

RESOLUTION NO: 14-021

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
TO APPROVE PD 13-006 AMENDMENT
(MULLAHEY)

APN: 025-421-065, 066, 067, 068, 071 & 074

WHEREAS, in January 2014, the Planning Commission approved PD 13-006 to establish a 29,907 square foot new car dealership with automotive repair for Mullahey Chrysler on the property located at the north east corner of Golden Hill Road and Tractor Street; and

WHEREAS, the plans approved with PD 13-006 indicated the use of exterior plaster (stucco) on the west elevation, and a portion of the south elevation, the other elevations were approved with metal siding; and

WHEREAS, the applicants are requesting the use of metal siding, consistent with the rest of the building, be used on the west and south elevations instead of the stucco, mainly because of concern with maintenance and longevity of the stucco; and

WHEREAS, a public hearing was conducted by the Planning Commission on August 12, 2014, to consider the facts as presented in the staff report prepared for this project, and to accept public testimony regarding this PD amendment request; and

WHEREAS, based upon facts and analysis presented in the staff report and the attachments thereto, the public testimony received, and subject to the Conditions of Approval listed below, the Planning Commission makes the following findings:

1. Since the architectural elements including the glass wrapped around the use of the corrugated metal panel would be consistent with the metal siding approved on the other sides of the building, the metal parapet would still be used on the west elevation ; and
2. The proposed development plan will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the residents and or businesses in the surrounding area, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City; and

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles does hereby approve PD 13-006 Amendment, allowing for the use of the corrugated metal siding, consistent with the siding used on the rest of the building, in place of the stucco on the west, and portions of the south elevations, subject to the following conditions:

1. That all conditions within resolutions 14-004 and 14-005 remain in full effect, except that Exhibit F of Resolution 14-005 be superseded by a new architectural elevation, attached as Exhibit A.

PASSED AND ADOPTED THIS 12th day of August, 2014 by the following Roll Call Vote:

AYES: Vanderlip, Gregory, Rollins, Donaldson, Vanderlip, Garcia, Barth
NOES: None
ABSENT: None
ABSTAIN: None



DOUG BARTH, CHAIRMAN

ATTEST:



ED GALLAGHER, SECRETARY OF THE PLANNING COMMISSION



DENNIS J. FLYNN ARCHITECTS, INC.
 55 WEST 30TH AVENUE
 SUITE 2000
 DENVER, COLORADO 80202
 PHONE: (303) 733-4477
 FAX: (303) 733-4478
 WWW.DJFA.COM

**CHRYSLER JEEP DODGE RAM
 PROPOSED ELEVATIONS**

PASO ROBLES
 TRACTOR OF
 PASO ROBLES, CALIF.

NOTES:
 1. THESE ELEVATIONS SHOW THE PROPOSED APPEARANCE OF THE BUILDING.
 2. MATERIALS AND FINISHES TO BE DETERMINED BY THE ARCHITECT.
 3. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF MATERIALS AND FINISHES.
 4. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF THE COLOR AND FINISH OF THE BUILDING MATERIALS.
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A3.01

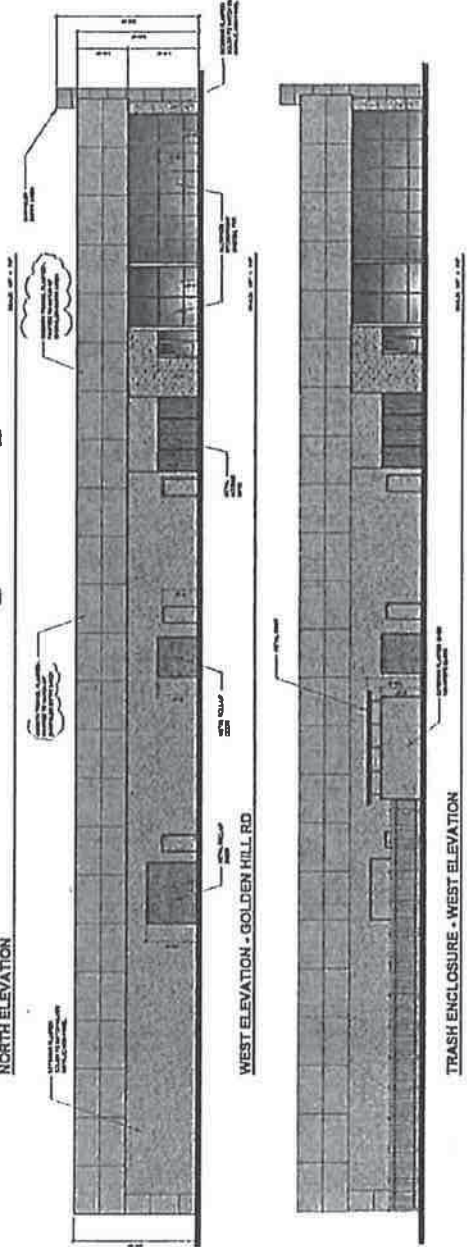
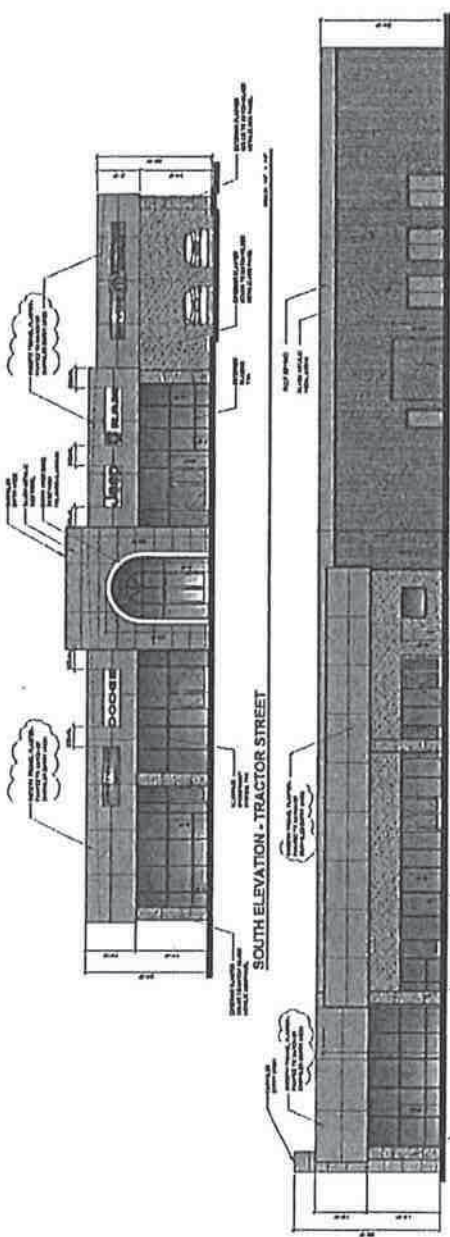


Exhibit A
 Elevations



1000 S. GARDEN AVENUE
 SUITE 100
 ANAHEIM, CA 92805
 TEL: 714.771.1111
 FAX: 714.771.1112

1000 S. GARDEN AVENUE
 SUITE 100
 ANAHEIM, CA 92805
 TEL: 714.771.1111
 FAX: 714.771.1112

deep
 CHRYSLER
 CHRYSLER / DODGE / JEEP / RAM

PROJECT NO. 1000
 SHEET NO. 1000

DATE: 10/10/10
 SCALE: AS SHOWN

MATERIAL AND COLOR DESIGNATIONS

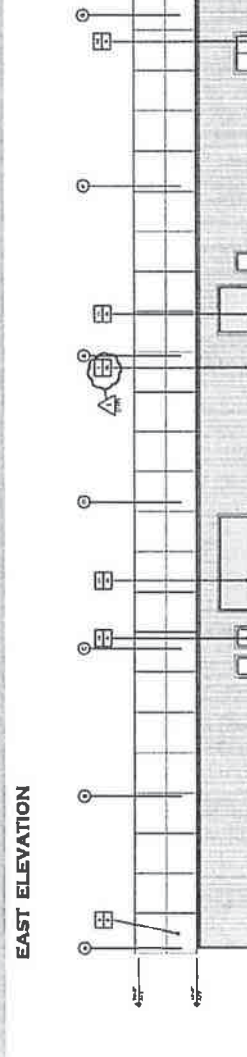
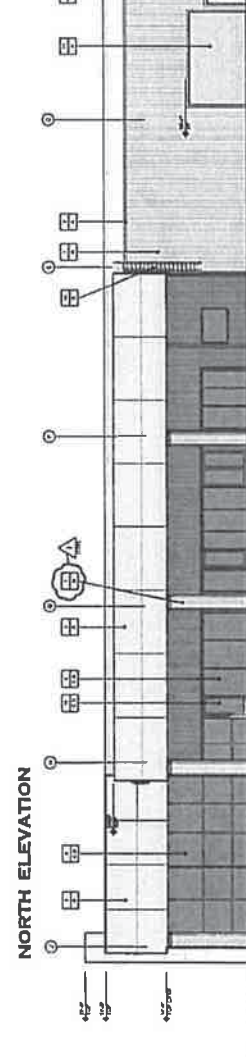
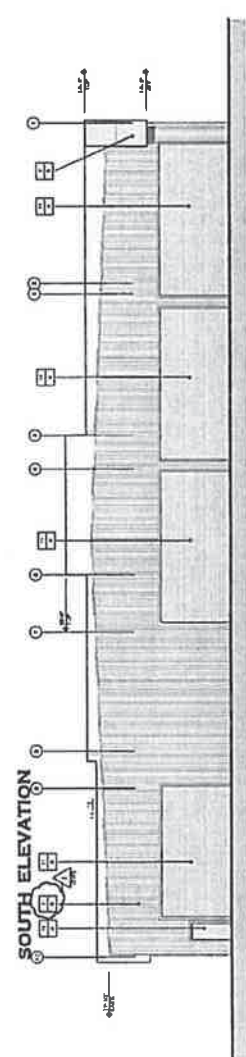
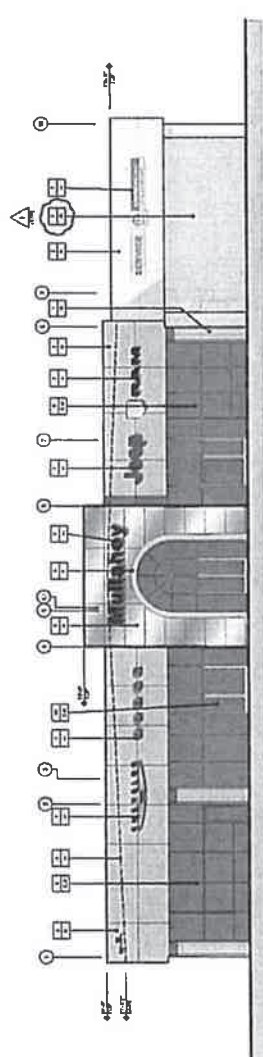
□ 1. MATERIAL DESIGNATION
 □ 2. COLOR DESIGNATION

MATERIAL DESIGNATIONS

1. BRICK, COMMON
 2. BRICK, GLAZED
 3. BRICK, GLAZED, DARK
 4. BRICK, GLAZED, LIGHT
 5. BRICK, GLAZED, MEDIUM
 6. BRICK, GLAZED, DARK, HORIZONTAL
 7. BRICK, GLAZED, DARK, VERTICAL
 8. BRICK, GLAZED, DARK, DIAGONAL
 9. BRICK, GLAZED, DARK, RANDOM
 10. BRICK, GLAZED, DARK, RANDOM, HORIZONTAL
 11. BRICK, GLAZED, DARK, RANDOM, VERTICAL
 12. BRICK, GLAZED, DARK, RANDOM, DIAGONAL
 13. BRICK, GLAZED, DARK, RANDOM, RANDOM
 14. BRICK, GLAZED, DARK, RANDOM, RANDOM, HORIZONTAL
 15. BRICK, GLAZED, DARK, RANDOM, RANDOM, VERTICAL
 16. BRICK, GLAZED, DARK, RANDOM, RANDOM, DIAGONAL
 17. BRICK, GLAZED, DARK, RANDOM, RANDOM, RANDOM
 18. BRICK, GLAZED, DARK, RANDOM, RANDOM, RANDOM, HORIZONTAL
 19. BRICK, GLAZED, DARK, RANDOM, RANDOM, RANDOM, VERTICAL
 20. BRICK, GLAZED, DARK, RANDOM, RANDOM, RANDOM, DIAGONAL
 21. BRICK, GLAZED, DARK, RANDOM, RANDOM, RANDOM, RANDOM
 22. BRICK, GLAZED, DARK, RANDOM, RANDOM, RANDOM, RANDOM, HORIZONTAL
 23. BRICK, GLAZED, DARK, RANDOM, RANDOM, RANDOM, RANDOM, VERTICAL
 24. BRICK, GLAZED, DARK, RANDOM, RANDOM, RANDOM, RANDOM, DIAGONAL
 25. BRICK, GLAZED, DARK, RANDOM, RANDOM, RANDOM, RANDOM, RANDOM

GENERAL NOTES

1. REFER TO ALL OTHER SHEETS FOR MATERIAL AND COLOR DESIGNATIONS.
 2. REFER TO ALL OTHER SHEETS FOR MATERIAL AND COLOR DESIGNATIONS.
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 25. REFER TO ALL OTHER SHEETS FOR MATERIAL AND COLOR DESIGNATIONS.



BUILDING ELEVATIONS





MW ARCHITECTS

ARCHITECTS
MICHAEL W. MULLAHEY
200 POND ROAD SUITE 100
SAN ANTONIO, TEXAS 78247
TEL: (512) 744-7347 FAX: (512) 544-2228

SCHEMATIC COLOR BOARD

JN:14461 DATE:07.25.14



ACM PANEL

SILVER METALLIC
493-TBX30



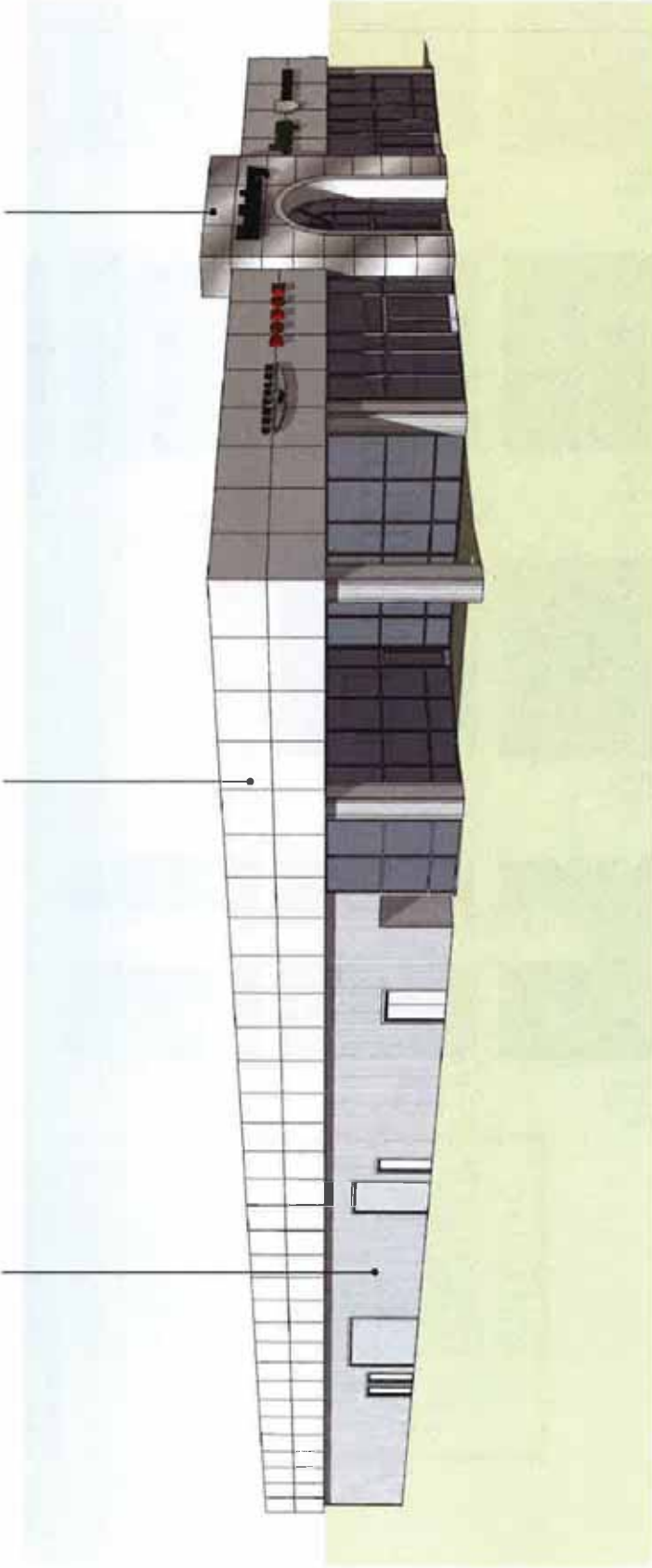
ACM PANEL

SILVER METALLIC
415Z70



CORRUGATED METAL SIDING

METALLIC SILVER
K7



COLOR BOARD

FOUR MILLIMETER STOCK PROGRAM COLORS

20 Year Finish Warranty

SOLID



BBR Red
4&3-BBR-30
LRV 8.06



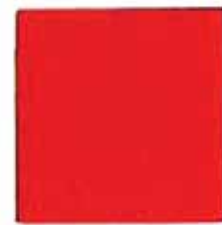
BTR Red
4&3-BTR-50
LRV 11.57



TOR Red
4-TOR-70
LRV 9.06



JLR Red
4-JLR-50
LRV 5.44



JXR Red
4-JXR-35
LRV 10.50



TRC Red
4-TRC-35
LRV 8.52



AUB Blue
4-AUB-50
LRV 3.25



CVB Blue
4-CVB-70
LRV 13.79



HNB Blue
4-HNB-50
LRV 16.78



RTB Blue
4-RTB-60
LRV 9.06



MBU Blue
4-MBU-30
LRV 10.69



HYB Blue
4-HYB-30
LRV 4.20



ABE Blue
4-ABE-70
LRV 23.73



AYW Yellow
4-AYW-70
LRV 61.77



RVW White
4-RVW-G45
LRV 86.34



COW White
4-COW-30
LRV 68.67



BLX Black
4&3-BLX-30
LRV 0.89



TBL Black
4&3-TBL-70
LRV 0.75

PROPOSED FINISH FOR ACM PANELS

CVG Grey
4&3-CVG-50
LRV 14.38

MICA



Mica MFS Grey
4-MFS-30
LRV 13.41

METALLIC



TSZ Silver Metallic
4-TSZ-70
LRV 32.00



TBX Silver Metallic
4&3-TBX-30
LRV 38.65



GOY Gold Metallic
4-GOY-70
LRV 25.51

*Colors shown are as close to actual colors as allowed by the printing process. Due to product improvements, changes and other factors Mitsubishi Plastics Composites America, Inc. reserves the right to change or delete information herein without prior notice. Please refer to warranty details for exclusions and limitations. Additional warranty coverage over that stated may be given to some projects/products. Please consult Customer Service.

PVDF (Kynar 500®) Paint System

Linen White (81) ^{1,2,3}	Snowdrift White (W81) ¹	Sandstone (W51) ¹	Parchment (W74) ¹	Taupe (74)
Patina Green (W58)	Hemlock Green (M7)	Aged Copper (65)	Felt Green (W66)	Classic Green (66)
Khaki (88)	Weathered Copper (W50)	Mansard Brown (133) ¹	Dark Bronze (50)	Medium Bronze (H4) ¹
		Old Town Grey (W25) ¹	Slate Grey (W38) ¹	Matte Black (106)
Brandwine (P8) ^{1,4}	Patriot Red (73)	Colonial Red (W75)	Terra Cotta (W72) ¹	Rustic Steel (W45) ¹
Metallic Silver (K7) ^{1,4}	Champagne Metallic (L1) ⁴	Mistique Plus (W31) ⁴	Copper Penny (W92) ⁴	Antique Patina (M1) ⁴
Tahoe Blue (W71)	Regal Blue (W35) ¹	River Teal (59)		

PROPOSED FINISH FOR
CORRUGATED METAL SIDING



All Colors Meet or Exceed
Steep Slope ENERGY STAR®
Requirements

- ¹ CRRC Listed for Steep Slopes
- ² CRRC Listed for Low Slopes
- ³ Meets or Exceeds Low Slope ENERGY STAR® Requirements
- ⁴ Metallic Finish

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24 GAUGE

45 Year Paint Warranty

All colors carry a 45 year limited paint warranty
Color selections are close representations but are limited by
printing and viewing conditions. Actual samples are available by request.



