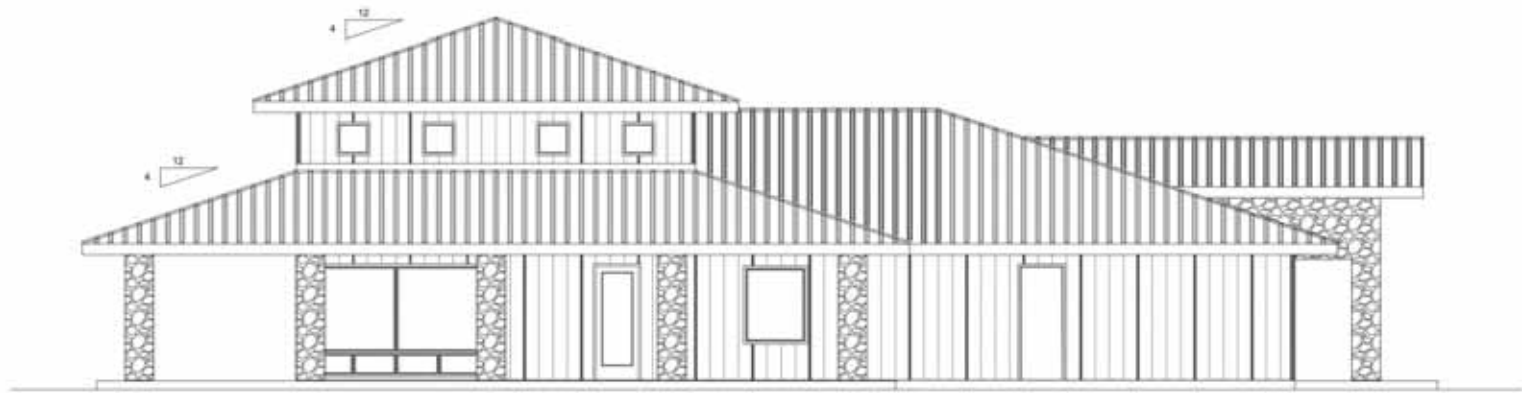
Exhibit L-1



○ FRONT ELEVATION
1/4" = 1'-0"

ELEVATION CALLOUTS	
CLUB HOUSE	
1.	NEW CORRUGATED METAL ROOFING SHALL MATCH ROOFING OF EXISTING BUILDING.
2.	PARCH AND EAVES SHALL BE 2 X 10. ALL EAVES SHALL HAVE SOFFITTED UNDER-SIDING SOFFIT FINISH.
3.	EXTERIOR SIDING SHALL BE HARD-BRAND PANELS WITH GROOVES AT 4" OC.
4.	PROVIDE APPROVED HARD TRIM AT ALL PANEL EDGES, CORNERS, AND ALL OPENINGS.
5.	BATTLS SHALL BE 2 X 3 1/2" MIN SET AT 16" OC.
6.	ENTRANCE COLUMNS SHALL BE 24" SQUARE WITH SPINE VENEER FINISH.
7.	ENTRANCE TOWER SHALL HAVE ARCHED OPENING IN FRONT.
8.	TRAVELER COLUMNS SHALL BE 18" SQUARE WITH STONE VENEER FINISH.
9.	SLOPE GRADE AWAY FROM BUILDING 2% FOR 10'-0"

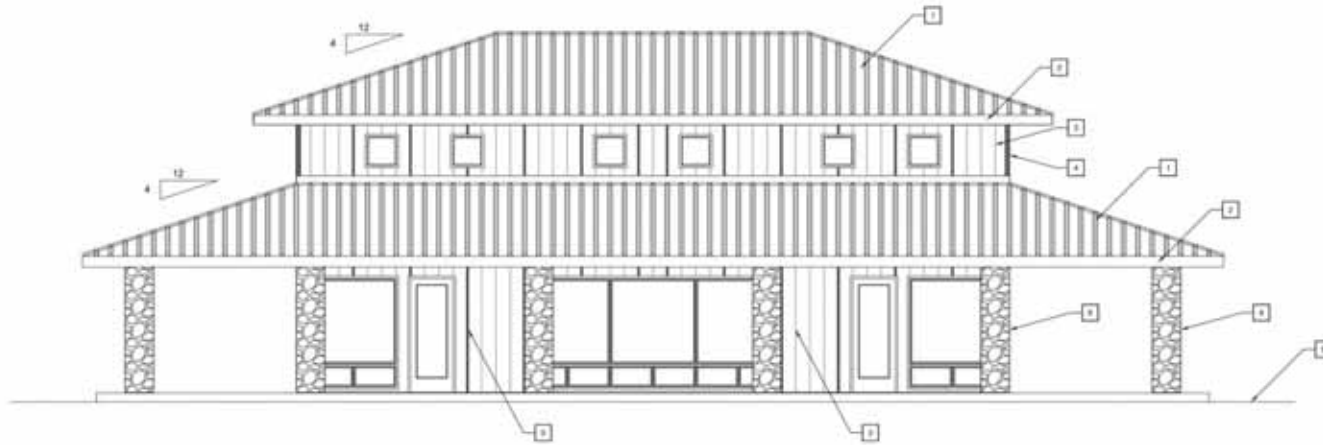
Exhibit L-2



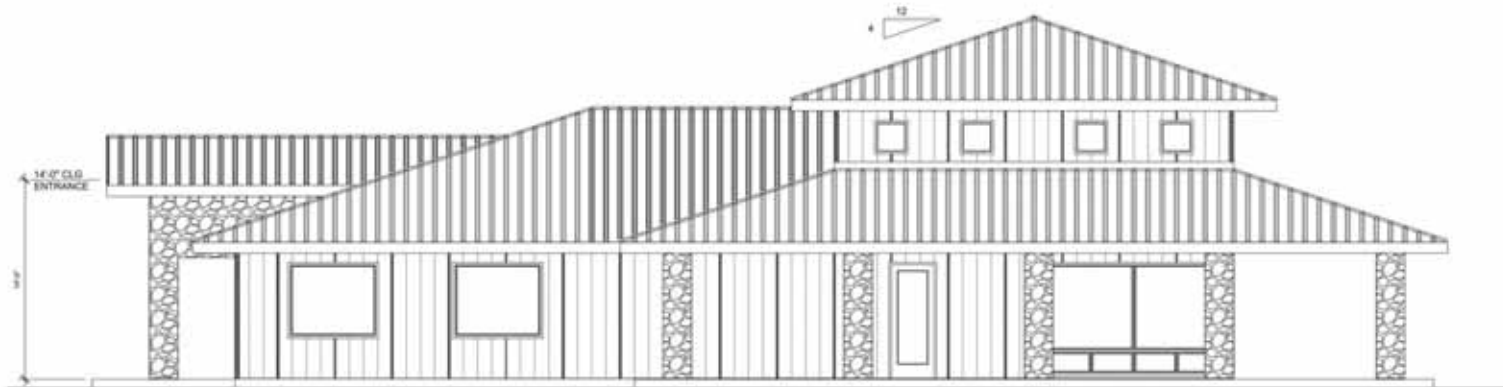
○ LEFT ELEVATION
1/4" = 1'-0"

ELEVATION CALLOUTS	
CLUB HOUSE	
1.	NEW CORRUGATED METAL ROOFING SHALL MATCH ROOFING OF EXISTING BUILDING.
2.	PARCH AND EAVES SHALL BE 2 X 10. ALL EAVES SHALL HAVE SOFFITTED UNDER-SIDING SMOOTH FINISH.
3.	EXTERIOR SIDING SHALL BE HARD-BRAND PANELS WITH GROOVES AT 4" O.C.
4.	PROVIDE APPROVED HARD-TIMBER AT ALL PANEL EDGES, CORNERS, AND ALL OPENINGS.
5.	BATTIS SHALL BE 2 X 3 1/2" O.C. SET AT 4" O.C.
6.	ENTRANCE COLUMNS SHALL BE 2" SQUARE WITH SPINE VENEER FINISH.
7.	ENTRY TOWER SHALL HAVE ANCHED OPENING IN FRONT.
8.	TRUSSER COLUMNS SHALL BE 2" SQUARE WITH STONE VENEER FINISH.
9.	SLOPE GRADE AWAY FROM BUILDING 2% FOR 10'-0".

Exhibit L-3



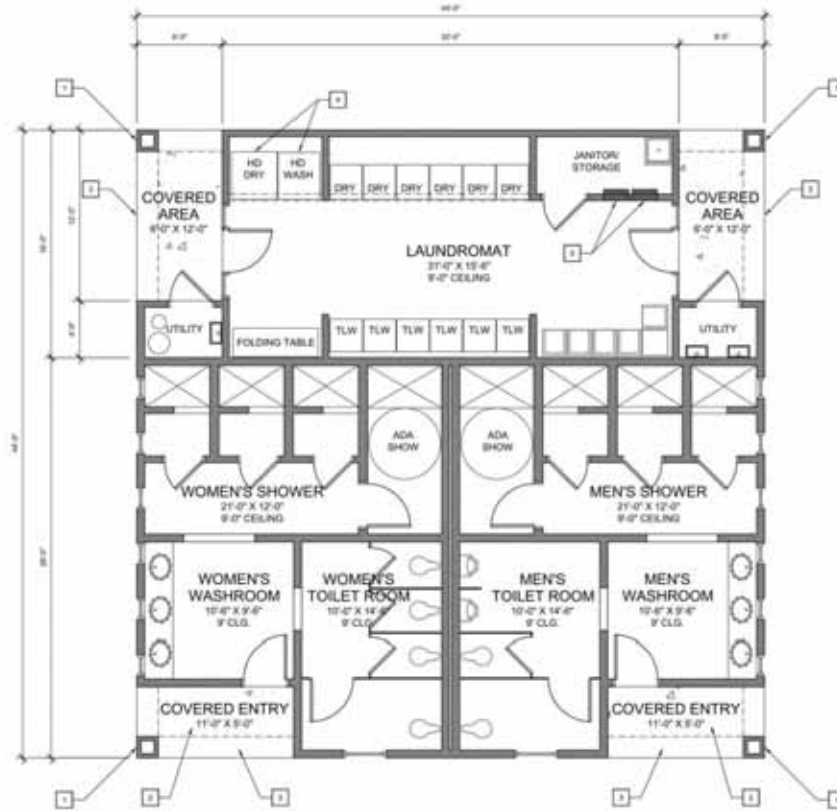
BACK ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"

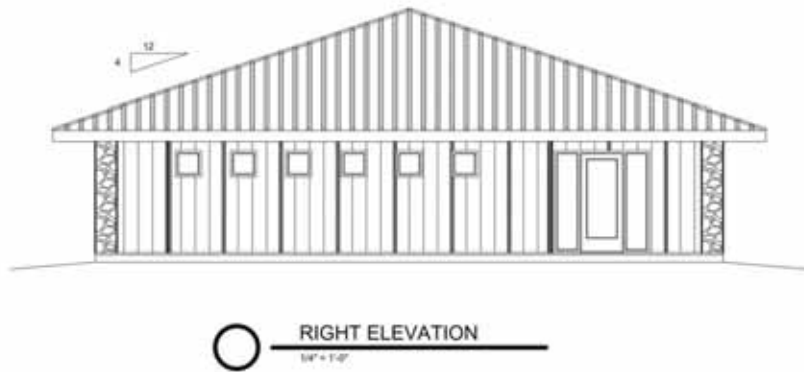
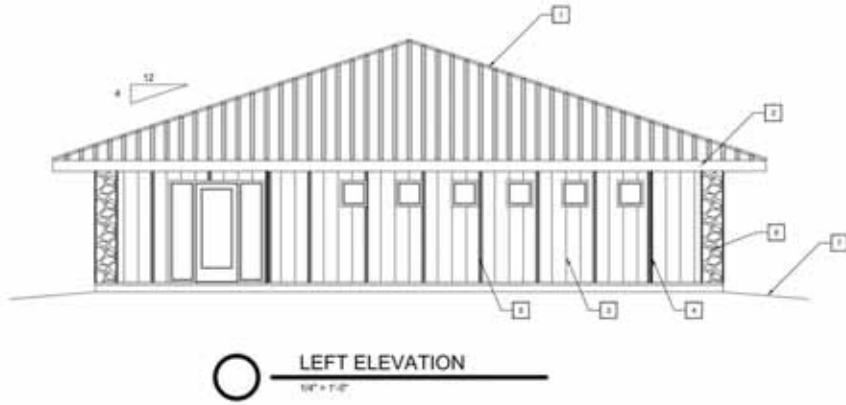
FLOOR PLAN CALLOUTS	
RESTROOM/SHOWER/LAUNDROMAT	
1.	ENTRANCE COLUMNS SHALL BE 12" SQUARE WITH CEMENT PLASTER FINISH.
2.	BEAMS BETWEEN COLUMNS SHALL BE 12" WIDE TO MATCH COLUMN AND SHALL HAVE A CEMENT PLASTER FINISH.
3.	ENTRANCE AND WALK-WAY FLOOR SHALL BE DECORATIVE CONCRETE SURFACE.
4.	ONE PAIR OF HEAVY DUTY RUBBER AND HEAVY DUTY DRY SHALL BE LOCATED IN EACH LAUNDROMAT.
5.	SOAP DISPENSER VENDING MACHINE SHALL BE LOCATED IN AN ACCESSIBLE AREA.

Exhibit M-1



FLOOR PLAN - SHOWER-RESTROOM-LAUNDROMAT 1/8" = 1'-0"

○	WOMEN'S RESTROOM/SHOWER:	561 SQ. FT.
	MEN'S RESTROOM/SHOWER:	561 SQ. FT.
	COVERED RESTROOM ENTRANCES (2):	110 SQ. FT.
	LAUNDROMAT:	660 SQ. FT.
	COVERED LAUNDROMAT ENTRANCES (2):	144 SQ. FT.



ELEVATION CALLOUTS	
CLUB HOUSE	
1.	NEW CORRUGATED METAL ROOFING SHALL MATCH ROOFING OF EXISTING BUILDING.
2.	PASCA AND SAVERS SHALL BE 2 X 12. ALL SAVERS SHALL HAVE SCOTTED HAND-BOARDED SCOTCH FINISH.
3.	EXTERIOR SIDING SHALL BE HIRD BOARD PANELS WITH GROOVES AT 2" O.C.
4.	FINISHES APPROVED HARDWARE AT ALL PANEL EDGES, CORNERS, AND ALL OPENINGS.
5.	SAFTS SHALL BE 2 X 2 TRIM SET AT 4" O.C.
6.	ENTRANCE COLUMNS SHALL BE 2" SQUARE WITH STONE VENEER FINISH.
7.	ENTRY TOWER SHALL HAVE ARCHED OPENING IN FRONT.
8.	VERANDA COLUMNS SHALL BE 2" SQUARE WITH STONE VENEER FINISH.
9.	SLOPE GRASS AWAY FROM BUILDING 1% FOR 12'-0"