

RESOLUTION NO. 17-010
A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
APPROVING PLANNED DEVELOPMENT 16-009
(Union Road LLC)
APN: 025-402-024

WHEREAS, Tentative Tract 3098 has been filed by Union Road LLC, a proposal to subdivide an approximate 3.13-acre site into nine single family residential lots; and

WHEREAS, the site is located on the northwest corner of Union Road and Prospect Avenue; and

WHEREAS, Planned Development 16-009 has been filed in conjunction with this tentative map request to meet Section 21.23B.030 of the Zoning Code, which requires Planning Commission approval of a development plan for base zones which are in the planned development (overlay) district; and

WHEREAS, the project is located within the Union / 46 Specific Plan Area for which an Environmental Impact Report was already prepared and certified by the City Council and the project has been made to comply with the Specific Plan; and

WHEREAS, Section 15182 of the State's Guidelines to Implement the California Environmental Quality Act (CEQA) exempts projects from additional environmental review when it can be determined that the subject project(s) is consistent with the adopted Specific Plan of which it is a part; and

WHEREAS, reducing the minimum lot widths from 80-feet to 65-feet are permitted in order to allow additional flexibility to design around the oak trees on Lot 5 as allowed by Section 21.16A, Planned Development District; and

WHEREAS, a public hearing was conducted by the Planning Commission on January 24, 2017, to consider facts as presented in the staff report prepared for this project, and to accept public testimony regarding the application; and

Section 1- Findings: based upon the facts and analysis presented in the staff report, public testimony received and subject to the conditions listed below, the Planning Commission makes the following findings:

1. The proposed Planned Development is consistent with the purpose, intent and regulations set forth in Chapter 21.16A (Planned Development Overlay District Regulations) as follows:
 - a. The granting of this permit will not adversely affect the policies, spirit and intent on the general plan, applicable specific plans, the zoning code, policies and plans of the City;
 - b. The proposed project is designed to be sensitive to, and blend in with, the character of the site and surrounding area;
 - c. The proposed project's design and density of developed portion of the site is compatible with surrounding development and does not create a disharmonious or disruptive element to the surrounding area;
 - d. The development would be consistent with the purpose and intent of this chapter and would not be contrary to the public health, safety and welfare;
 - e. The project is consistent with the policies for development established within the Union/46 Specific Plan;

- f. The request to allow the reduction of the lot widths for Lots 6-9 would allow for additional area to build outside of the critical root zones of the oak trees on Lot 5 and would comply with the intent of Chapter 21.16.A (Planned Development Overlay District Regulations).

Section 2- Environmental Determination: This projects qualifies for as exempt from environmental review under the State's Guidelines to Implement the California Environmental Quality Act (CEQA) per Section 15182 (Residential Projects Pursuant to a Specific Plan).

Section 3 - Approval: Planned Development 16-009 is recommended for approval subject to the following:

1. This Planned Development coincides with Tentative Tract Map 3098 and authorizes the subdivision of approximately 3.13-acre site into a maximum of 9 single family residential lots ranging from approximately 10,000 square feet to 21,095 square feet in size (maintaining an average of 12,000 square feet). With the approval of PD 16-009, the lot width of Lots 6-9 may be reduced to 65-feet wide, as shown on the Tentative Tract Map, Exhibit B.
2. The project shall be constructed so as to substantially conform with the following listed exhibits established by this resolution:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Project Conditions
B	Tentative Tract Map
C	Preliminary Grading Plan
D	Fence and Wall Plan
E	Preliminary Landscape Plan

PASSED AND ADOPTED THIS 24th Day of January 2017 by the following Roll Call Vote:

AYES: Commissioners Barth, Donaldson, Rollins, Agredano, Davis and Brennan.

NOES:

ABSENT: Commissioner Burgett

ABSTAIN:


CHAIRMAN BOB ROLLINS

ATTEST:


WARREN FRACE, PLANNING COMMISSION SECRETARY

Exhibit A

Project Conditions

(PD 16-009 – Union Road LLC)

1. The project shall comply with all conditions of approval contained in the resolution granting approval to Tentative Tract 3098 and its exhibits. NOTE: In the event of conflict or duplication between standard and site specific conditions, the site specific condition shall supersede the standard condition.
2. The project shall be constructed so as to substantially conform with the following listed exhibits and conditions established by this resolution:

EXHIBIT	DESCRIPTION
B	Tentative Tract Map
C	Preliminary Grading & Drainage
D	Fence & Wall Plan
E	Preliminary Landscape Plan

(Full size plans are on file with the Community Development Department)

3. This Planned Development 16-009 coincides with Tentative Tract Map 3098 and authorizes the subdivision of approximately 3-acre site into a maximum of 9 single family residential lots ranging from approximately 10,000 square feet to 21,095 square feet in size (maintaining an average of 12,000 square feet). With the approval of PD 16-009, the lot width of Lots 6-9 may be reduced to 65-foot wide, as shown on the Tentative Tract Map, Exhibit A.
4. The maximum number of residential lots permitted within this subdivision/development plan shall be 9. No lots shall be eligible for further subdivision (with the exception of minor lot line adjustments).
5. Prior to the issuance of a Building Permit for each lot, site plans, architectural elevations, colors/materials, fencing plans and landscaping plans shall be submitted to the Development Review Committee (DRC). At a minimum, all elevations visible from the public street shall have window trim such consistent with that of the front elevation. After the initial review of homes for the Tract have been reviewed by the DRC and the character of the neighborhood has been established, the DRC can give the responsibility of plan review of the remaining lots to staff.
6. The following architectural elements are minimum requirements for the homes on each lot:
 - a. Tile roofs or a similar architectural composition roof;
 - b. Architectural features shall be provided on all homes with elevations visible from a street. The architectural features will be determined by the DRC, but at minimum, decorative window trim is required.

7. The home on Lot 5 shall be constructed within the developable area as shown on the Tentative Tract Map attached to this resolution (Exhibit A). In no circumstance can the house foot print extend out of the developable area and further impact the oak trees.
8. Prior to Tract acceptance, a 6-foot wood fence shall be constructed on the west end of the "hammer-head" to screen lights from cars traveling west bound on the street.



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project:

Union Road and Prospect Avenue Tentative Tract Map #3098
LEGAL DESCRIPTION:
UNION ROAD, TRACT 2431, SHOWING A
SUBDIVISION OF TRACT 2431, CITY
OF PASO ROBLES, COUNTY OF SAN LUIS
OBISPO, CALIFORNIA
APN: 025-402-024
ZONING: R-1/PD-3

Client:

Union Road LLC
6947 Sycamore Road, Unit B
Atascadero, CA 93422

Sheet Title:

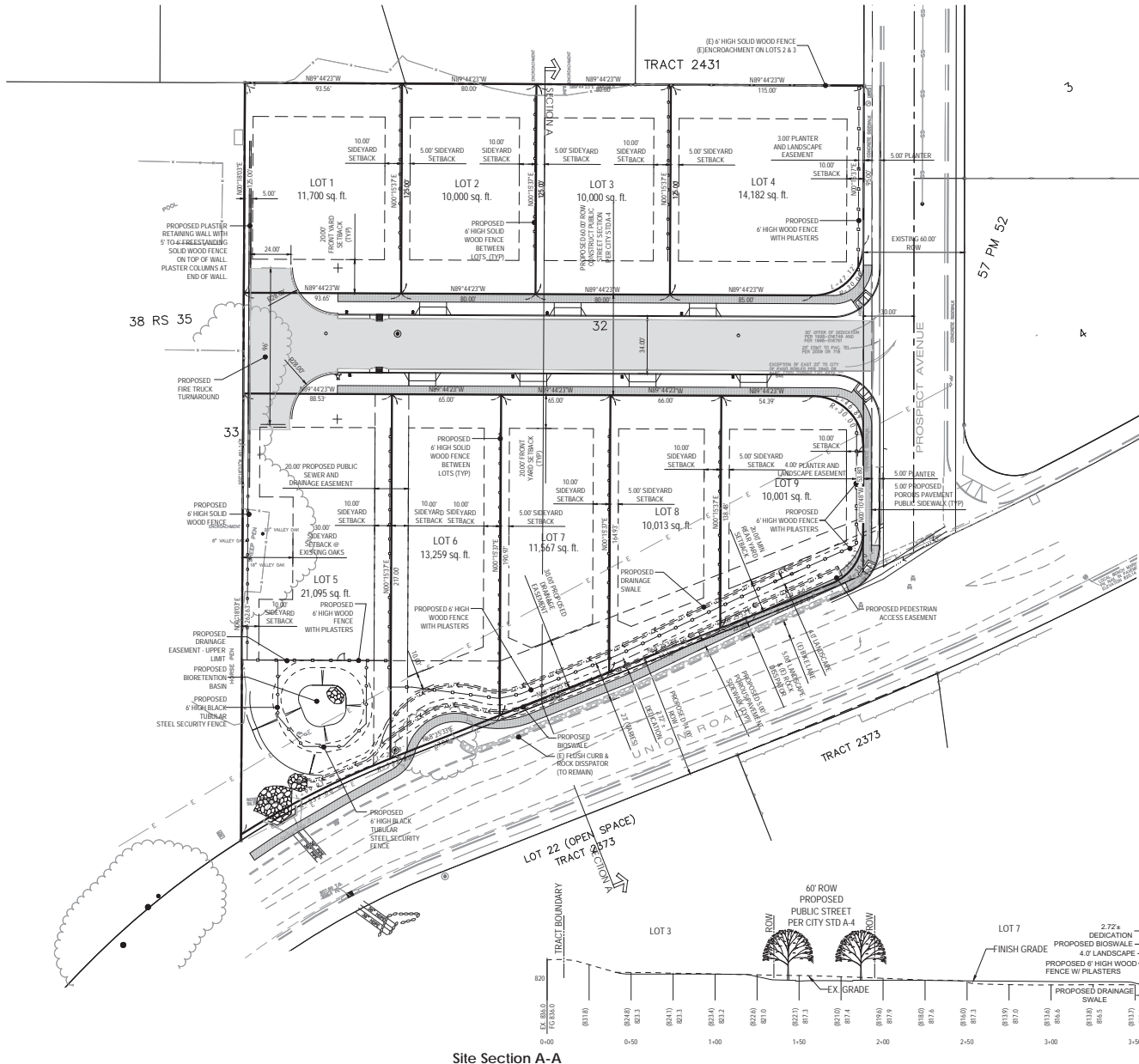
Tentative Tract Map #3098

Sheet Data:

Job: Union & Prospect Paso Robles
Plot Date: 08/26/16
Drawn By: SC
Revision Date:

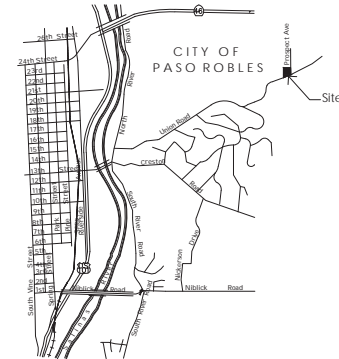
Sheet:

1



Tentative Tract Map #3098

Site Section A-A



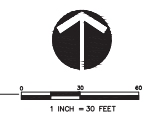
Vicinity Map
No Scale

Statistics

Existing Parcel Size: 3.13 acres
APN: 025-402-024
Zoning: R-1/PD-3
Existing and Adjacent Uses:
Existing Use: Vacant Land
Adjacent Uses: Residential Single Family Units
Proposed Project Description:
A subdivision of Lot 32 of Prospect Heights into nine
(9) R-1/PD3 (residential) lots.

Notes

- Topographic and boundary information provided by MBS land surveys.
- Easements have been plotted from title report by United Independent title order no. 7110-313303 dated April 26, 2006. There was no easement listed for the overhead power lines transecting the property.
- Property lines shown are based on record information, and a boundary survey was not performed.





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project:

Union Road and Prospect Avenue Tentative Tract Map

LEGAL DESCRIPTION: PARTS OF SHOWING MAPS FILED IN BOOKS 1418 & 1419 OF PASO ROBLES, COUNTY OF SAN LUIS OBISPO, CALIFORNIA

client:
 Union Road LLC
 6947 Sycamore Road, Unit B
 Atascadero, CA 93422

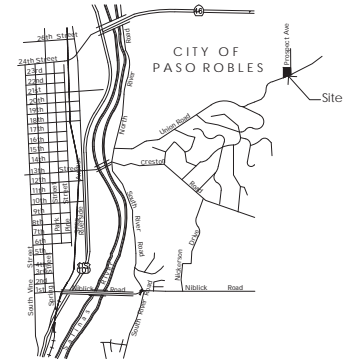
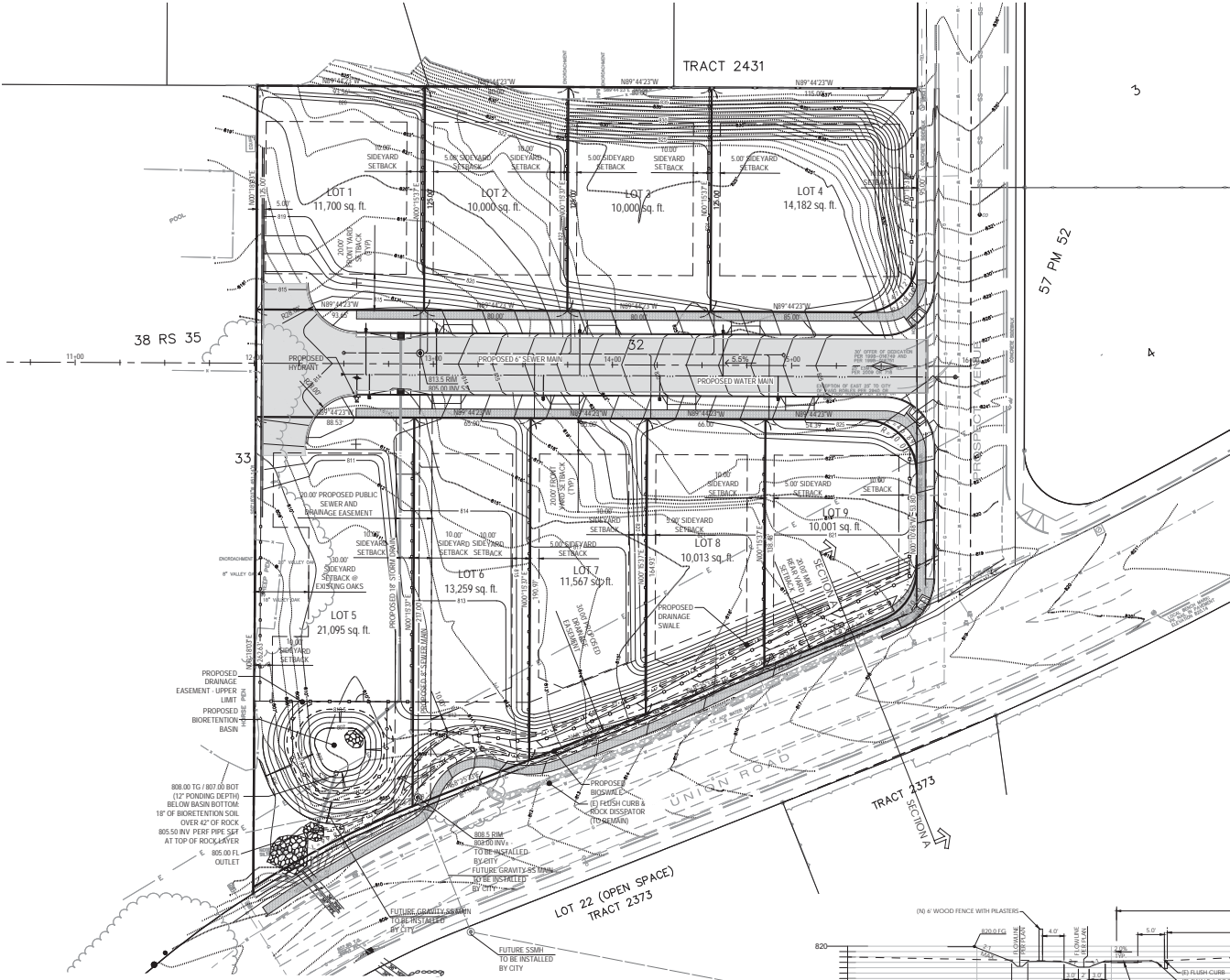
sheet title:
 Tentative Tract Map #3098
 Preliminary Grading, Drainage and Utility Plan

sheet data:
 Job - Union & Prospect Paso Robles
 Plot Date: 08/26/16
 Drawn By: SG
 Revision Date:

sheet:

2

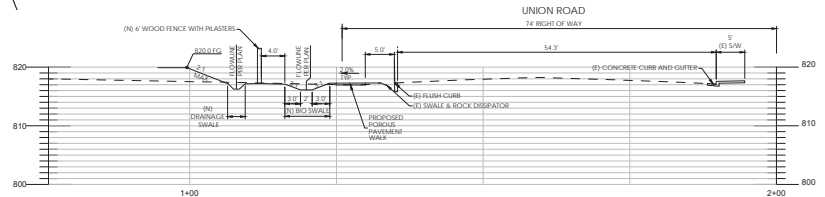
of 4 sheets



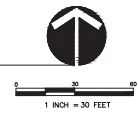
Vicinity Map
 No Scale

Notes

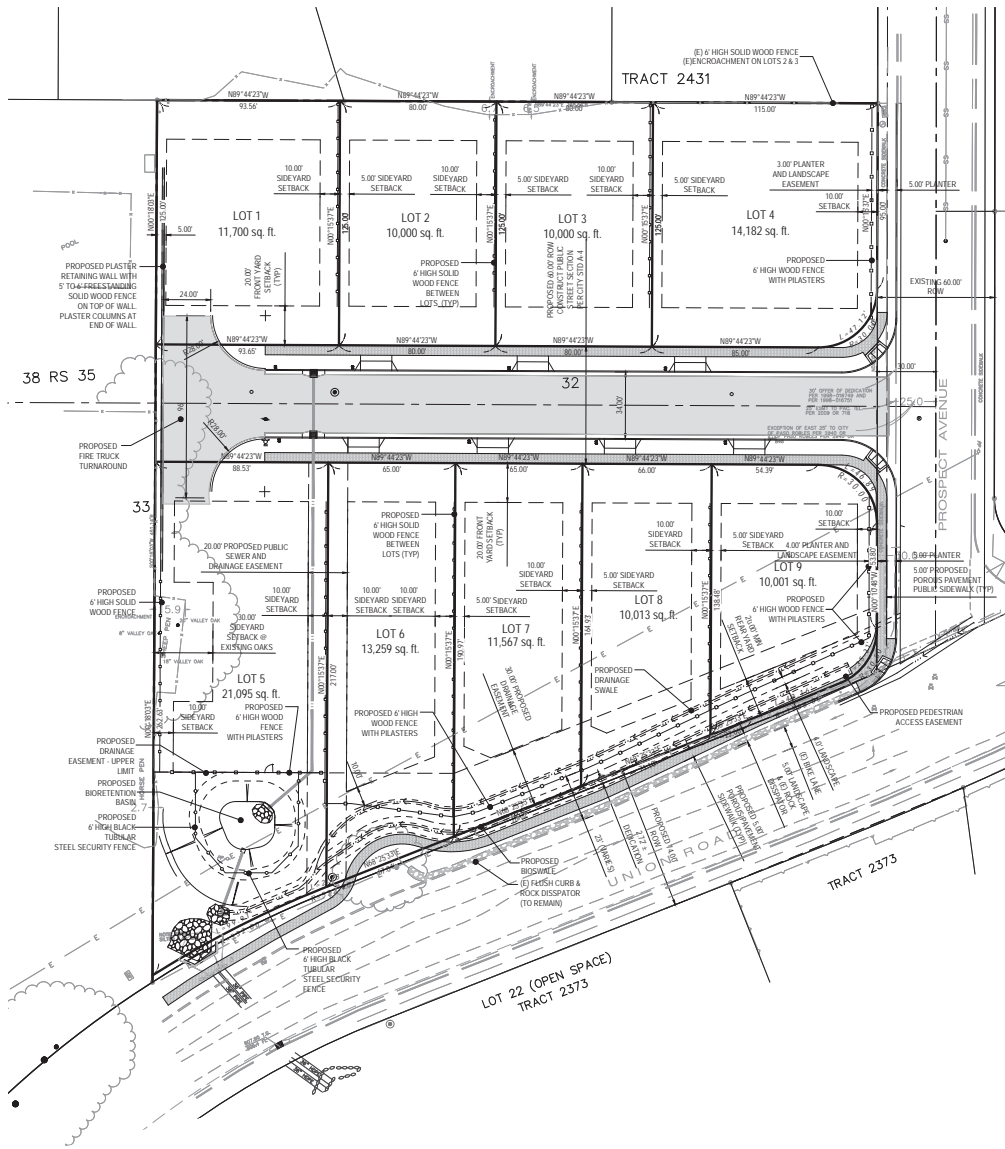
1. Preliminary Earthwork:
 Cut 4190 cy Fill 3300 cy Export 890 cy
2. The proposed gravity sewer system as shown assumes that City sewer main and infrastructure, shown as future, will be available and operational prior to completion of Tract Sewer improvement plans and permit approval. Should facilities not be available then a lift station and force main will be engineered and will connect to the sewer main termination in Prospect Ave.



SECTION A-A



Tentative Tract Map #3098 - Preliminary Grading, Drainage and Utility Plan

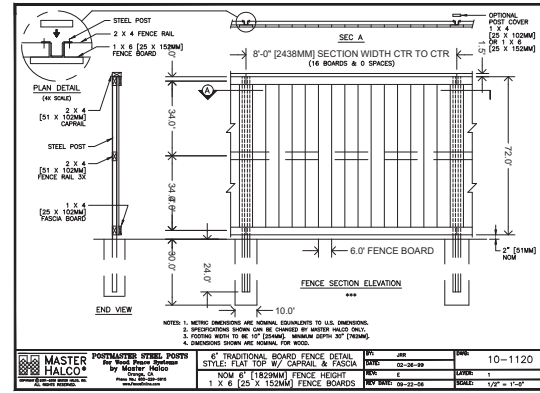


Fence Plan

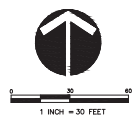


Masonry Pilaster / Wood Fence Wall Detail

- NOTES:
1. ALL MASONRY PILASTERS TO BE 8" X 8" X 16" BLOCK WITH SMOOTH PLASTER FINISH.
 2. PILASTERS TO BE SPACED 25' ON CENTER.
 3. WOOD FENCE BETWEEN PILASTERS TO BE SOLID WOOD FENCE WITH HORIZONTAL TOP CAP.



Wood Fence Detail



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project:

Union Road and Prospect Avenue Tentative Tract Map

LEGAL DESCRIPTION: 1/4 ACRES, PART OF MAP 1451, PART OF PANDORILES, COUNTY OF SAN LUIS OBISPO, CALIFORNIA
 APN: 023-402-024
 ZONING: R-1/PD-3

client:

Union Road LLC
 6947 Sycamore Road, Unit B
 Atascadero, CA 93422

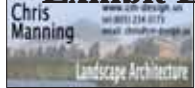
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Tentative Tract Map #3098 - Fence / Screen Detail

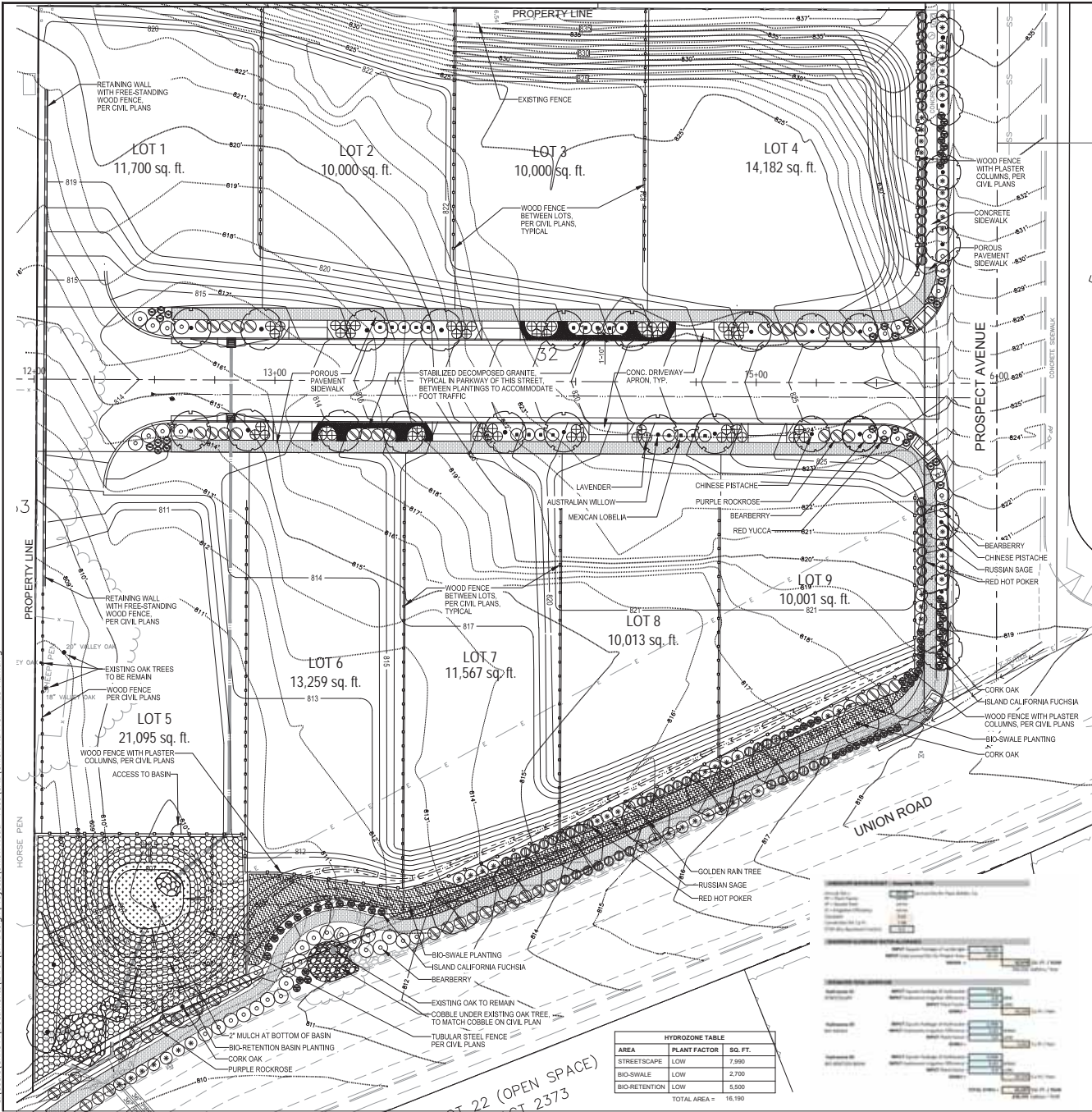
sheet data:

Job : Union & Prospect Paso Robles
 Plot Date: 01/12/2017
 Drawn By: SG
 Revision Date:

sheet:



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TREES	BOTANICAL NAME	COMMON NAME	QT	SIZE	SPACING	WUCOLS	NOTES
○	<i>Gelera parviflora</i> - or - <i>Rubus x ambigua</i> "Purple Robin"	Australian Willow - or - Purple Robin Locust	8	15 Gal.	Per Plan	Low	Standard Trunk 8 ft. H., 1" Dia. Caliper
○	<i>Koeleria paniculata</i>	Golden Rain Tree	6	15 Gal.	Per Plan	Very Low	Standard Trunk 8 ft. H., 1" Dia. Caliper
○	<i>Pistacia chinensis</i>	Chinese Pistache	9	15 Gal.	Per Plan	Very Low	Standard Trunk 8 ft. H., 1" Dia. Caliper
○	<i>Quercus suber</i>	Cork Oak	13	15 Gal.	Per Plan	Very Low	Standard Trunk 8 ft. H., 1" Dia. Caliper

STREETSCAPE PLANTING PALETTE							
SYMBOL	BOTANICAL NAME	COMMON NAME	QT	SIZE	SPACING	WUCOLS	NOTES
○	<i>Cistus purpurea</i>	Purple Rockrose	55	5 Gal.	5'-4" OC	Low	
○	<i>Cotoneaster dammeri</i> "Mower"	Bearberry	36	1 Gal.	6'-4" OC	Low	
○	<i>Hesperaloe</i> "Brake Lights"	Red Yucca	25	1 Gal.	Per Plan	Low	
○	<i>Lavandula</i> spp.	Lavender	56	1 Gal.	4'-0" OC	Low	
○	<i>Lobelia laurifolia</i>	Mexican Lobelia	18	1 Gal.	5'-0" OC	Low	
○	<i>Perovskia atriplicifolia</i> "Blue Spire"	Russian Sage	56	1 Gal.	5'-4" OC	Low	
○	<i>Kopchoda</i> "Bressingham Corner"	Red Hot Poker	65	1 Gal.	4'-4" OC	Low	
○	<i>Zauschneria californica</i> "Catalina"	Island California Fuchsia	64	1 Gal.	4'-4" OC	Very Low	

BIO-SWALE PLANTING PALETTE							
SYMBOL	BOTANICAL NAME	COMMON NAME	QT	SIZE	SPACING	WUCOLS	NOTES
○	<i>Juncus patens</i> "Elk Blue"	Elk Blue California Rush	Approx. 23	1 Gal.	4'-4" OC	Low	
○	<i>Baccharis pilularis</i> "Pigeon Plant"	Dwarf Coyote Brush	Approx. 40	1 Gal.	6'-4" OC	Low	
○	<i>Leymus condensatus</i> "Canyon Prince"	Canyon Prince Wild Rye	Approx. 30	1 Gal.	5'-4" OC	Low	
○	<i>Minimus cardinalis</i>	Scarlet Monkey Flower	Approx. 45	1 Gal.	4'-0" OC	Low	
○	<i>Muhlenbergia rigens</i>	Deer Grass	Approx. 30	1 Gal.	5'-4" OC	Low	
○	<i>Salvia spathacea</i>	Hummingbird Sage	Approx. 35	1 Gal.	3'-4" OC	Very Low	
○	<i>Zauschneria californica</i> "Catalina"	Island California Fuchsia	Approx. 45	1 Gal.	4'-4" OC	Very Low	

BIO-RETENTION PLANTING PALETTE							
SYMBOL	BOTANICAL NAME	COMMON NAME	QT	SIZE	SPACING	WUCOLS	NOTES
○	<i>Arctostaphylos</i> "Pacific Mist"	Pacific Mist Manzanita	Approx. 23	1 Gal.	8'-4" OC	Low	
○	<i>Baccharis pilularis</i> "Pigeon Plant"	Dwarf Coyote Brush	Approx. 23	1 Gal.	8'-4" OC	Low	
○	<i>Eriogonum giganteum</i>	St. Catherine's Lace	Approx. 41	1 Gal.	8'-4" OC	Very Low	
○	<i>Heteromesa arbutifolia</i>	Toyon	Approx. 15	5 Gal.	10'-0" OC	Low	
○	<i>Muhlenbergia rigens</i>	Deer Grass	Approx. 60	1 Gal.	8'-4" OC	Low	
○	<i>Romneya coulteri</i>	Mattija Poppy	Approx. 41	1 Gal.	8'-4" OC	Very Low	

HYDROZONE TABLE		
AREA	PLANT FACTOR	SQ. FT.
STREETSCAPE	LOW	7,990
BIO-SWALE	LOW	2,700
BIO-RETENTION	LOW	5,500
TOTAL AREA =		16,190

1. LINEAR TREE ROOT BARRIERS SHALL BE INSTALLED WHEN TREES ARE RATED WITH HIGH TO MODERATE ROOT DAMAGE POTENTIAL, AND WHEN TREES ARE WITHIN 6 FT. OF PAVING.
2. SPRAY HEAD IRRIGATION WILL BE UTILIZED FOR BIO-RETENTION AND BIO-SWALE PLANTERS, AND DRIP IRRIGATION WILL BE USED FOR ALL OTHER PLANTERS.
3. ALL SUBSEQUENT PLANS SHALL MEET CURRENT WATER CONSERVATION REQUIREMENTS.
4. STREETSCAPE PLANTER AREAS SHALL RECEIVE 3" DEPTH OF MULCH, WITH THE EXCEPTION PARKWAYS BETWEEN NEW STREET AND INDIVIDUAL LOTS, WHERE MULCH WILL BE PLACED DIRECTLY UNDER PLANTINGS AND DECOMPOSED GRANITE WILL BE PLACED IN AREAS BETWEEN TO ALLOW FOR FOOT TRAFFIC FROM PARKED CARS.
5. BIO-SWALE PLANTERS SHALL RECEIVE 2" LAYER OF STRINGY TEXTURED OR "GORILLA HAIR" MULCH.

PRELIMINARY LANDSCAPE PLAN
 PROJECT NAME & ADDRESS
UNION ROAD & PROSPECT AVENUE
 TENTATIVE TRACT MAP SUBMITTAL
 PASO ROBLES, CA.

REVISION	DATE

DRAWN BY
 CM
 OWNER APPROVAL

STAMP

PROJECT NUMBER
 16020

FILE NAME
 union rd prelim ls plan

PLOT DATE
 January 12, 2017

SHEET NUMBER
L-1.0