

RESOLUTION NO: 14-014

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
TO APPROVE CONDITIONAL USE PERMIT 14-004
(ARMSTRONG)
APN: 025-131-021

WHEREAS, Jay and Nancy Armstrong have filed an application to construct a 1,146 square foot expansion to an existing 876 square foot detached garage located at 734 Pino Way; and

WHEREAS, the site has a zoning designation of R1-B4 (Residential Single Family – 1 acre lot size) and according Section 21.161.210.C.1, a Conditional Use Permit (CUP) is required when a detached accessory building exceeds 50 percent of the gross square footage of the primary residence; and

WHEREAS, the proposed 1,146 square foot expansion when added to the existing 876 square foot detached garage would total 2,022 square feet, which exceeds 50 percent of the gross floor area of the primary residence; and

WHEREAS, a public hearing was conducted by the Planning Commission on April 22, 2014, to consider the facts as presented in the staff report prepared for this project, and to accept public testimony regarding this Conditional Use Permit request; and

WHEREAS, this application is Categorically Exempt from environmental review per Section 15301c of the State's Guidelines to Implement CEQA; and

WHEREAS, based upon the facts and analysis presented in the staff report and public testimony received and subject to the conditions of approval listed below, the Planning Commission finds that the establishment, maintenance and operation for the requested use and building would be consistent with the General Plan and not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the persons residing or working in the neighborhood of such proposed use, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City; and

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles does hereby approve Conditional Use Permit 14-004 subject to the following conditions:

1. The project shall be constructed so as to substantially conform with the following listed exhibits and conditions established by this resolution:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Site Plan
B	Floor Plan
C	Architectural Elevations (Right & Front)
D	Architectural Elevations (Left & Rear)

2. The approval of CUP 14-004 allows the 1,146 square foot expansion to the existing 876 square foot detached garage located at 734 Pino Way. This does not include the existing 500 square foot metal car port, which would stay.
3. This project approval shall expire on April 22, 2016, unless the use has been executed, or unless a time extension request is filed with the Community Development Department prior to expiration.
4. The site shall be kept in a neat manner at all times and the landscaping shall be continuously maintained in a healthy and thriving condition.
5. Any condition imposed by the Planning Commission in granting this Conditional Use Permit may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the granting of the original permit. No such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use under the conditional use permit.

PASSED AND ADOPTED THIS 22nd day of April 2014, by the following roll call vote:

AYES: Gregory, Garcia, Barth, Cooper, Donaldson, Rollins, Vanderlip
NOES: None
ABSENT: None
ABSTAIN: None



DOUG BARTH, CHAIRMAN

ATTEST:



ED GALLAGHER, PLANNING COMMISSION SECRETARY

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ARMSTRONG'S ZONING ORDINANCES AND THE CITY OF ARMSTRONG'S SUBDIVISION MAP ACT. ANY VIOLATION OF THESE ORDINANCES SHALL BE SUBJECT TO THE PENALTIES OF THE CITY.

2. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ARMSTRONG. THE DEVELOPER SHALL BE RESPONSIBLE FOR PAYING ALL FEES ASSOCIATED WITH THE OBTAINING OF THESE PERMITS. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ARMSTRONG. THE DEVELOPER SHALL BE RESPONSIBLE FOR PAYING ALL FEES ASSOCIATED WITH THE OBTAINING OF THESE PERMITS.

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STATEMENT OF SPECIAL INSPECTIONS

1. THE SPECIAL INSPECTIONS ARE REQUIRED BY THE CITY OF ARMSTRONG FOR THE CONSTRUCTION OF THIS PROJECT. THE SPECIAL INSPECTIONS SHALL BE CONDUCTED BY A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT AS REQUIRED BY THE CITY OF ARMSTRONG.

2. THE SPECIAL INSPECTIONS SHALL BE CONDUCTED AT THE FOLLOWING LOCATIONS:

- FOUNDATION
- FRAMING
- MECHANICAL, ELECTRICAL, AND PLUMBING (MEP)
- ROOFING
- FINAL

3. THE SPECIAL INSPECTIONS SHALL BE CONDUCTED AT THE FOLLOWING TIMES:

- FOUNDATION: PRIOR TO THE START OF CONSTRUCTION.
- FRAMING: PRIOR TO THE START OF CONSTRUCTION.
- MECHANICAL, ELECTRICAL, AND PLUMBING (MEP): PRIOR TO THE START OF CONSTRUCTION.
- ROOFING: PRIOR TO THE START OF CONSTRUCTION.
- FINAL: PRIOR TO THE START OF CONSTRUCTION.

4. THE SPECIAL INSPECTIONS SHALL BE CONDUCTED BY THE FOLLOWING PERSONNEL:

- FOUNDATION: [Name]
- FRAMING: [Name]
- MECHANICAL, ELECTRICAL, AND PLUMBING (MEP): [Name]
- ROOFING: [Name]
- FINAL: [Name]

5. THE SPECIAL INSPECTIONS SHALL BE CONDUCTED AT THE FOLLOWING TIMES:

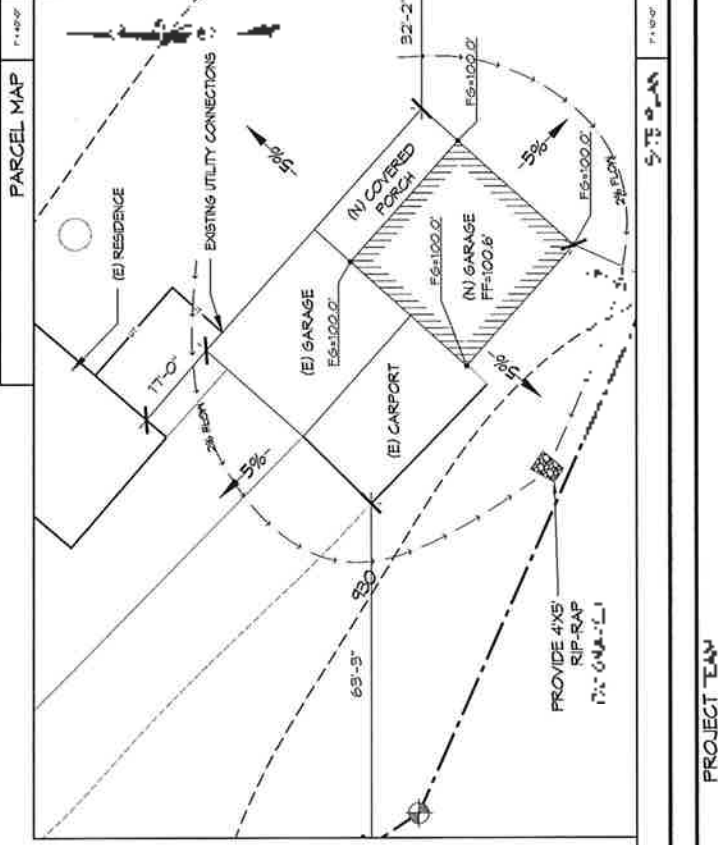
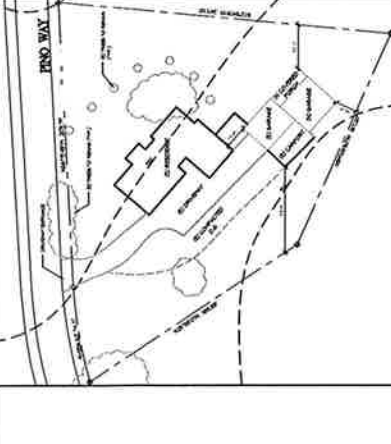
- FOUNDATION: [Time]
- FRAMING: [Time]
- MECHANICAL, ELECTRICAL, AND PLUMBING (MEP): [Time]
- ROOFING: [Time]
- FINAL: [Time]

6. THE SPECIAL INSPECTIONS SHALL BE CONDUCTED BY THE FOLLOWING PERSONNEL:

- FOUNDATION: [Name]
- FRAMING: [Name]
- MECHANICAL, ELECTRICAL, AND PLUMBING (MEP): [Name]
- ROOFING: [Name]
- FINAL: [Name]

7. THE SPECIAL INSPECTIONS SHALL BE CONDUCTED AT THE FOLLOWING TIMES:

- FOUNDATION: [Time]
- FRAMING: [Time]
- MECHANICAL, ELECTRICAL, AND PLUMBING (MEP): [Time]
- ROOFING: [Time]
- FINAL: [Time]



DESIGNER NOTE

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ARMSTRONG'S ZONING ORDINANCES AND THE CITY OF ARMSTRONG'S SUBDIVISION MAP ACT.

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ARMSTRONG GARAGE

14016

COVER SHEET

DATE: 10/12/16

DRAWN BY: [Name]

CHECKED BY: [Name]

APPROVED BY: [Name]

PROJECT DATA

PROJECT NAME: ARMSTRONG GARAGE

PROJECT ADDRESS: 14016

PROJECT LOCATION: [Address]

PROJECT DATE: 10/12/16

PROJECT DRAWN BY: [Name]

PROJECT CHECKED BY: [Name]

PROJECT APPROVED BY: [Name]

VICINITY MAP

Scale: 1" = 10'-0"

Labels: [Location names]

Scale: 1" = 10'-0"

PROJECT TEAM

OWNER: [Name]

ARCHITECT: [Name]

STRUCTURAL ENGINEER: [Name]

SOILS ENGINEER: [Name]

DRAFTSMAN: [Name]

CHECKER: [Name]

DATE: 10/12/16

PROJECT TEAM

OWNER: [Name]

ARCHITECT: [Name]

STRUCTURAL ENGINEER: [Name]

SOILS ENGINEER: [Name]

DRAFTSMAN: [Name]

CHECKER: [Name]

DATE: 10/12/16

Exhibit A
Site Plan
CUP 14-004
(Armstrong)

NRB
 DRAFTING
 NELSON R. BERNAL
 SERVICES, INC.

250 PAVILION SUITE 100
 FORT MYERS, FLORIDA 33901
 TEL: 888.337.7000
 WWW.NRBONLINE.COM

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ARMSTRONG GARAGE
 74 FND HWY
 PALM BEACH, FL

CITY OF PALM BEACH
 CAN. P. 0001

14016

FLOOR PLAN

NO.	REVISION	DATE

A-1.2

REMARKS:
 1. SEE ALL CITY ORDINANCES AND ALL DOWN LAYOUTS PROVIDED ON RECORD OF THIS PROJECT.

FLOOR PLAN NOTES:
 1. ALL EXISTING AND PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF PALM BEACH ORDINANCES AND ALL DOWN LAYOUTS PROVIDED ON RECORD OF THIS PROJECT.

WALL LEGEND

3/4" x 6" CMU @ 8" O.C.
 2" x 4" x 8" CMU @ 8" O.C.
 2" x 4" x 8" CMU @ 16" O.C.
 EXISTING WALL TO REMAIN

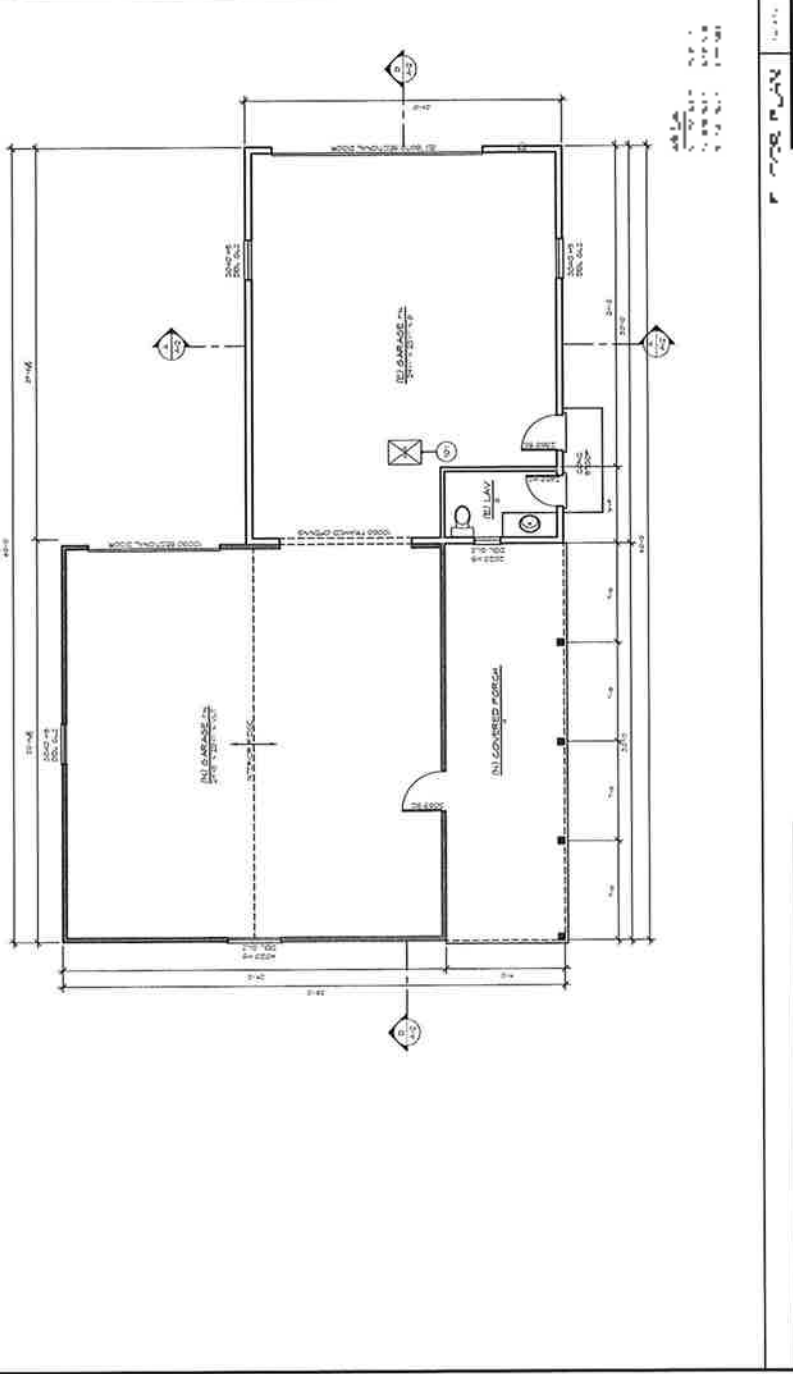


Exhibit B
 Floor Plan
 CUP 14-004
 (Armstrong)



14016
 14016
 14016

ARMSTRONGS
 GARAGE
 741 7TH AVE
 P.O. BOX 100, LA

14016

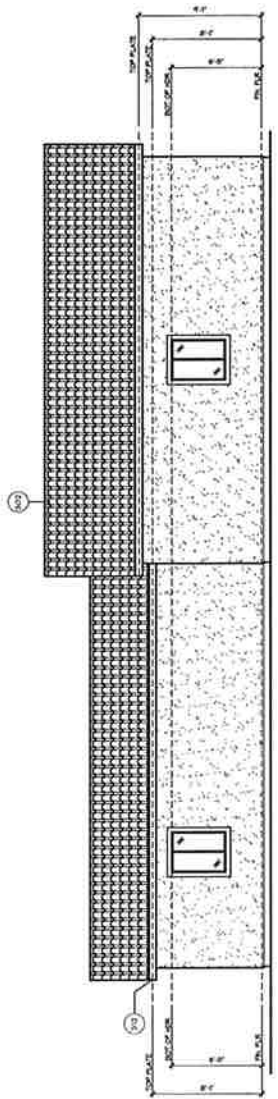
ELEVATIONS

NO.	REVISION	DATE

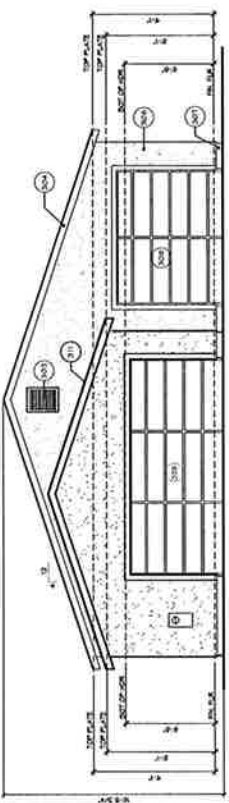
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- AS NOTED**
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR CONSTRUCTION OF BUILDINGS AND THE LATEST EDITIONS OF THE SPECIFICATIONS FOR CONSTRUCTION OF STRUCTURES.
 2. ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR CONSTRUCTION OF BUILDINGS AND THE LATEST EDITIONS OF THE SPECIFICATIONS FOR CONSTRUCTION OF STRUCTURES.
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RIGHT ELEVATION



FRONT ELEVATION

Exhibit C
 Elev Right & Front
 CUP 14-004
 (Armstrong)



ARMSTRONG GARAGE
 74 1/2" x 14' 0"
 PALO ALTO, CA 94304

14016

ELEVATIONS

NO.	DESCRIPTION	DATE

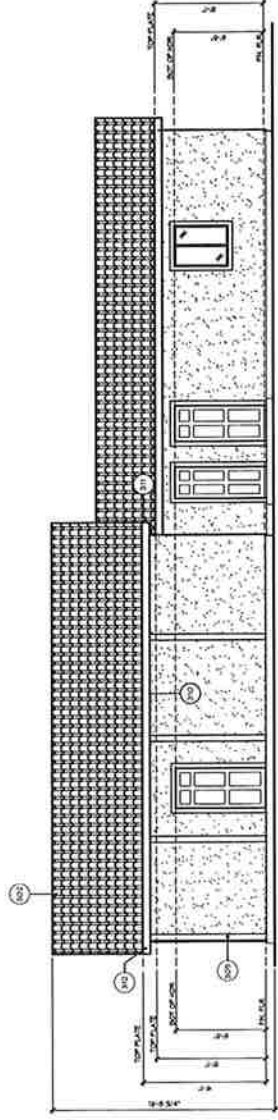
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NOTES

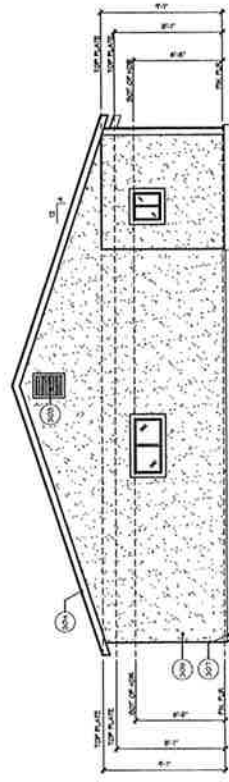
1. SEE PLAN FOR DIMENSIONS AND FINISHES.
2. ALL FINISHES SHALL BE AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE NOTED.
3. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE AND SHALL BE SUBJECT TO APPROVAL BY THE ARCHITECT BEFORE INSTALLATION.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
7. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL ADJACENT PROPERTIES.
10. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
11. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL WASTE MATERIALS.
13. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL WORK DONE.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES FROM DAMAGE.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES FROM VIBRATION AND NOISE.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES FROM AIR POLLUTION.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES FROM WATER DAMAGE.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES FROM FIRE DAMAGE.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES FROM COLLISION DAMAGE.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES FROM THEFT AND VANDALISM.

ELEVATION NOTES

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LEFT ELEVATION



REAR ELEVATION

Exhibit D
 Eley Left & Rear
 CUP 14-004
 (Armstrong)