

RESOLUTION NO. 17-008

**A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
APPROVING PLANNED DEVELOPMENT (PD 16-006)
APPLICANT PASO ROBLES INN/MARTIN RESORTS
600 12TH STREET, APN: 009-093-039**

WHEREAS, Paso Robles Inn/Martin Resorts submitted a Planned Development (PD 16-006) application to construct a 23-room, 4-story, 17,946 sf hotel on a vacant infill parcel that is approximately 0.22-acres in area, located at 600 12th Street, APN 009-093-039; and

WHEREAS, the property is zoned in the Uptown/Town Center Specific Plan as Town Center-1 (TC-1), and is designated in the General Plan as Downtown Commercial with a Historic Preservation Overlay (DC-HP). Hotels are a permitted land use in the TC-1 zone, and are consistent with the DC-HP General Plan designation; and

WHEREAS, the front façade is proposed to be three stories (40.9 feet in height), with a fourth story proposed towards the rear half of the building, up to 50 feet in height. Therefore, the building height complies with the 50-foot/4-story height limit of the TC-1 Zone. The building roof includes a couple mechanical appurtenances that would extend above the roofline, up to 52 feet in height. In accordance with the Zoning Code, Section 21.20.130, the height may extend above the height limit for mechanical appurtenances; and

WHEREAS, the project would require 23 parking spaces for guest rooms and approximately five employee parking spaces. The required parking spaces for the new hotel building are proposed to be provided on the Paso Robles Inn site and accessed through a walkway at the rear of the new hotel building; and

WHEREAS, the project complies with the applicable setback requirements of the Uptown/Town Center Specific Plan, and provides five-foot wide walkways on both sides of the building. The building has a "L" shaped footprint, which provides an interior courtyard for guests. Guest room balconies are proposed to overlook both the courtyard and the front street. A guest wine bar and lounge area is proposed on the roof deck of the building. A walkway "paseo" is proposed at the rear of the site to provide a pedestrian connection to the main Paso Robles Inn resort campus and parking areas. A brick pedestrian archway is proposed at the property lines to provide a formal entry point between the existing development and the new proposed hotel; and

WHEREAS, the building incorporates primarily brick exterior finish materials along the front elevation, with stucco to be used on interior courtyard and partially on the side wall elevations. Balconies are proposed to be aluminum clad with dark bronze finishes. The front elevation also includes a steel entry awning and decorative steel side gates; and

WHEREAS, the proposed architectural building form reflects the historic downtown design theme, with a storefront building frontage, including divided pane windows (with arched upper windows), that are conducive to the pedestrian-oriented scale of downtown Paso Robles, and consistent with the Uptown/Town Center Specific Plan; and

WHEREAS, the project also includes a request to approve a small building towards the rear of the site, next to the existing ballroom. This building would house a hot mineral water tank, and is designed to be consistent with the surrounding architectural theme of the main Paso Robles Inn buildings. This "out" building would be below the height limits and consistent with all other applicable development standards; and

WHEREAS, in accordance with the California Environmental Quality Act (CEQA) Guidelines Section 15332, this project is Categorically Exempt (Class 32, Infill), from environmental review, and no environmental analysis is required. Consistency criteria include: (1) the project is consistent with all applicable development regulations; (2) the project site is within the City limits; (3) the project site is less than five acres; (4) the site does not have habitat value; and (5) the project would not result in significant environmental effects related to traffic, noise, air quality or water quality; and

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles does hereby approve Planned Development 16-006, subject to the following conditions of approval:

Section 1. The above recitals are true and correct and incorporated herein by reference.

Section 2. Findings. In accordance with Zoning Ordinance Section 21.23B.050, Findings for Approval of Development Plans, and based upon the facts and analysis presented in the staff report and the attachments thereto, the public testimony received, and subject to the Conditions of Approval listed below, the Planning Commission makes the following findings:

1. The project is consistent with the goals and policies established by the General Plan, since the project would provide for expanded hotel development that supports infill development in the downtown, and additional tourist-oriented development.
2. The project is consistent with and supports the intent of the Town Center-1 (TC-1) zone in the Uptown/Town Center Specific Plan since it would help preserve and augment Downtown's unique historical value while enhancing its economic vitality.
3. The project is a "permitted" use in the Town Center-1 (TC-1) Zone in the Uptown/Town Center Specific Plan (UTCSP), and complies with all applicable development standards in the UTCSP and Zoning Ordinance.
4. The proposed development plan will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the person residing or working in the neighborhood, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the city since the property is surrounded by similar land uses, and it would not result in significant noise, traffic, light, glare, or other potential effects.
5. The proposed development plan accommodates the aesthetic quality of the city as a whole since it is designed consistent with the historic, pedestrian-scale development pattern of the downtown area, and incorporates an historic themed architectural form and would utilize compatible building materials such as brick, stucco, ornamental metalwork, and divided pane windows and balconies.
6. The proposed development plan is compatible with, and is not detrimental to, surrounding land uses and improvements, provides an appropriate visual appearance, and is an infill development project that would not impact environmental resources, and is therefore exempt from environmental review (Class 32), under the California Environmental Quality Act.
7. The proposed development plan is compatible with existing surrounding development and historic buildings, as noted in #4 above.

8. The proposed development plan contributes to the orderly development of the city as a whole by providing a well-designed project that is suitable for the location where it is proposed and surrounding land uses in the vicinity.

Section 3. Conditions. The Planning Commission of the City of El Paso de Robles does hereby approved Planned Development 16-006, subject to the following Conditions of Approval.

1. This project shall comply with the Project Specific Conditions of Approval attached hereto as Exhibit A, and the checked Standard Conditions of Approval, attached hereto as Exhibit B, and incorporated herein by reference.

PASSED AND ADOPTED THIS 24th day of January, 2017 by the following Roll Call Vote:

AYES: Commissioners Donaldson, Davis, Agredano, Barth, Brennan, and Chairman Rollins
NOES: None
ABSENT: Commissioner Burgett
ABSTAIN: None



Chairman, Bob Rollins

ATTEST:



Warren Frace, Planning Commission Secretary

Exhibits:

- A. Project Specific Conditions of Approval
- B. Standard Conditions
- C. Architectural Appearance Renderings
- D. Site Plan
- E. Elevations
- F. Color and Materials
- G. Landscape Plan
- H. Floor Plans
- I. Preliminary Grading Plan

Exhibit A

PROJECT SPECIFIC CONDITIONS:

NOTE: In the event of conflict or duplication between standard and site-specific conditions, the site-specific condition shall supersede the standard condition.

Planning Division Conditions:

2. The project shall be constructed in substantial conformance with the Conditions of Approval established by this Resolution and it shall be constructed in substantial conformance with the following Exhibits:

EXHIBITS	DESCRIPTION
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- | | |
|--|--|
| | B. Standard Conditions |
| | C. Architectural Appearance Renderings |
| | D. Site Plan |
| | E. Elevations |
| | F. Color and Materials |
| | G. Landscape Plan |
| | H. Floor Plans |
| | I. Preliminary Grading Plan |

3. The project shall be designed and constructed to be in substantial conformance with the site plan, landscape plan, elevations, floor plans, colors and materials, and preliminary grading plan approved with this resolution.
4. Approval of this project is valid for a period of two (2) years from date of approval. Unless permits have been issued and site work has begun, the approval of Planned Development 16-006 shall expire on January 24, 2019. The Planning Commission may extend this expiration date if a Time Extension application has been filed with the City along with the fees before the expiration date.
5. Prior to issuance of certificates of use and occupancy, the property owner or authorized agent is required to pay the City's Development Impact Fees.
6. No underground or aboveground storage of hazardous materials shall be allowed on-site without first obtaining City approval.
7. Temporary construction noise levels in excess of 60 decibels shall be restricted to the daylight hours of 7am to 6pm. Noise levels shall be measured or monitored from site boundaries or the nearest adjoining residential use to determine compliance.
8. Use and operation of the project and its appurtenances shall be conducted in compliance with the City's General Performance Standards for all uses (Section 21.21.040 of Chapter 21.21 Performance Standards of the City's Zoning Ordinance).
9. The applicant shall submit a parking agreement to provide permanent use of 28 parking spaces on the Paso Robles Inn property (APN 009-093-071) for use by the new hotel expansion, and permanent pedestrian access between the two properties owned by Paso Robles Inn in a form to be

approved by the City Attorney prior to occupancy of the new hotel expansion located at 600 12th Street (APN 009-093-039).

10. Self-generating water softener equipment shall be prohibited.

Engineering Division Conditions:

11. A Stormwater Control Plan needs to be submitted with the grading plan for the project.
12. Details for screening the double check valve assembly on the fire line need to be provided, and shall be located on the project site so that it is screened from view.
13. Curb, gutter, tree wells and sidewalk on 12th Street must be reconstructed as determined by the City Engineer to remove the existing driveway approach, repair all utility trenches and to repair any construction damage.
14. Two street trees with decorative grates (City Std. C-4) shall be placed in the reconstructed tree wells on 12th Street. Street tree species shall be approved by the Community Service Department and installed per City Std L-3.
15. A decorative street light, owned and maintained by PG&E, shall be placed adjacent to the west side of the existing cross-walk in front of the new building on 12th Street. Street light standard to be approved by City Engineer.
16. New private easements must be recorded to cover private sewer relocations.

EXHIBIT B

CITY OF EL PASO DE ROBLES
STANDARD DEVELOPMENT CONDITIONS

<input checked="" type="checkbox"/> <u>Planned Development</u>	<input type="checkbox"/> <u>Conditional Use Permit</u>
<input type="checkbox"/> <u>Tentative Parcel Map</u>	<input type="checkbox"/> <u>Tentative Tract Map</u>
<u>Approval Body: Planning Commission</u>	<u>Date of Approval: January 24, 2016</u>
<u>Applicant: Paso Robles Inn/Martin Resorts</u>	<u>Location: 600 12th Street</u>
<u>APN: 009-093-039</u>	

The following conditions that have been checked are standard conditions of approval for the above referenced project. The checked conditions shall be complied with in their entirety before the project can be finalized, unless otherwise specifically indicated. In addition, there may be site specific conditions of approval that apply to this project in the resolution.

COMMUNITY DEVELOPMENT DEPARTMENT - The applicant shall contact the Community Development Department, (805) 237-3970, for compliance with the following conditions:

A. GENERAL CONDITIONS – PD/CUP:

- 1. This project approval shall expire on January 24, 2019 unless a time extension request is filed with the Community Development Department, or a State mandated automatic time extension is applied prior to expiration.
- 2. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Planned Development process shall not waive compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
- 3. To the extent allowable by law, Owner agrees to hold City harmless from costs and expenses, including attorney's fees, incurred by City or held to be the liability of City in connection with City's defense of its actions in any proceeding brought in any State or Federal court challenging the City's actions with respect to the project. Owner understands and acknowledges that City is under no obligation to defend any legal actions challenging the City's actions with respect to the project.

- 4. Any site specific condition imposed by the Planning Commission in approving this project may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the approval of this project. No such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use for this approval.
- 5. The site shall be kept in a neat manner at all times and the landscaping shall be continuously maintained in a healthy and thriving condition.
- 6. All signs shall be subject to review and approval as required by Municipal Code Section 21.19 and shall require a separate application and approval prior to installation of any sign.
- 7. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 8. Prior to the issuance of a Building Permit a landscape and irrigation plan consistent with the Landscape and Irrigation Ordinance, shall be submitted for City review and approval. The plan needs to be designed in a manner that utilizes drought tolerant plants, trees and ground covers and minimizes, if not eliminates the use of turf. The irrigation plan shall utilize drip irrigation and limit the use of spray irrigation. All existing and/or new landscaping shall be installed with automatic irrigation systems.
- 9. A reciprocal parking and access easement and agreement for site access, parking, and maintenance of all project entrances, parking areas, landscaping, hardscape, common open space, areas and site lighting standards and fixtures, shall be recorded prior to or in conjunction with the Final Map. Said easement and agreement shall apply to all properties, and be referenced in the site Covenants, Conditions and Restrictions (CC&Rs).
- 10. All outdoor storage shall be screened from public view by landscaping and walls or fences per Section 21.21.110 of the Municipal Code.
- 11. For commercial, industrial, office or multi-family projects, all refuse enclosures are required to provide adequate space for recycling bins. The enclosure shall be architecturally compatible with the primary building. Gates shall be view obscuring and constructed of durable materials. Check with Paso Robles Waste Disposal to determine the adequate size of enclosure based on the number and size of containers to be stored in the enclosure.

- 12. For commercial, industrial, office or multi-family projects, all existing and/or new ground-mounted appurtenances such as air-conditioning condensers, electrical transformers, backflow devices etc., shall be screened from public view through the use of decorative walls and/or landscaping subject to approval by the Community Development Director or his designee. Details shall be included in the building plans.
- 13. All existing and/or new roof appurtenances such as air-conditioning units, grease hoods, etc. shall be screened from public view. The screening shall be architecturally integrated with the building design and constructed of compatible materials to the satisfaction of the Community Development Director or his designee. Details shall be included in the building plans.
- 14. All existing and/or new lighting shall be shielded so as to be directed downward in such a manner as to not create off-site glare or adversely impact adjacent properties. The style, location and height of the lighting fixtures shall be submitted with the building plans and shall be subject to approval by the Community Development Director or his designee.
- 15. It is the property owner's responsibility to insure that all construction of private property improvements occur on private property. It is the owner's responsibility to identify the property lines and insure compliance by the owner's agents.
- 16. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No.835 N.S., Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to removal.
- 17. No storage of trash cans or recycling bins shall be permitted within the public right-of-way.
- 18. Prior to recordation of the map or prior to occupancy of a project, all conditions of approval shall be completed to the satisfaction of the City Engineer and Community Developer Director or his designee.
- 19. Two sets of the revised Planning Commission approved plans incorporating all Conditions of Approval, standard and site specific, shall be submitted to the Community Development Department prior to the issuance of building permits.
- 20. Prior to the issuance of building permits, the
 - Development Review Committee shall approve the following:
 - Planning Division Staff shall approve the following:

- a. A detailed site plan indicating the location of all structures, parking layout, outdoor storage areas, walls, fences and trash enclosures;
- b. A detailed landscape plan;
- c. Detailed building elevations of all structures indicating materials, colors, and architectural treatments;
- d. Other: grading plan review

B. GENERAL CONDITIONS – TRACT/PARCEL MAP:

- 1. In accordance with Government Section 66474.9, the subdivider shall defend, indemnify and hold harmless the City, or its agent, officers and employees, from any claim, action or proceeding brought within the time period provided for in Government Code section 66499.37, against the City, or its agents, officers, or employees, to attack, set aside, void, annul the City's approval of this subdivision. The City will promptly notify subdivider of any such claim or action and will cooperate fully in the defense thereof.
- 2. The Covenants, Conditions, and Restrictions (CC&Rs) and/or Articles Affecting Real Property Interests are subject to the review and approval of the Community Development Department, the Public Works Department and/or the City Attorney. They shall be recorded concurrently with the Final Map or prior to the issuance of building permits, whichever occurs first. A recorded copy shall be provided to the affected City Departments.
- 3. The owner shall petition to annex residential Tract (or Parcel Map)_____ into the City of Paso Robles Community Facilities District No. 2005-1 for the purposes of mitigation of impacts on the City's Police and Emergency Services Departments.
- 4. Street names shall be submitted for review and approval by the Planning Commission, prior to approval of the final map.
- 5. The following areas shall be permanently maintained by the property owner, Homeowners' Association, or other means acceptable to the City:

ENGINEERING DIVISION- The applicant shall contact the Engineering Division, (805) 237-3860, for compliance with the following conditions:

All conditions marked are applicable to the above referenced project for the phase indicated.

(Adopted by Planning Commission Resolution _____)

C. PRIOR TO ANY PLAN CHECK:

- 1. The applicant shall enter into an Engineering Plan Check and Inspection Services Agreement with the City.

D. PRIOR TO ISSUANCE OF A GRADING PERMIT:

- 1. Prior to approval of a grading plan, the developer shall apply through the City, to FEMA and receive a Letter of Map Amendment (LOMA) issued from FEMA. The developer's engineer shall provide the required supporting data to justify the application.
- 2. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No. 553, Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to its removal.
- 3. A complete grading and drainage plan shall be prepared for the project by a registered civil engineer and subject to approval by the City Engineer. The project shall conform to the City's Storm Water Discharge Ordinance.
- 4. A Preliminary Soils and/or Geology Report providing technical specifications for grading of the site shall be prepared by a Geotechnical Engineer.
- 5. A Storm Water Pollution Prevention Plan per the State General Permit for Storm Water Discharges Associated with Construction Activity shall be provided for any site that disturbs greater than or equal to one acre, including projects that are less than one acre that are part of a larger plan of development or sale that would disturb more than one acre.

E. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

- 1. All off-site public improvement plans shall be prepared by a registered civil engineer and shall be submitted to the City Engineer for review and approval. The improvements shall be designed and placed to the Public Works Department Standards and Specifications.
- 2. The applicant shall submit a composite utility plan signed as approved by a representative of each public utility.
- 3. Landscape and irrigation plans for the public right-of-way shall be incorporated into the improvement plans and shall require approval by the Streets Division Supervisor and the Community Development Department.

- 4. In a special Flood Hazard Area as indicated on a Flood Insurance Rate Map (FIRM) the owner shall provide an Elevation Certificate in accordance with the National Flood Insurance program. This form must be completed by a land surveyor or civil engineer licensed in the State of California.

F. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY OR RECORDATION OF THE FINAL MAP:

The Planning Commission has made a finding that the fulfillment of the construction requirements listed below are a necessary prerequisite to the orderly development of the surrounding area.

- 1. The applicant shall pay any current and outstanding fees for Engineering Plan Checking and Construction Inspection services.
- 2. All public improvements are completed and approved by the City Engineer, and accepted by the City Council for maintenance.
- 3. The owner shall offer to dedicate and improve the following street(s) to the standard indicated:

Street Name	City Standard	Standard Drawing No.
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- 4. If, at the time of approval of the final map, any required public improvements have not been completed and accepted by the City the owner shall be required to enter into a Subdivision Agreement with the City in accordance with the Subdivision Map Act.

Bonds required and the amount shall be as follows:
 Performance Bond.....100% of improvement costs.
 Labor and Materials Bond.....50% of performance bond.

- 5. If the existing City street adjacent to the frontage of the project is inadequate for the traffic generated by the project, or will be severely damaged by the construction, the applicant shall excavate the entire structural section and replace it with a standard half-width street plus a 12' wide travel lane and 8' wide graded shoulder adequate to provide for two-way traffic.
- 6. If the existing pavement and structural section of the City street adjacent to the frontage of the project is adequate, the applicant shall provide a new structural section from the proposed curb to the edge of pavement and shall overlay the existing paving to centerline for a smooth transition.
- 7. Due to the number of utility trenches required for this project, the City Council

adopted Pavement Management Program requires a pavement overlay on along the frontage of the project.

- 8. The applicant shall install all utilities. Street lights shall be installed at locations as required by the City Engineer. All existing overhead utilities adjacent to or within the project shall be relocated underground except for electrical lines 77 kilovolts or greater. All utilities shall be extended to the boundaries of the project.

- 9. The owner shall offer to dedicate to the City the following easement(s). The location and alignment of the easement(s) shall be to the description and satisfaction of the City Engineer:
 - a. Public Utilities Easement;
 - b. Water Line Easement;
 - c. Sewer Facilities Easement;
 - d. Landscape Easement;
 - e. Storm Drain Easement.

- 10. The developer shall annex to the City's Landscape and Lighting District for payment of the operating and maintenance costs of the following:
 - a. Street lights;
 - b. Parkway/open space landscaping;
 - c. Wall maintenance in conjunction with landscaping;
 - d. Graffiti abatement;
 - e. Maintenance of open space areas.

- 11. For a building with a Special Flood Hazard Area as indicated on a Flood Insurance Rate Map (FIRM), the developer shall provide an Elevation Certificate in accordance with the National Flood Insurance Program. This form must be completed by a lands surveyor or civil engineer licensed in the State of California.

- 12. All final property corners shall be installed.

- 13. All areas of the project shall be protected against erosion by hydro seeding or landscaping.

- 14. All construction refuse shall be separated (i.e. concrete, asphalt concrete, wood gypsum board, etc.) and removed from the project in accordance with the City's Source Reduction and Recycling Element.

- 15. Clear blackline mylars and paper prints of record drawings, signed by the engineer of record, shall be provided to the City Engineer prior to the final inspection. An electronic autocad drawing file registered to the California State Plane – Zone 5 / NAD83 projected coordinate system, units in survey feet, shall be provided.

PASO ROBLES DEPARTMENT OF EMERGENCY SERVICES- The applicant shall contact the Department of Emergency Services, (805) 227-7560, for compliance with the following conditions:

G. GENERAL CONDITIONS

1. Prior to the start of construction:
 - Plans shall be reviewed, approved and permits issued by Emergency Services for underground fire lines.
 - Applicant shall provide documentation to Emergency Services that required fire flows can be provided to meet project demands.
 - Fire hydrants shall be installed and operative to current, adopted edition of the California Fire Code.
 - A based access road sufficient to support the department's fire apparatus (HS-20 truck loading) shall be constructed and maintained for the duration of the construction phase of the project.
 - Access road shall be at least twenty (20) feet in width with at least thirteen (13) feet, six (6) inches of vertical clearance.
 - Truck access road shall be at least twenty (26) feet in width with at least thirteen (13) feet, six (6) inches of vertical clearance. Minimum set-back 15', maximum 30'.
 - Dead-End: Project shall provide secondary access of approved fire access road(s).

2. Provide central station monitored fire sprinkler system for all residential, commercial and industrial buildings that require fire sprinklers in current, adopted edition of the California Building Code, California Fire Code and Paso Robles Municipal Code.
 - Plans shall be reviewed, approved and permits issued by Emergency Services for the installation of fire sprinkler systems.

3. Provide central station monitored fire sprinkler system for all residential, commercial and industrial buildings that require fire sprinklers in current, adopted edition of the California Building Code, California Fire Code and Paso Robles Municipal Code.
 - Plans shall be reviewed, approved and permits issued by Emergency Services for the installation of fire sprinkler systems.

4. Class 1 standpipe system(s) shall be provided with 2 ½" hose connections to supply water for use by fire department personnel at each floor in accordance to NFPA 14 for all residential, commercial and industrial buildings that are or exceed three (3) stories in height or above 30 feet. Location shall be at the entrance/exit

(Adopted by Planning Commission Resolution _____)

way of the stairway system. Travel distance greater than 200' feet will compel additional standpipe system(s) in each stairwell.

Plans shall be reviewed, approved and permits issued by Emergency Services for the installation of fire sprinkler systems.

5. If required by the Fire Chief, provide on the address side of the building if applicable:

Fire alarm annunciator panel in weatherproof case.

Knox box key entry box or system.

Fire department connection to fire sprinkler system.

6. Provide temporary turn-around to current City Engineering Standard for phased construction streets that exceed 150 feet in length.

7. Provide permanent turn-around to current City Engineering Standard for driveway/access roads that exceed 150 feet in length.

8. Project shall comply with all requirements in current, adopted edition of California Fire Code and Paso Robles Municipal Code.

9. Prior to the issuance of Certificate of Occupancy:

Final inspections shall be completed on all underground fire lines, fire sprinkler systems, fire alarm systems and chemical hood fire suppression systems.

Final inspections shall be completed on all buildings.

Exhibit C
Architectural Renderings



Exhibit C
Architectural Renderings



Exhibit C
Architectural Renderings



Exhibit C
Architectural Renderings



Exhibit C
Architectural Renderings



Exhibit C
Architectural Renderings



Exhibit D-1 Site Plan



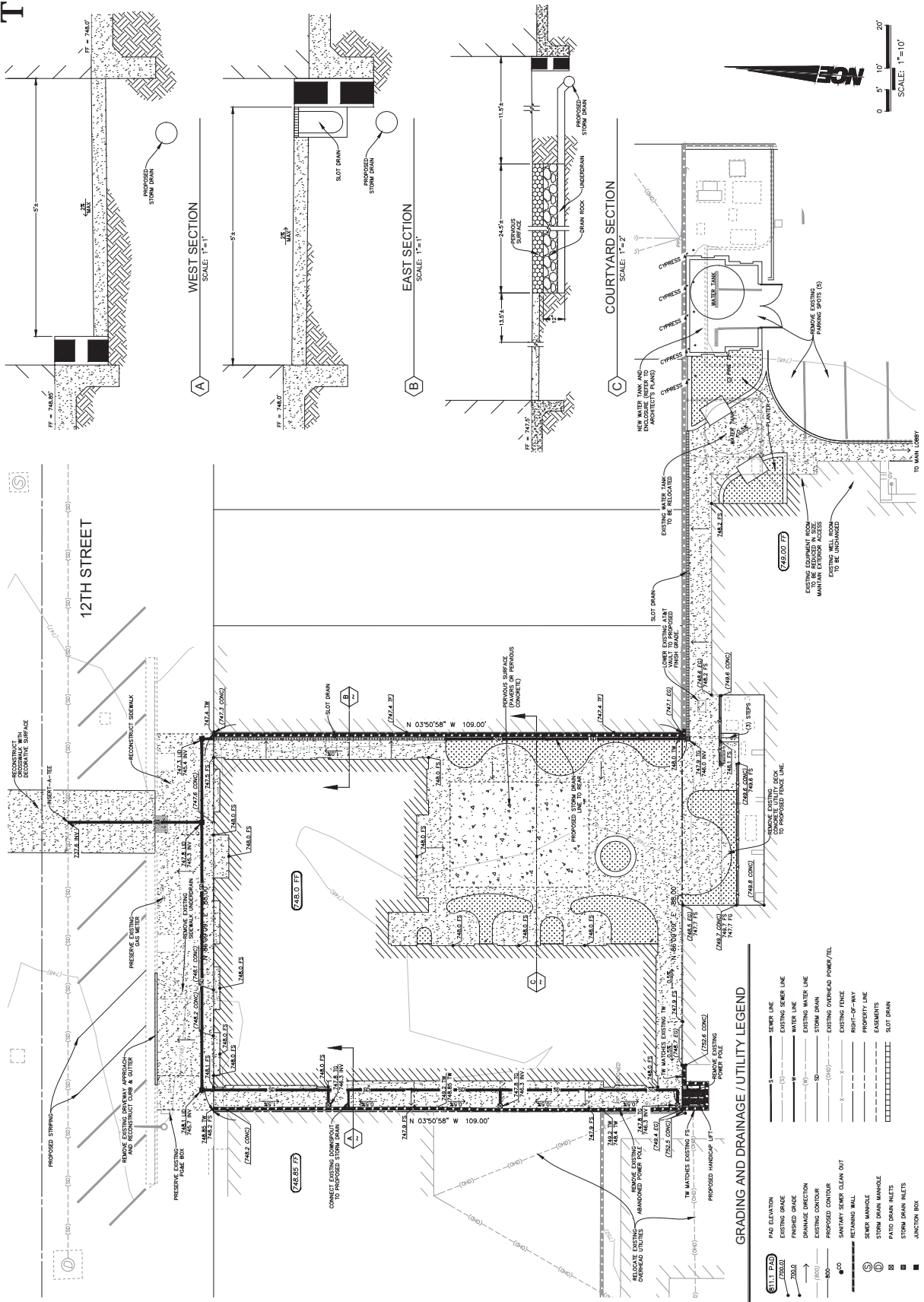
Attachment D-2. Technical Site Plan

**TEN OVER
STUDIO, INC**
805.541.010
539 Marsh Street
San Luis Obispo, CA
info@tenoverstudio.com
tenoverstudio.com

SET NOT FOR
CONSTRUCTION

NCE
NORTH COAST
ENGINEERS ARCHITECTS

PASO ROBLES INN EXPANSION - PLANNING DEVELOPMENT SUBMIT
600 TWELFTH ST PASO ROBLES, CA
DATE: 01/13/2017



GRADING AND DRAINAGE / UTILITY LEGEND

①	PAV ELEVATION	—	SEWER LINE
②	EXISTING GRADE	—	EXISTING SEWER LINE
③	DRAINAGE DIRECTION	—	EXISTING WATER LINE
④	EXISTING DRAINAGE	—	STORM DRAIN
⑤	PROPOSED DRAINAGE	—	EXISTING OVERHEAD POWER/WEL
⑥	PROPOSED CONTOUR	—	EXISTING FENCE
⑦	SANITARY TOWER CLEAN OUT	—	RIGHT-OF-WAY
⑧	RETAINING WALL	—	PROPERTY LINE
⑨	SEWER MANHOLE	—	EASEMENTS
⑩	STORM DRAIN MANHOLE	—	PROPERTY LINE
⑪	PATIO DRAIN MANHOLE	—	EASEMENTS
⑫	STORM DRAIN INLET	—	SLOT DRAIN
⑬	STORM DRAIN INLET	—	JUNCTION BOX

Exhibit E Elevations

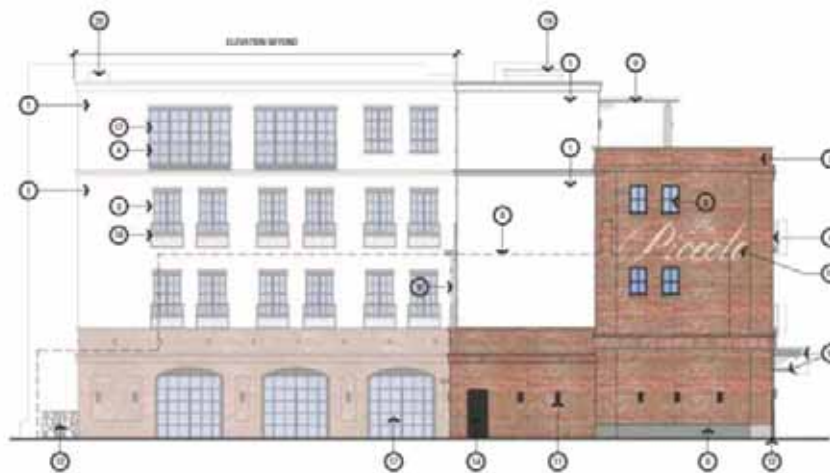


KEYNOTES

- | | |
|---|---|
| <ul style="list-style-type: none"> 1. STUCCO 2. BRICK 3. ALUMINUM CLAD WINDOWS, DARK BRONZE 4. AJALETTE BALCONY, DARK BRONZE PAINT 5. RUSTY METAL PANELS, DARK BRONZE 6. ADJACENT BUILDING 7. ALUMINUM CLAD DOORS W/ FULL GLAZING & DECORATIVE SCREENS 8. CONCRETE BASE 9. TRILLES STRUCTURE 10. STEEL ENTRY AWNING | <ul style="list-style-type: none"> 11. WALL SCIENCE 12. DECORATIVE STEEL SIDE GATE 13. ALUMINUM CLAD BI-FOLD DOORS W/ FULL GLAZING & DECORATIVE SCREENS 14. SOLID DOORS, DARK BRONZE 15. HOTEL SIGNAGE 16. DECORATIVE STEEL CLASH RAIL, DARK BRONZE PAINT 17. ALUMINUM CLAD DOORS W/ FULL GLAZING 18. DECORATIVE PLASQUE 19. ELEVATOR OVERHUNG 20. MECHANICAL EQUIPMENT |
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NORTH ELEVATION (12TH STREET)

SCALE 3/32" = 1'-0"

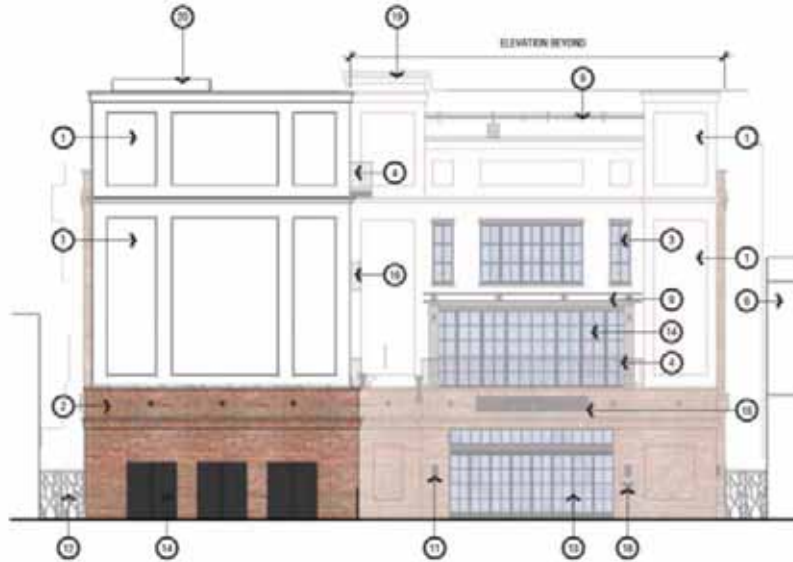


KEYNOTES

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|---|---|
| <ul style="list-style-type: none"> 1. STUCCO 2. BRICK 3. ALUMINUM CLAD WINDOWS, DARK BRONZE 4. AJALETTE BALCONY, DARK BRONZE PAINT 5. RUSTY METAL PANELS, DARK BRONZE 6. ADJACENT BUILDING 7. ALUMINUM CLAD DOORS W/ FULL GLAZING & DECORATIVE SCREENS 8. CONCRETE BASE 9. TRILLES STRUCTURE 10. STEEL ENTRY AWNING | <ul style="list-style-type: none"> 11. WALL SCIENCE 12. DECORATIVE STEEL SIDE GATE 13. ALUMINUM CLAD BI-FOLD DOORS W/ FULL GLAZING & DECORATIVE SCREENS 14. SOLID DOORS, DARK BRONZE 15. HOTEL SIGNAGE 16. DECORATIVE STEEL CLASH RAIL, DARK BRONZE PAINT 17. ALUMINUM CLAD DOORS W/ FULL GLAZING 18. DECORATIVE PLASQUE 19. ELEVATOR OVERHUNG 20. MECHANICAL EQUIPMENT |
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EAST ELEVATION

SCALE 3/32" = 1'-0"



KEYNOTES

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|---|--|
| <ul style="list-style-type: none"> 1. STUCCO 2. BRICK 3. ALUMINUM CLAD WINDOWS, DARK BRONZE 4. JULIETTE BALCONY, DARK BRONZE FIN 5. ROSET METAL PANELS, DARK BRONZE 6. ADJACENT BUILDING 7. ALUMINUM CLAD DOORS W/ FULL GLAZING & DECORATIVE SCREENS 8. CONCRETE BASE 9. TRELLIS STRUCTURE 10. STEEL ENTRY AWNING | <ul style="list-style-type: none"> 11. WALL SCORING 12. DECORATIVE STEEL SIDE GATE 13. ALUMINUM CLAD BI-FOLD DOORS W/ FULL GLAZING & DECORATIVE SCREENS 14. SOLID DOORS, DARK BRONZE 15. HOTEL SIGNAGE 16. DECORATIVE STEEL GUARD RAIL, DARK BRONZE FINISH 17. ALUMINUM CLAD DOORS W/ FULL GLAZING 18. DECORATIVE PLAQUE 19. ELEVATOR OVERRUN 20. MECHANICAL EQUIPMENT |
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SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

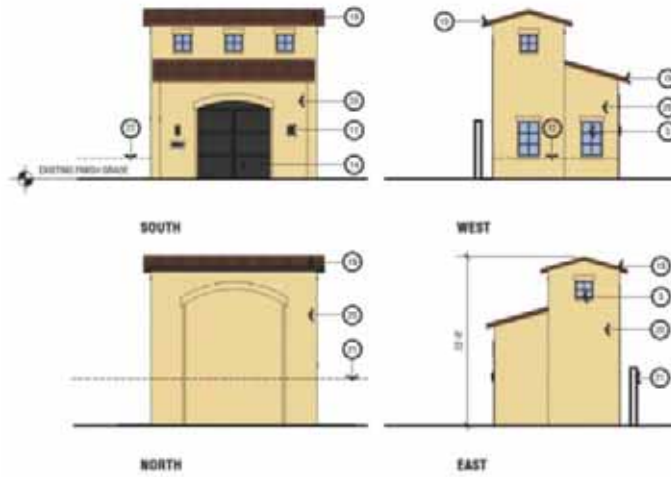


KEYNOTES

- | | |
|---|--|
| <ul style="list-style-type: none"> 1. STUCCO 2. BRICK 3. ALUMINUM CLAD WINDOWS, DARK BRONZE 4. JULIETTE BALCONY, DARK BRONZE FIN 5. ROSET METAL PANELS, DARK BRONZE 6. ADJACENT BUILDING 7. ALUMINUM CLAD DOORS W/ FULL GLAZING & DECORATIVE SCREENS 8. CONCRETE BASE 9. TRELLIS STRUCTURE 10. STEEL ENTRY AWNING | <ul style="list-style-type: none"> 11. WALL SCORING 12. DECORATIVE STEEL SIDE GATE 13. ALUMINUM CLAD BI-FOLD DOORS W/ FULL GLAZING & DECORATIVE SCREENS 14. SOLID DOORS, DARK BRONZE 15. HOTEL SIGNAGE 16. DECORATIVE STEEL GUARD RAIL, DARK BRONZE FINISH 17. ALUMINUM CLAD DOORS W/ FULL GLAZING 18. DECORATIVE PLAQUE 19. ELEVATOR OVERRUN 20. MECHANICAL EQUIPMENT |
|---|--|

WEST ELEVATION

SCALE: 3/32" = 1'-0"



- 11. WALL SCOURE
- 12. DECORATIVE STEEL SKEE GUTS
- 13. ALUMINUM CLAD IN FIELD DOORS AT FULL GLAZING & DECORATIVE SCREENS
- 14. SOLID DOORS, DARK BRONZE
- 15. HOTEL BRONZE
- 16. DECORATIVE STEEL SQUARE ORNL, DARK BRONZE FINISH
- 17. ALUMINUM CLAD DOORS AT FULL GLAZING
- 18. DECORATIVE PLASTER
- 19. ASPHALT TILE ROOF, TO MATCH EXISTING

- 20. STUCCO TO MATCH EXISTING
- 21. (S) EXISTING WALL
- 22. (S) PLASTER

WATER TOWER FLOOR PLAN & ELEVATIONS (TO BE FORWARDED SEPARATELY)
 SCALE: 3/32" = 1'-0"

Exhibit F Colors and Materials



FESS
WALL SCONCE
OL1601DRB-LED
WIDTH: 6.0"
HEIGHT: 14.5"
WEIGHT: 7.4 lbs
MATERIAL: Stone Strong
BACKPLATE WIDTH: 5.75"
BACKPLATE HEIGHT: 7.875"
VOLTAGE: 20v
UPC: 014817565744



ALUMINUM CLAD DOORS & WINDOWS:
ANDERSON E SERIES DARK BRONZE



PAINTED STEEL BALCONIES & ARCH-
TECTURAL METALS:
SW 6901 BLACK MAGIC



H.C. MUDDOK
SACRAMENTAN
FULL & VENEER BRICK



BASE FIRESTONE LIMESTONE FINISH
FS-102 WHITE

Exhibit G Landscape Plan



CONCEPT PLANT SCHEDULE

PLANT SYMBOL	PLANT NAME	QUANTITY
(Large Circle with Cross)	SHADE TREE Magnolia grandiflora / Southern Magnolia Size 60" DBH x 30' x 30' with WCOLL.FT. = 0 - 0	2
(Medium Circle with Cross)	SPECIES TREE Magnolia grandiflora / Southern Magnolia Size 60" DBH x 30' x 30' with WCOLL.FT. = 0 - 0	1
(Small Circle with Cross)	ACCENT TREE Hamamelis virginica / Sweetgum Size 25" - 40" tall x 15" DBH with WCOLL.FT. = 0 - 0	3
(Small Circle with Green)	MEDIUM Cornus stolonifera / Japanese / Red Leaf Japanese Barkery Size 3' - 4' tall and wide WCOLL.FT. = 1 - 3	10
(Small Circle with Yellow)	SMALL Clematis vitalba / Bush Anemone Size 6" - 12" tall x 9" - 12" wide WCOLL.FT. = 1 - 3	30
(Small Circle with Purple)	SMALL Cotinus coccinea / Forgetful Lily Size 3' - 4' tall and wide WCOLL.FT. = 1 - 3	30
(Small Circle with Green)	LARGE Clematis vitalba / Royal Purple / Royal Purple Smoke Tree Size 10" - 15" tall and wide WCOLL.FT. = 0 - 0	3
(Small Circle with Green)	SMALL BRUSH Cotinus coccinea / Royal Purple Size 1' - 2' tall and wide WCOLL.FT. = 1 - 3	30
(Small Circle with Green)	EDGE PLANTS Ptilopodium tenuifolium / Tree Fern / Tree Fern Size 15" DBH x 6' - 8' with leaf height WCOLL.FT. = 0 - 0	7
(Small Circle with Green)	EDGE Cotinus coccinea / Tree Fern / Hamamelis virginica Size 15" tall and wide WCOLL.FT. = 0 - 0	3

PLANT SCHEDULE AND IMAGES

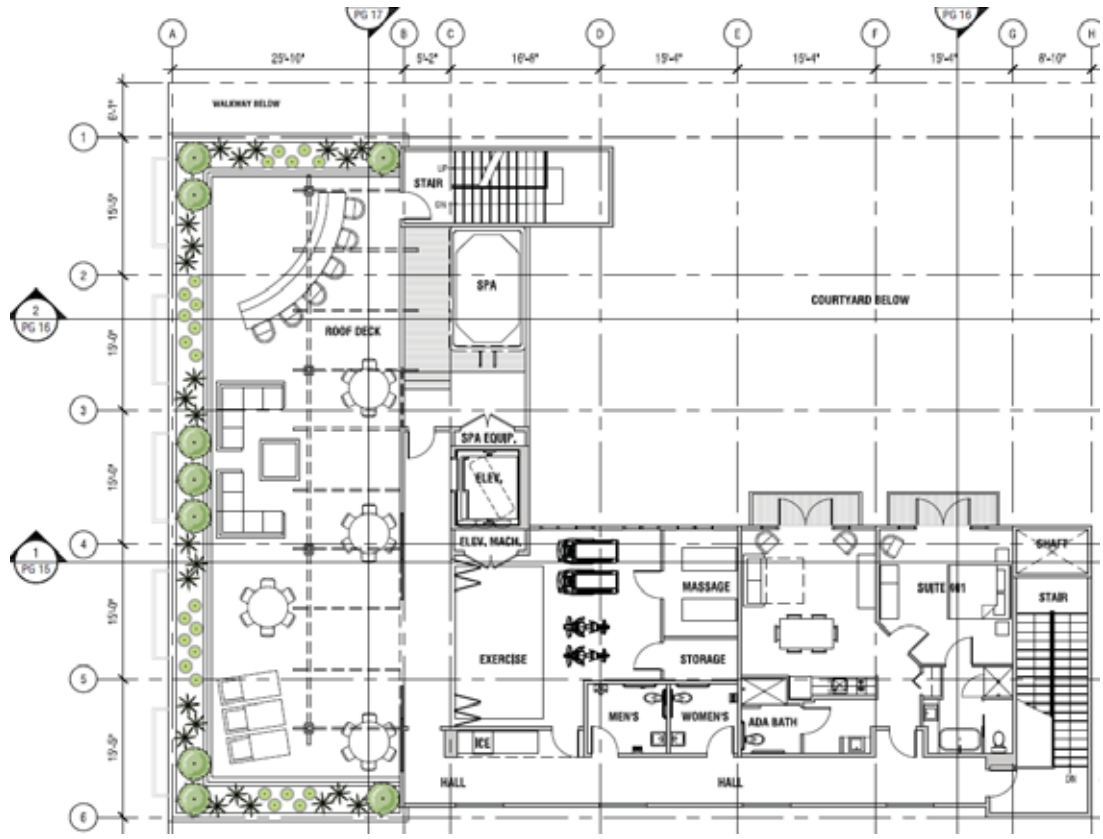
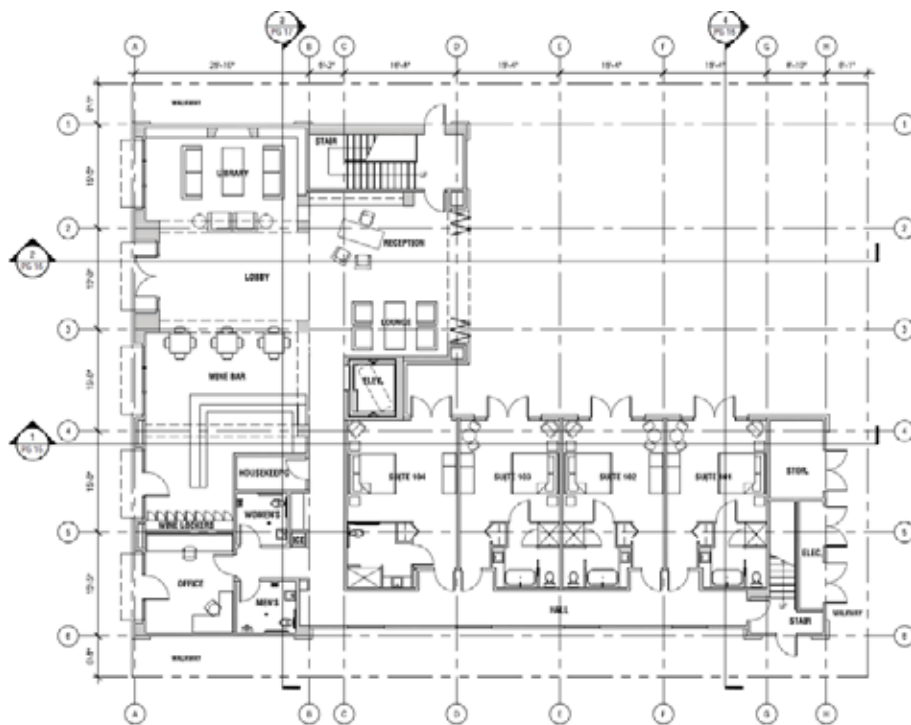
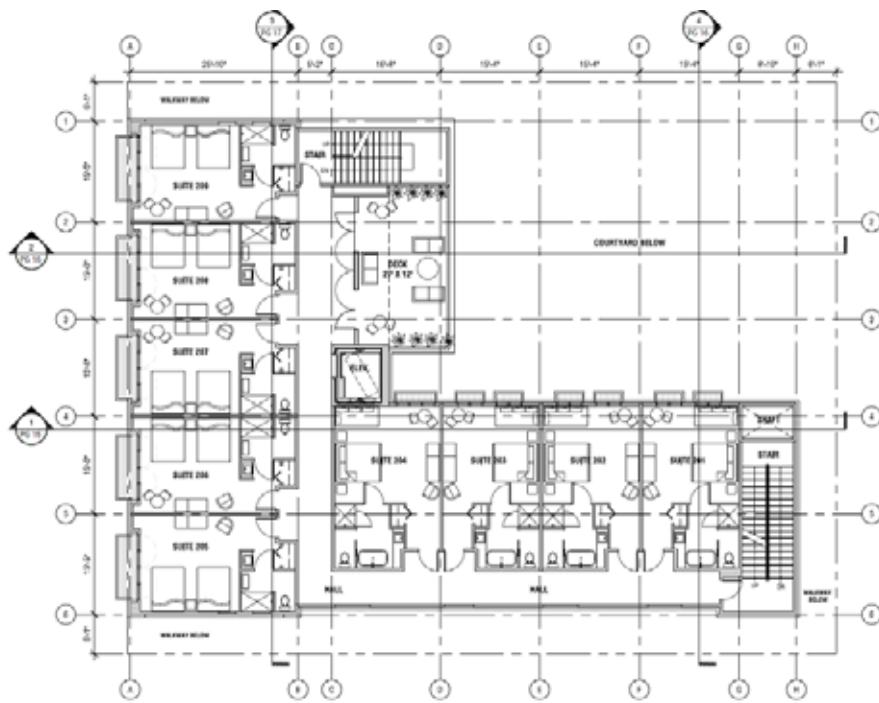


Exhibit H Floor Plans




FIRST FLOOR PLAN
SCALE: 3/32" = 1'




SECOND FLOOR PLAN
SCALE: 3/32" = 1'

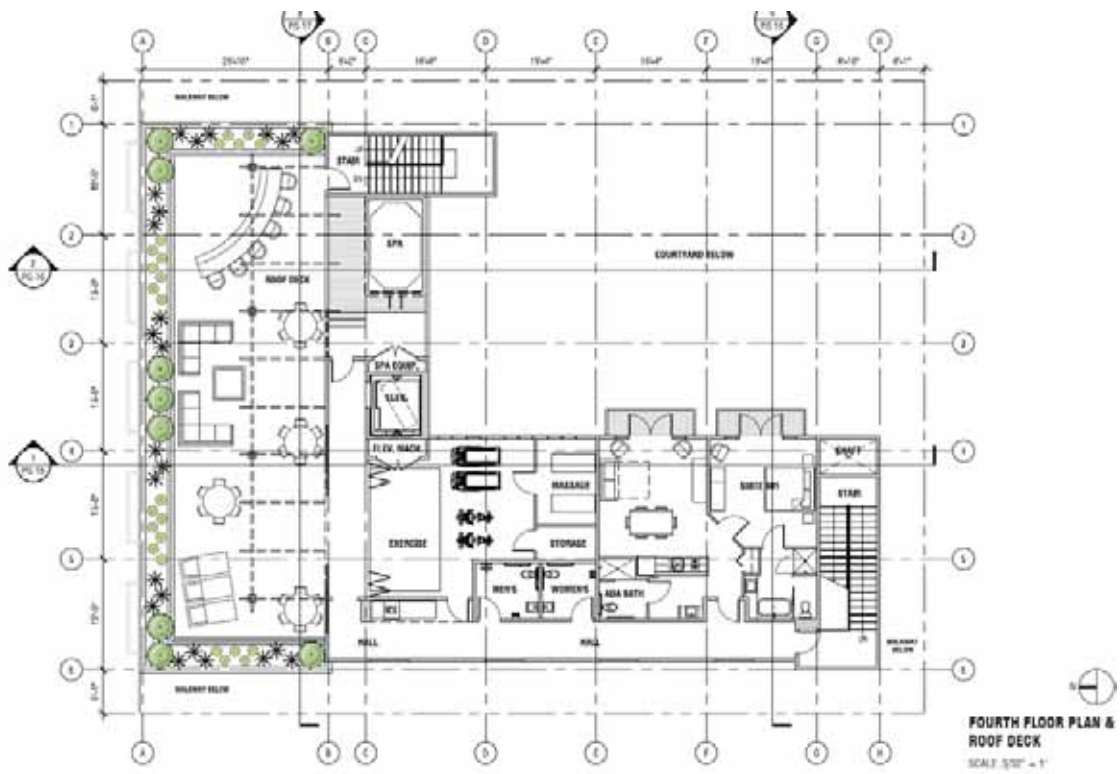
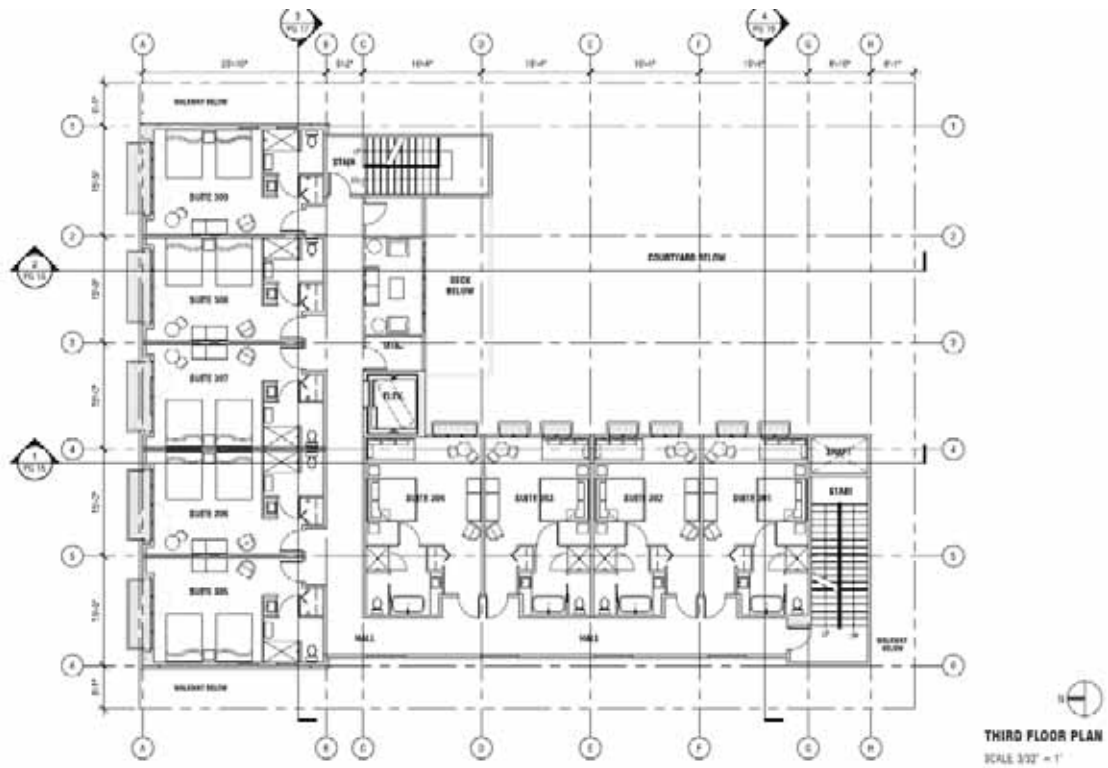


Exhibit I Preliminary Grading Plan

