

**RESOLUTION NO PC 17-013**  
**A RESOLUTION OF THE PLANNING COMMISSION**  
**OF THE CITY OF EL PASO DE ROBLES APPROVING**  
**VARIANCE 17-001 – OVERHEAD UTILITIES**  
**5151 JARDINE ROAD**  
**(CABERNET LINKS RV & GOLF - ERSKINE)**  
**APNs: 025-442-021 - 023 & 025-444-001 - 014**

WHEREAS, an application for Planned Development 15-004 and Conditional Use Permit 94-005 Amendment has been filed by Tom Erskine for development of a 290 space Recreational Vehicle (RV) resort within the existing Links Golf Course, and ancillary site improvements, as shown in the proposed Site Plan in Exhibit B; and

WHEREAS, in conjunction with PD 15-004 and CUP 94-005 Amendment, Vesting Tentative Tract Map 3088 has been submitted requesting to eliminate 39 existing lots created Tract 2716, and resubdivide the property into 9 lots, that would include the golf course, RV resort, vineyards, and future new resort compatible commercial uses; and

WHEREAS, the project site is located at 5151 Jardine Road; and

WHEREAS, since the approval of the Links Golf Course in 1994 via CUP 94-005, there has been a requirement to underground the existing overhead utility line that enters the site from the east at Jardine Road and continues west along the entry road on to the site; and

WHEREAS, the City Subdivision Ordinance Section 22.24.190. requires that above ground utility lines in conjunction with a subdivisions; and

WHEREAS, since there are multiple utility lines along Jardine and Beacon Roads that are located above ground, and since the construction related to underground the utility line will impact existing vineyard, driveway and parking lot improvements the applicant has submitted an application for Variance 17-001 requesting that a portion of the utility lines that extends through the project site be allowed to stay above ground; and

WHEREAS, pursuant to the Statutes and Guidelines of the California Environmental Quality Act (CEQA), and the City's Procedures for Implementing CEQA, an Initial Study was prepared for the project; and

WHEREAS, based on the information and analysis contained in the Initial Study, staff determined that the proposed project as designed, and with appropriate mitigation measures added as conditions of approval, will not result in significant environmental impacts, and a Mitigated Negative Declaration was prepared and circulated for public review and comment in full compliance with CEQA; and

WHEREAS, a public hearing was conducted by the Planning Commission on February 28, 2017, to consider facts as presented in the staff report prepared for the development plan amendment, and to accept public testimony regarding the application; and

**WHEREAS**, based upon facts and analysis presented in the staff report and the attachments thereto, the public testimony received and subject to the Conditions of Approval listed in Res. PC 17-014, approving PD 15-004, Res. PC 17-015 approving CUP 94-005 Amendment, and Res. PC 17-016 approving Vesting Tentative Tract 3098, the Planning Commission makes the following finding:

1. That the situation is a special circumstance, since the Cabernet Links and RV Resort, is located on the outside edge of the City limits adjacent to County properties where there is not the requirement by the County to underground overhead utility lines, therefore by approving Variance 17-001 allowing the existing overhead utility lines to remain overhead, would be consistent with the other overhead utility lines in the Jardine Road area.
2. That the situation is not a grant of special privilege, since the utility line would be consistent with other above ground utilities adjacent to this project site.

**NOW, THEREFORE, BE IT RESOLVED**, that the Planning Commission of the City of El Paso de Robles does hereby approve Variance 17-001, allowing the existing overhead utility line that extends on to the site from Jardine Road, along the project entrance line and ends at the boundary of the site at the adjacent Paso Robles Vineyard property to remain above ground, as shown on Exhibit A attached to this resolution.

PASSED AND ADOPTED THIS 28<sup>th</sup> day of February 2017 by the following roll call vote:

AYES: Barth, Donaldson, Agredano, Davis, Brennan, Rollins

NOES: None

ABSENT: None

ABSTAIN: None

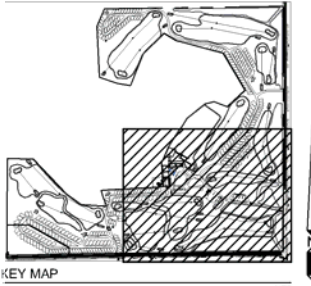
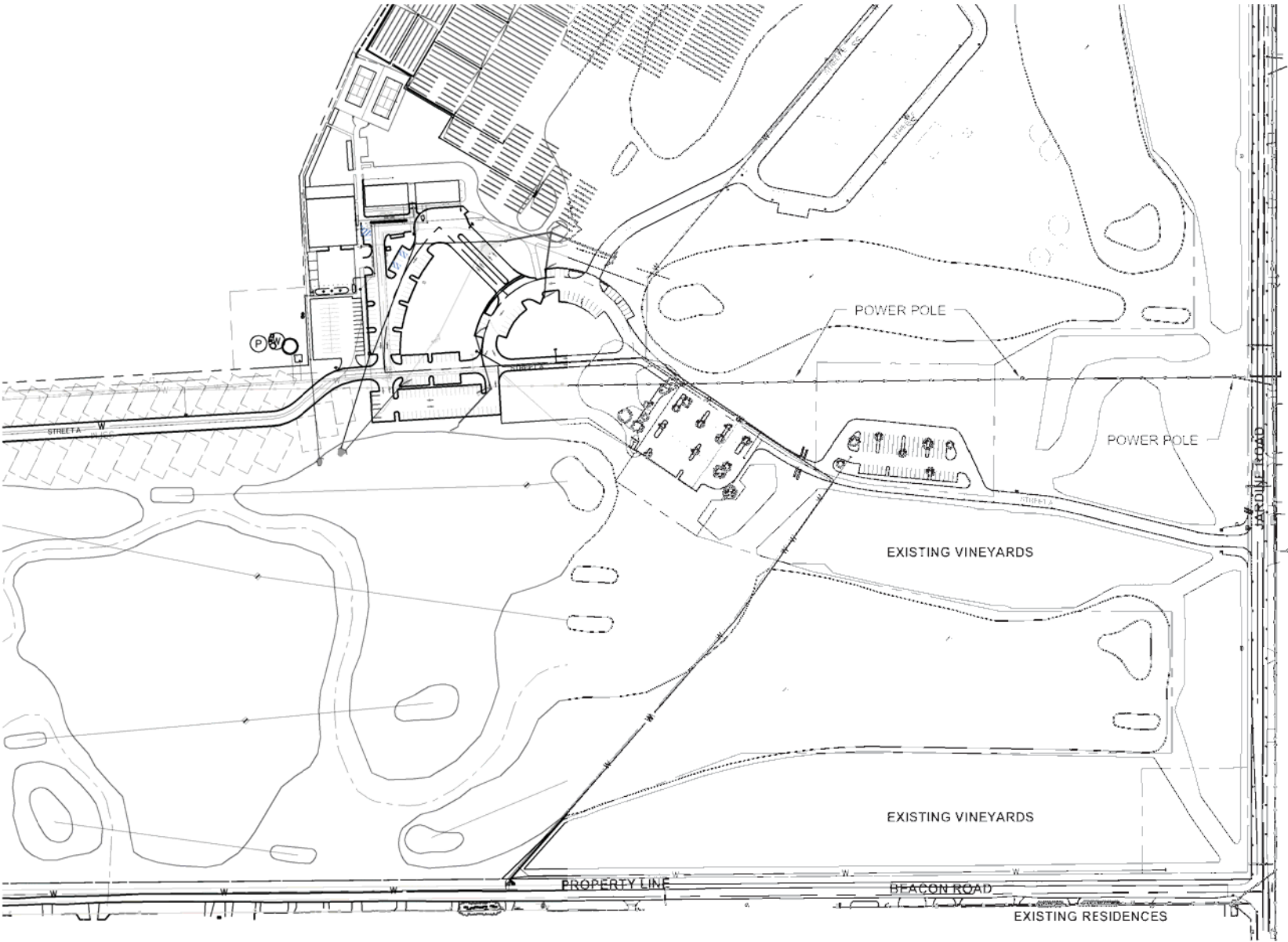
  
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Bob Rollins, Chairperson

ATTEST:

  
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Warren Frace, Planning Commission Secretary

Exhibit A: Limits of Proposed Overhead Utilities

Exhibit - A



**THE CABERNET  
LINKS & RV RESORT**



137 CLARENCE COURT  
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 1-800-542-6911 • 575-534-8234  
 www.137c.com

**LIMITS OF PROPOSED  
OVERHEAD UTILITIES**

November 4, 2015