

RESOLUTION NO.: 14-002
A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
APPROVING PLANNED DEVELOPMENT 13-003
(Oxford Suites, Inc.)

WHEREAS, PD 13-003 has been submitted by Oxford Suites to establish a 127 room hotel to be developed in two phases; and

WHEREAS, the project is proposed to be located on the 2.5-acre site on the south side of 4th Street, between Spring Street and Pine Street; and

WHEREAS, a public hearing was conducted by the Planning Commission on January 14, 2014, to consider facts as presented in the staff report prepared for this project, and to accept public testimony regarding this proposed Development Plan, and associated Mitigated Negative Declaration; and

WHEREAS, a resolution was adopted by the Planning Commission approving a Mitigated Negative Declaration status for this project, and a Mitigated Negative Declaration was prepared for the proposed Planned Development and Rezone applications in accordance with the California Environmental Quality Act; and

WHEREAS, based upon the facts and analysis presented in the staff report and the attachments thereto, the public testimony received, and subject to the Conditions of Approval listed below, the Planning Commission makes the following findings:

Section 1. Findings

In accordance with Sections 21.23.250 and 21.23B.050 of the Zoning Code, based on facts and analysis set forth in the staff report for this item, and taking into consideration comments received from the public and/or other governmental agencies having purview in the subject development plan application, the Planning Commission hereby makes the following findings:

- a. The design and intensity (density of the proposed development is consistent with the following):
 1. The goals and policies established by the General Plan;
 - a. *The project site is located in the Community Commercial Land Use Category. The purpose of this land use category is to provide for commercial and retail centers, and having a hotels in close proximity to the commercial and retail centers helps support the economic vitality of the City.*
 - b. *The project is designed to maximize protection of oaks and biological resources as called for in Policies C-3A and C-3B of the Conservation Element. There are no know biological resources on this site based on the site being previous developed.*

- d. The Oxford Suites hotel accommodates the aesthetic quality of the City as a whole, especially where development will be visible from the gateways to the City, scenic corridors and the public right-of-way; in this particular case, based on the site being lower than Spring Street, and based on the site plan, architecture and landscaping, the proposed development will accommodate the aesthetic quality of the City as a whole; and
- e. The Oxford Suites hotel is compatible with, and is not detrimental to, surrounding land uses and improvements, provides an appropriate visual appearance, and contributes to the mitigation of any environmental and social impacts, because the project has been designed to provide significant buffers, including setbacks, and landscaping from the residential property to the southwest, and additionally as a result of the site planning, building architecture and environmental mitigation, included with this project.
- f. The Oxford Suites hotel is compatible with existing scenic and environmental resources such as hillsides, oak trees, vistas, etc. as a result of the project site being relatively flat, located on a lower elevation from Spring Street, and since there will be no significant grading and there are no oak trees located on the site; and
- g. The establishment, maintenance or operation of the Oxford Suites hotel, will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort, convenience and general welfare of the persons residing or working in the neighborhood of such proposed use, since the project has gone through the development review process including environmental review as required by Section 21.23.B of the Zoning Code related to buildings over 10,000 square feet; and
- h. The Oxford Suites hotel contributes to the orderly development of the City as a whole, since the project will utilize the existing infrastructure in 4th Street, consisting of sewer water and other utilities; and
- i. The Oxford Suites hotel as conditioned would meet the intent of the General Plan and Zoning Ordinance by providing a transient occupancy/resort type use in close proximity to commercial and retail.
- j. The Oxford Suites hotel would be consistent with the Economic Strategy, since it would allow for the expansion and diversification of transient occupancy projects.
- k. The 5-story, 67.5-foot height limit would be acceptable in the TC-2 zoning district based on the area in which the site is located, and since the site is at a lower elevation than Spring Street.

Section 2. Conditions of Approval

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles approves Planned Development 13-003 subject to the following conditions:

PLANNING:

1. This PD 13-003 allows for the development of a 5-story 127 room resort hotel that includes conference room, and ancillary parking.
2. The project is proposed to be developed in 2 phases. In the event that the applicant wishes to change the phasing order, after verification from the City Engineer that there are no concerns, the Development Review Committee (DRC) may approve the phasing change request.
3. The project shall be constructed in substantial conformance with the Conditions of Approval established by this Resolution and it shall be constructed in substantial conformance with the following Exhibits:

EXHIBIT	DESCRIPTION
A	Standard Conditions
B	Cover Sheet – Project Data
C	Preliminary Grading and Drainage Plan
D	Preliminary Underground Utilities Plan
E	Preliminary Site Cross Sections
F	Conceptual Landscape Plans
G	Site Plan
H	Architectural Elevations – Bldg. 1 (West and East)
I	Architectural Elevations – Bldg. 1&2 (North and South)
J	Architectural Elevations – Bldg. 2 (West and East)
K	Colored Elevation - West
L	Colored Elevation - North

4. The maximum length of stay for any hotel room is 30 consecutive days.
5. Prior to the issuance of a building permit, the Development Review Committee (DRC) shall review the following items to insure substantial compliance with the above listed Exhibits:
 - Final site details such as landscaping, decorative paving, benches, exterior lighting and any other site planning details;
 - Architectural elevations, including final materials, colors and details;
 - Equipment such as back flow devices, transformers, a/c condensers and appropriate screening methods for both views and noise;
 - Final grading and drainage plans;
 - Signage

6. The project landscape plan is subject to the requirements within the City's Landscape Ordinance.
7. All on-site operations shall be in conformance with the City's performance standards contained in Section 21.21.040 and as listed below:
 - a. Fire and Explosion Hazards. All activities involving, and all storage of, inflammable and explosive materials shall be provided with adequate safety devices against the hazard of fire and explosion and adequate firefighting and fire-suppression equipment and devices standard in industry and as approved by the fire department. All incineration is prohibited.
 - b. Radioactivity or Electrical Disturbance. Devices that radiate radio-frequency energy shall be so operated as not to cause interference with any activity carried on beyond the boundary line of the property upon which the device is located. Further, no radiation of any kind shall be emitted which is dangerous to humans. All radio transmissions shall occur in full compliance with Federal Communications Commission (FCC) and other applicable regulations.
 - c. Noise. No land use shall increase the ambient noise level as measured at the nearest residentially zoned property line to a level that constitutes a public nuisance.
 - d. Vibration. No vibrations shall be permitted so as to cause a noticeable tremor measurable without instruments at the lot line.
 - e. Smoke. Except for fireplaces and barbecues, no emission shall be permitted at any point from any chimney which would constitute a violation of standards established by the San Luis Obispo County Air Pollution Control District (APCD).
 - f. Odors. Except for fireplaces and barbecues, no emission shall be permitted of odorous gases or other odorous matter in such quantities as to constitute a public nuisance.
 - g. Fly Ash, Dust, Fumes, Vapors, Gases and Other Forms of Air Pollution. No emission shall be permitted which can cause damage to health, animals, vegetations or other forms of property, or which can cause any excessive soiling at any point. No emissions shall be permitted in excess of the standards established by the San Luis Obispo County Air Pollution Control District (APCD).
 - h. Glare. No direct glare, whether produced by floodlight, high-temperature processes such as combustion or welding or other processes, so as to be visible from any boundary line of the property on which the same is produced shall be permitted. Sky-reflected glare from buildings or portions thereof shall be so controlled by reasonable means as are practical to the end that said sky-reflected glare will not inconvenience or annoy persons or interfere with the use and enjoyment of property in and about the area where it occurs.
 - i. Liquid or Solid Wastes. No discharge shall be permitted at any point into any public sewer, private sewage disposal system or stream, or into the ground, of any materials of such nature or temperature as can contaminate any water supply, interfere with bacterial processes in sewage treatment, or otherwise cause the emission of dangerous or offensive elements, except in accord with standards approved by the California Department of Health or such other

governmental agency as shall have jurisdiction over such activities. Manufacturing, processing, treatment and other activities involving use of toxic or hazardous materials shall be designed to incorporate the best available control technologies and wherever technically feasible shall employ a "closed loop" system of containment.

- j. Transportation Systems Impacts. Vehicular, bikeway and/or pedestrian traffic, directly attributable to the proposed land use, shall not increase to a significant extent without implementation of adequate mitigation measures in a form to be approved by the city engineer. In determining significance of impacts, consideration shall be given to cumulative (projected build-out) capacity of streets and highways serving the land use. Mitigation measures required may include but not be limited to curb, gutter, sidewalk, street and/or alley, bikeway, transit related improvements and traffic signalization. Mitigation may be required as pursuant to the California Environmental Quality Act (CEQA), or as a condition of a discretionary review. (Ord. 665 N.S. § 28, 1993; (Ord. 405 N.S. § 2 (part), 1977)

ENGINEERING:

8. Prior to occupancy, 4th Street and Pine Street shall be improved in accordance with plans approved by the City Engineer. 4th Street shall be reconstructed in its full width in accordance with Standard Development Condition F5. Decorative street lights shall be included in the improvement plans.
9. Low impact development best management practices as outlined in the project submittals shall be incorporated into the project grading and drainage plans.

Section 3. Environmental Mitigation Measures

Air Quality:

MM AQ-1: For projects located within 1000 feet of residential dwellings, the SLOAPCD requires implementation of the following mitigation measures to minimize nuisance impacts and to significantly reduce fugitive dust emissions, please include the measures as notes on the project Grading Plans:

- a. Reduce the amount of the disturbed area where possible;
- b. Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (non-potable) water should be used whenever possible;
- c. All dirt stock pile areas should be sprayed daily as needed;
- d. Permanent dust control measures identified in the approved project revegetation and landscape plans should be implemented as soon as possible following completion of any soil disturbing activities;
- e. Exposed ground areas that are planned to be reworked at dates greater than one month after initial grading should be sown with a fast germinating, non-invasive grass seed and watered until vegetation is established;
- f. All disturbed soil areas not subject to revegetation should be stabilized using approved chemical soil binders, jute netting, or other methods approved in advance by the APCD;

- g. All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible. In addition, building pads should be laid as soon as possible after grading unless seeding or soil binders are used;
- h. Vehicle speed for all construction vehicles shall not exceed 15 mph on any unpaved surface at the construction site;
- i. All trucks hauling dirt, sand, soil, or other loose materials are to be covered or should maintain at least two feet of freeboard (minimum vertical distance between top of load and top of trailer) in accordance with CVC Section 23114;
- j. Install wheel washers where vehicles enter and exit unpaved roads onto streets, or wash off trucks and equipment leaving the site;
- k. Sweep streets at the end of each day if visible soil material is carried onto adjacent paved roads. Water sweepers with reclaimed water should be used where feasible;
- l. All of these fugitive dust mitigation measures shall be shown on grading and building plans; and
- m. The contractor or builder shall designate a person or persons to monitor the fugitive dust emissions and enhance the implementation of the measures as necessary to minimize dust complaints, reduce visible emissions below 20% opacity, and to prevent transport of dust offsite. Their duties shall include holidays and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the APCD Compliance Division prior to the start of any grading, earthwork or demolition.

MM AQ-2: To help reduce sensitive receptor emissions impact of diesel vehicles and equipment used to construct the project, please add the following idling control techniques to the grading plans:

1. California Diesel Idling Regulations
 - a. ***On-road diesel vehicles*** shall comply with Section 2485 of Title 13 of the California Code of Regulations. This regulation limits idling from diesel-fueled commercial motor vehicles with gross vehicular weight ratings of more than 10,000 pounds and licensed for operation on highways. It applies to California and non-California based vehicles. In general, the regulation specifies that drivers of said vehicles:
 1. Shall not idle the vehicle's primary diesel engine for greater than 5 minutes at any location, except as noted in Subsection (d) of the regulation; and,
 2. Shall not operate a diesel-fueled auxiliary power system (APS) to power a heater, air conditioner, or any ancillary equipment on that vehicle during sleeping or resting in a sleeper berth for greater than 5.0 minutes at any location when within 1,000 feet of a restricted area, except as noted in Subsection (d) of the regulation.
 - b. ***Off-road diesel equipment*** shall comply with the 5 minute idling restriction identified in Section 2449(d)(2) of the California Air Resources Board's In-Use off-Road Diesel regulation.
 - c. Signs must be posted in the designated queuing areas and job sites to remind drivers and operators of the state's 5 minute idling limit.
 - d. The specific requirements and exceptions in the regulations can be reviewed at the following web sites: www.arb.ca.gov/msprog/truck-idling/2485.pdf and www.arb.ca.gov/regact/2007/ordiesl07/frooal.pdf.

2. Diesel Idling Restrictions Near Sensitive Residential Receptors

In addition to the State required diesel idling requirements, the project applicant shall comply with these more restrictive requirements to minimize impacts to nearby sensitive receptors:

- a. Staging and queuing areas shall not be located within 1,000 feet of sensitive receptors;
- b. Diesel idling within 1,000 feet of sensitive receptors shall not be permitted;
- c. Use of alternative fueled equipment is recommended; and
- d. Signs that specify the no idling areas must be posted and enforced at the site.

MM AQ-3 : Portable equipment, 50 horsepower (hp) or greater, used during construction activities may require California statewide portable equipment registration (issued by the California Air Resources Board) or an APCD permit. The following list is provided as a guide to equipment and operations that may have permitting requirements, but should not be viewed as exclusive. For a more detailed listing, refer to the Technical Appendices, page 4-4, in the APCD's 2012 CEQA Handbook.

- Power screens, conveyors, diesel engines, and/or crushers
- Portable generators and equipment with engines that are 50 hp or greater
- Electrical generation plants or the use of standby generator
- Internal combustion engines
- Rock and pavement crushing
- Unconfined abrasive blasting operations
- Tub grinders
- Trommel screens
- Portable plants (e.g. aggregate plant, asphalt batch plant, concrete batch plant, etc)

To minimize potential delays, prior to the start of the project, please contact the APCD Engineering Division at (805) 781-5912 for specific information regarding construction phase permitting requirements.

GHG Mitigations:

MM GHG-1: The following mitigation measures shall be **incorporated into the projects construction drawings** to reduce project-generated GHG emissions:

- a. Use low-VOC paints (50 grams/liter, or less) and low-VOC cleaning supplies. This requirement shall be reflected in the operational procedures manual for the proposed project.
- b. The project proponent shall demonstrate that the project-wide lighting efficiency shall be improved by at least 16% relative to current conventional lighting methods through the installation of energy-efficient lighting, (e.g., metal halide, high-pressure sodium, LEDs) for interior and exterior lighting areas. Unnecessary exterior lighting should be reduced, to the extent practical and where reductions in lighting would not pose a risk to public safety.
- c. Provide shade tree planting in parking lots to reduce evaporative emissions from parked vehicles, in accordance with City of Paso Robles' requirements. To the extent possible, the landscape design should provide minimum 50% tree coverage within 10 years of construction using low-ROG emitting, low maintenance native drought resistant trees.
- d. Utilize low-flow faucets and toilets and water-efficient irrigation systems to reduce energy demands associated with water use.
- e. Provide outdoor electrical outlets to encourage the use of electric appliances, tools, and landscape maintenance equipment.
- f. Pave and maintain roads and parking areas.

- g. Proposed onsite occupied buildings shall exceed baseline Title 24 Building Envelope Energy Efficiency Standards by a minimum of 10 percent. The baseline GHG emissions from electricity and natural gas usage shall reflect 2008 Title 24 standards with no energy-efficient appliances.
- h. Incorporate water-reducing features into building and landscape design, including use of drought-tolerant landscaping, minimizing turfed areas, and installation of water-efficient irrigation systems in accordance with the City of Paso Robles Zoning Code, Chapter 21.22B, Landscape and Irrigation Ordinance.
- i. Utilize green building materials (materials which are resource efficient, recycled, and sustainable) available locally if possible.
- j. Install high efficiency heating and cooling systems and appliances (i.e., Energy Star rated).
- k. Install door sweeps and weather stripping (if more efficient doors and windows are not available).

MM GHG-2: Prior to the issuance of a building permit, the project applicant shall pay an offsite mitigation fee to SLOAPCD sufficient to offset 1,212.4 MTCO_{2e}. At the time of this report, the SLOAPCD's offsite GHG mitigation fee had not yet been adopted. In the event that SLOAPCD's offsite mitigation fee has not been adopted at the time that payment of the offsite mitigation fee is due, project-generated excess GHG emissions may be mitigated by the purchase of carbon offsets provided by other agencies/organizations, with prior approval by SLOAPCD. As an alternative to the payment of offsite mitigation fees, prior to the issuance of a building permit, the project proponent can take the necessary measures to show how the project can comply with the City's Climate Action Plan. If the project complies with the CAP, as determined by the City, off-site mitigation will not be required.

MM GHG-3: Prior to the issuance of a building permit, the project proponent shall submit proof to the Paso Robles Community Development Department Staff that MM **GHG -1 & GHG-2** has been met in accordance with a time schedule deemed appropriate by Community Development Department staff.

MM GHG-4: Operational Permit Requirements

Operational sources may require APCD permits. The following list is provided as a guide to equipment and operations that may have permitting requirements, but should not be viewed as exclusive. For a more detailed listing, refer to the Technical Appendix, page 4-4, in the APCD's 2012 CEQA Handbook. **If any of the following equipment, or that listed in the Technical Appendix is planned on being used, please provide information with the submittal of construction drawings for the project.**

- Portable generators and equipment with engines that are 50 hp or greater;
- Electrical generation plants or the use of standby generator;
- Boilers;
- Internal combustion engines; and
- Cogeneration facilities.

Most facilities applying for an Authority to Construct or Permit to Operate with stationary diesel engines greater than 50 hp, should be prioritized or screened for facility wide health risk impacts. A diesel engine-only facility limited to 20 non-emergency operating hours per year or that has demonstrated to have overall diesel particulate emissions less than or equal to 2 lb/yr does not need to do additional health risk assessment. **To minimize potential delays, prior to the start of the project, please contact the APCD Engineering Division at (805) 781-5912 for specific information regarding permitting requirements.**

start of the project, please contact the APCD Engineering Division at (805) 781-5912 for specific information regarding permitting requirements.

Transportation Mitigation Measures:

MM T-1: The project will be subject to traffic impact and other development impact fees in effect at the time of occupancy of the project.

PASSED AND ADOPTED THIS 14th day of January, 2014 by the following Roll Call Vote:

AYES: Gregory, Nash, Holstine, Barth, Garcia, Rollins, Vanderlip

NOES: None

ABSENT: None

ABSTAIN: None



VINCE VANDERLIP, CHAIRMAN

ATTEST:



ED GALLAGHER, PLANNING COMMISSION SECRETARY

h:darren/PD/Oxford /PC Res

EXHIBIT A OF RESOLUTION
CITY OF EL PASO DE ROBLES
STANDARD DEVELOPMENT CONDITIONS

Planned Development _____ Conditional Use Permit _____

Tentative Parcel Map _____ Tentative Tract Map _____

Approval Body: Planning Commission Date of Approval: January 14, 2014

Applicant: Oxford Suites, Inc. Location: 4th & Pine Streets

APN: _____

The following conditions that have been checked are standard conditions of approval for the above referenced project. The checked conditions shall be complied with in their entirety before the project can be finalized, unless otherwise specifically indicated. In addition, there may be site specific conditions of approval that apply to this project in the resolution.

COMMUNITY DEVELOPMENT DEPARTMENT - The applicant shall contact the Community Development Department, (805) 237-3970, for compliance with the following conditions:

A. GENERAL CONDITIONS – PD/CUP:

- 1. This project approval shall expire on January 14, 2016 unless a time extension request is filed with the Community Development Department, or a State mandated automatic time extension is applied prior to expiration.
- 2. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Planned Development process shall not waive compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
- 3. To the extent allowable by law, Owner agrees to hold City harmless from costs and expenses, including attorney's fees, incurred by City or held to be the liability of City in connection with City's defense of its actions in any proceeding brought in any State or Federal court challenging the City's actions with respect to the project. Owner understands and acknowledges that City is under no obligation to defend any legal actions challenging the City's actions with respect to the project.

- 4. Any site specific condition imposed by the Planning Commission in approving this project (**Conditional Use Permit**) may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the approval of this project. No such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use for this approval.
- 5. The site shall be kept in a neat manner at all times and the landscaping shall be continuously maintained in a healthy and thriving condition.
- 6. All signs shall be subject to review and approval as required by Municipal Code Section 21.19 and shall require a separate application and approval prior to installation of any sign.
- 7. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 8. Prior to the issuance of a Building Permit a landscape and irrigation plan consistent with the Landscape and Irrigation Ordinance, shall be submitted for City review and approval. The plan needs to be designed in a manner that utilizes drought tolerant plants, trees and ground covers and minimizes, if not eliminates the use of turf. The irrigation plan shall utilize drip irrigation and limit the use of spray irrigation. All existing and/or new landscaping shall be installed with automatic irrigation systems.
- 9. A reciprocal parking and access easement and agreement for site access, parking, and maintenance of all project entrances, parking areas, landscaping, hardscape, common open space, areas and site lighting standards and fixtures, shall be recorded prior to or in conjunction with the Final Map. Said easement and agreement shall apply to all properties, and be referenced in the site Covenants, Conditions and Restrictions (CC&Rs).
- 10. All outdoor storage shall be screened from public view by landscaping and walls or fences per Section 21.21.110 of the Municipal Code.
- 11. For commercial, industrial, office or multi-family projects, all refuse enclosures are required to provide adequate space for recycling bins. The enclosure shall be architecturally compatible with the primary building. Gates shall be view obscuring and constructed of durable materials. Check with Paso Robles Waste Disposal to determine the adequate size of enclosure based on the number and size of containers to be stored in the enclosure.

- 12. For commercial, industrial, office or multi-family projects, all existing and/or new ground-mounted appurtenances such as air-conditioning condensers, electrical transformers, backflow devices etc., shall be screened from public view through the use of decorative walls and/or landscaping subject to approval by the Community Development Director or his designee. Details shall be included in the building plans.
- 13. All existing and/or new roof appurtenances such as air-conditioning units, grease hoods, etc. shall be screened from public view. The screening shall be architecturally integrated with the building design and constructed of compatible materials to the satisfaction of the Community Development Director or his designee. Details shall be included in the building plans.
- 14. All existing and/or new lighting shall be shielded so as to be directed downward in such a manner as to not create off-site glare or adversely impact adjacent properties. The style, location and height of the lighting fixtures shall be submitted with the building plans and shall be subject to approval by the Community Development Director or his designee.
- 15. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 16. It is the property owner's responsibility to insure that all construction of private property improvements occur on private property. It is the owner's responsibility to identify the property lines and insure compliance by the owner's agents.
- 17. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No.835 N.S., Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to removal.
- 18. No storage of trash cans or recycling bins shall be permitted within the public right-of-way.
- 19. Prior to recordation of the map or prior to occupancy of a project, all conditions of approval shall be completed to the satisfaction of the City Engineer and Community Developer Director or his designee.
- 20. Two sets of the revised Planning Commission approved plans incorporating all Conditions of Approval, standard and site specific, shall be submitted to the Community Development Department prior to the issuance of building permits.

- 21. Prior to the issuance of building permits, the
 - Development Review Committee shall approve the following:
 - Planning Division Staff shall approve the following:
 - a. A detailed site plan indicating the location of all structures, parking layout, outdoor storage areas, walls, fences and trash enclosures;
 - b. A detailed landscape plan;
 - c. Detailed building elevations of all structures indicating materials, colors, and architectural treatments;
 - d. Other:

B. GENERAL CONDITIONS – TRACT/PARCEL MAP:

- 1. In accordance with Government Section 66474.9, the subdivider shall defend, indemnify and hold harmless the City, or its agent, officers and employees, from any claim, action or proceeding brought within the time period provided for in Government Code section 66499.37, against the City, or its agents, officers, or employees, to attack, set aside, void, annul the City's approval of this subdivision. The City will promptly notify subdivider of any such claim or action and will cooperate fully in the defense thereof.
- 2. The Covenants, Conditions, and Restrictions (CC&Rs) and/or Articles Affecting Real Property Interests are subject to the review and approval of the Community Development Department, the Public Works Department and/or the City Attorney. They shall be recorded concurrently with the Final Map or prior to the issuance of building permits, whichever occurs first. A recorded copy shall be provided to the affected City Departments.
- 3. The owner shall petition to annex residential Tract (or Parcel Map)_____ into the City of Paso Robles Community Facilities District No. 2005-1 for the purposes of mitigation of impacts on the City's Police and Emergency Services Departments.
- 4. Street names shall be submitted for review and approval by the Planning Commission, prior to approval of the final map.
- 5. The following areas shall be permanently maintained by the property owner, Homeowners' Association, or other means acceptable to the City:

ENGINEERING DIVISION- The applicant shall contact the Engineering Division, (805) 237-3860, for compliance with the following conditions:

All conditions marked are applicable to the above referenced project for the phase indicated.

C. PRIOR TO ANY PLAN CHECK:

1. The applicant shall enter into an Engineering Plan Check and Inspection Services Agreement with the City.

D. PRIOR TO ISSUANCE OF A GRADING PERMIT:

1. Prior to approval of a grading plan, the developer shall apply through the City, to FEMA and receive a Letter of Map Amendment (LOMA) issued from FEMA. The developer's engineer shall provide the required supporting data to justify the application.
2. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No. 553, Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to its removal.
3. A complete grading and drainage plan shall be prepared for the project by a registered civil engineer and subject to approval by the City Engineer. The project shall conform to the City's Storm Water Discharge Ordinance.
4. A Preliminary Soils and/or Geology Report providing technical specifications for grading of the site shall be prepared by a Geotechnical Engineer.
5. A Storm Water Pollution Prevention Plan per the State General Permit for Storm Water Discharges Associated with Construction Activity shall be provided for any site that disturbs greater than or equal to one acre, including projects that are less than one acre that are part of a larger plan of development or sale that would disturb more than one acre.

E. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

1. All off-site public improvement plans shall be prepared by a registered civil engineer and shall be submitted to the City Engineer for review and approval. The improvements shall be designed and placed to the Public Works Department Standards and Specifications.

- 2. The applicant shall submit a composite utility plan signed as approved by a representative of each public utility.
- 3. Landscape and irrigation plans for the public right-of-way shall be incorporated into the improvement plans and shall require approval by the Streets Division Supervisor and the Community Development Department.
- 4. In a special Flood Hazard Area as indicated on a Flood Insurance Rate Map (FIRM) the owner shall provide an Elevation Certificate in accordance with the National Flood Insurance program. This form must be completed by a land surveyor or civil engineer licensed in the State of California.

F. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY OR RECORDATION OF THE FINAL MAP:

The Planning Commission has made a finding that the fulfillment of the construction requirements listed below are a necessary prerequisite to the orderly development of the surrounding area.

- 1. The applicant shall pay any current and outstanding fees for Engineering Plan Checking and Construction Inspection services.
- 2. All public improvements are completed and approved by the City Engineer, and accepted by the City Council for maintenance.
- 3. The owner shall offer to dedicate and improve the following street(s) to the standard indicated:

4 th Street	City Standard	Standard Drawing No.
Street Name		

- 4. If, at the time of approval of the final map, any required public improvements have not been completed and accepted by the City the owner shall be required to enter into a Subdivision Agreement with the City in accordance with the Subdivision Map Act.

Bonds required and the amount shall be as follows:
 Performance Bond.....100% of improvement costs.
 Labor and Materials Bond.....50% of performance bond.

- 5. If the existing City street adjacent to the frontage of the project is inadequate for the traffic generated by the project, or will be severely damaged by the construction, the applicant shall excavate the entire structural section and replace it with a standard half-width street plus a 12' wide travel lane and 8' wide graded shoulder adequate to provide for two-way traffic.

6. If the existing pavement and structural section of the City street adjacent to the frontage of the project is adequate, the applicant shall provide a new structural section from the proposed curb to the edge of pavement and shall overlay the existing paving to centerline for a smooth transition.
7. Due to the number of utility trenches required for this project, the City Council adopted Pavement Management Program requires a pavement overlay on _____ along the frontage of the project.
8. The applicant shall install all utilities underground. Street lights shall be installed at locations as required by the City Engineer. All existing overhead utilities adjacent to or within the project shall be relocated underground except for electrical lines 77 kilovolts or greater. All utilities shall be extended to the boundaries of the project.
9. The owner shall offer to dedicate to the City the following easement(s). The location and alignment of the easement(s) shall be to the description and satisfaction of the City Engineer:
- a. Public Utilities Easement;
 - b. Water Line Easement;
 - c. Sewer Facilities Easement;
 - d. Landscape Easement;
 - e. Storm Drain Easement.
10. The developer shall annex to the City's Landscape and Lighting District for payment of the operating and maintenance costs of the following:
- a. Street lights;
 - b. Parkway/open space landscaping;
 - c. Wall maintenance in conjunction with landscaping;
 - d. Graffiti abatement;
 - e. Maintenance of open space areas.
11. For a building with a Special Flood Hazard Area as indicated on a Flood Insurance Rate Map (FIRM), the developer shall provide an Elevation Certificate in accordance with the National Flood Insurance Program. This form must be completed by a lands surveyor or civil engineer licensed in the State of California.
12. All final property corners shall be installed.
13. All areas of the project shall be protected against erosion by hydro seeding or landscaping.
14. All construction refuse shall be separated (i.e. concrete, asphalt concrete, wood gypsum board, etc.) and removed from the project in accordance with the City's Source Reduction and Recycling Element.

- 15. Clear blackline mylars and paper prints of record drawings, signed by the engineer of record, shall be provided to the City Engineer prior to the final inspection. An electronic autocad drawing file registered to the California State Plane – Zone 5 / NAD83 projected coordinate system, units in survey feet, shall be provided.

PASO ROBLES DEPARTMENT OF EMERGENCY SERVICES- The applicant shall contact the Department of Emergency Services, (805) 227-7560, for compliance with the following conditions:

G. GENERAL CONDITIONS

- 1. Prior to the start of construction:
 - Plans shall be reviewed, approved and permits issued by Emergency Services for underground fire lines.
 - Applicant shall provide documentation to Emergency Services that required fire flows can be provided to meet project demands.
 - Fire hydrants shall be installed and operative to current, adopted edition of the California Fire Code.
 - A based access road sufficient to support the department's fire apparatus (HS-20 truck loading) shall be constructed and maintained for the duration of the construction phase of the project.
 - Access road shall be at least twenty (20) feet in width with at least thirteen (13) feet, six (6) inches of vertical clearance.

- 2. Provide central station monitored fire sprinkler system for all residential, commercial and industrial buildings that require fire sprinklers in current, adopted edition of the California Building Code, California Fire Code and Paso Robles Municipal Code.
 - Plans shall be reviewed, approved and permits issued by Emergency Services for the installation of fire sprinkler systems.

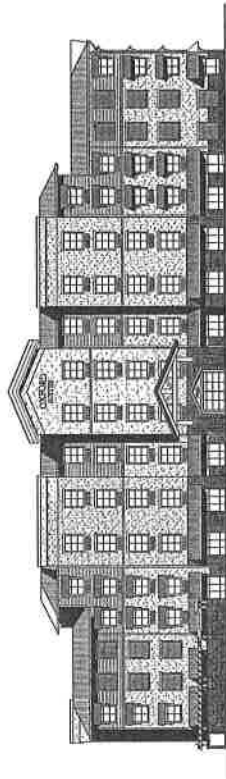
- 3. Provide central station monitored fire alarm system for all residential, commercial and industrial buildings that require fire alarm system in current, adopted edition of the California Building Code, California Fire Code and Paso Robles Municipal Code.

- 4. If required by the Fire Chief, provide on the address side of the building if applicable:
 - Fire alarm annunciator panel in weatherproof case.
 - Knox box key entry box or system.
 - Fire department connection to fire sprinkler system.

5. Provide temporary turn-around to current City Engineering Standard for phased construction streets that exceed 150 feet in length.
6. Project shall comply with all requirements in current, adopted edition of California Fire Code and Paso Robles Municipal Code.
7. Prior to the issuance of Certificate of Occupancy:
 - Final inspections shall be completed on all underground fire lines, fire sprinkler systems, fire alarm systems and chemical hood fire suppression systems.
 - Final inspections shall be completed on all buildings.

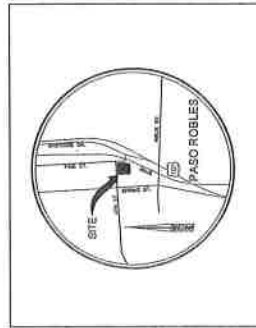
OXFORD SUITES

4TH & PINE STREET
PASO ROBLES CA 93446



DEVELOPMENT PLAN SUBMITTAL NOVEMBER 4, 2013

VICINITY MAP



OWNER: OS INNGO, INC.
425 BELLEUE DRIVE, STE 210
BEND OREGON 97701
CURT BANNEY
CURTB@OXFORDSUITES.COM
PH: 541.382.2188

DESIGNER:
OS INNGO, INC.
425 BELLEUE DRIVE
BEND OREGON 97701
CONTACT: ED MUNDW
MARKS@OXFORDSUITES.COM
PH: 541.848.0890

EDMUND CB WARDEN LEED AP CSBA
EDMUNDW@OXFORDSUITES.COM
PH: 541.749.1059

PROJECT TEAM

CIVIL ENGINEER:
DASIS ASSOCIATES, INC.
725 CHESTNUT ROAD SUITE B
PASO ROBLES, CA 93446
GREG S. JAEGER, PE
GREG@DASISENGINEERING.COM
805.429.9127

LANDSCAPE ARCHITECTURE & PLANNING:
DASIS ASSOCIATES, INC.
3427 MIGUELITO COURT
SAN LUIS OBISPO, CA 93401
MICHAEL DRIPE, ASLA
MICHAEL@DASISASSOC.COM
805.541.4509

SHEET INDEX

A0.0 COVER SHEET
PRELIMINARY GRADING & DRAINAGE PLAN
PRELIMINARY SITE DRAINAGE SECTIONS
CONCEPTUAL LANDSCAPE PLAN
A1.0 ARCHITECTURAL SITE PLAN
A2.1 EXTERIOR ELEVATIONS
A2.2 EXTERIOR ELEVATIONS
A2.3 EXTERIOR ELEVATIONS
A3.0 EXTERIOR ELEVATIONS
A3.1 EXTERIOR ELEVATIONS
A3.2 EXTERIOR ELEVATIONS
A3.3 EXTERIOR ELEVATIONS
CLOSERD NORTH ELEVATION

RECEIVED

NOV 05 2013

City of Paso Robles
Community Development Dept.

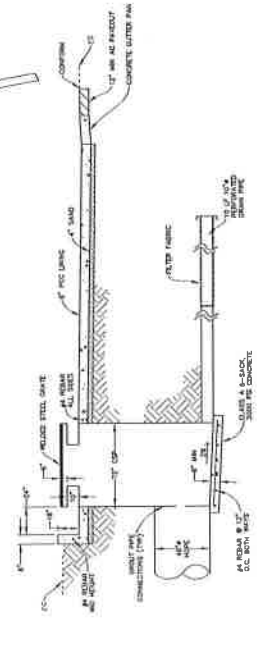
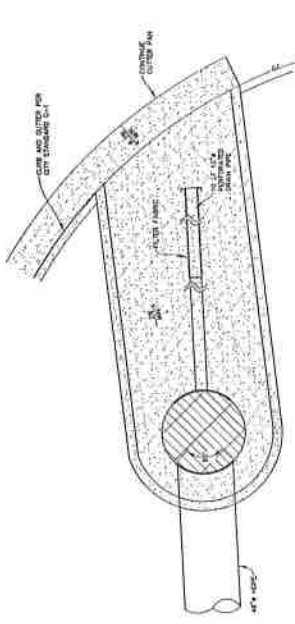
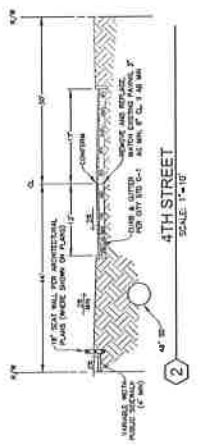
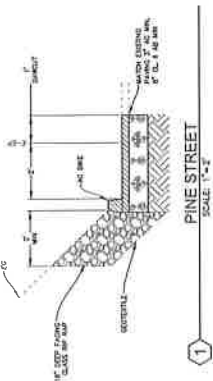
Exhibit B
Cover Sheet - Project Data
PD 13-003
(Oxford Suites)

A0.0

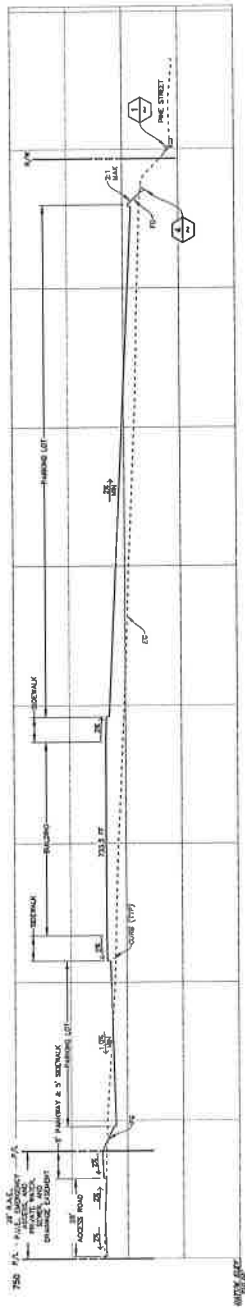
COVER SHEET

OXFORD SUITES
PASO ROBLES
4TH AND PINE STREETS
PASO ROBLES CALIFORNIA

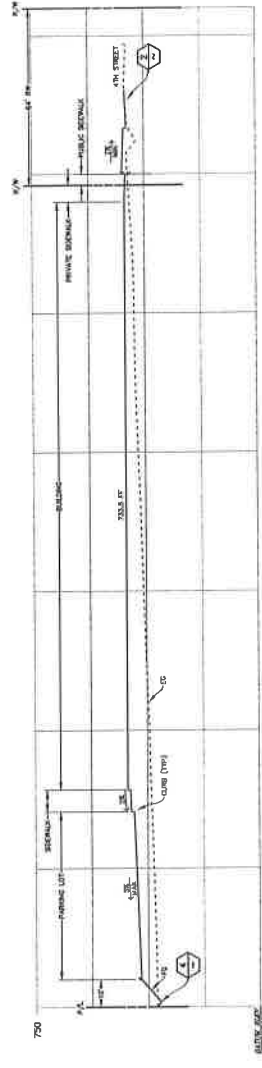
OS INNGO, INC.
425 BELLEUE DRIVE
BEND OREGON 97701
541.382.2188



3 OUTLET STRUCTURE (APPROXIMATE)
N/S



SITE SECTION
VERTICAL 1" = 10'
HORIZONTAL 1" = 20'

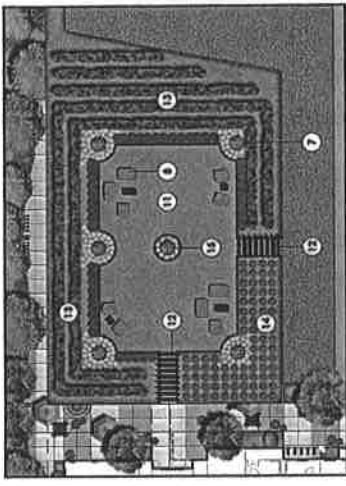
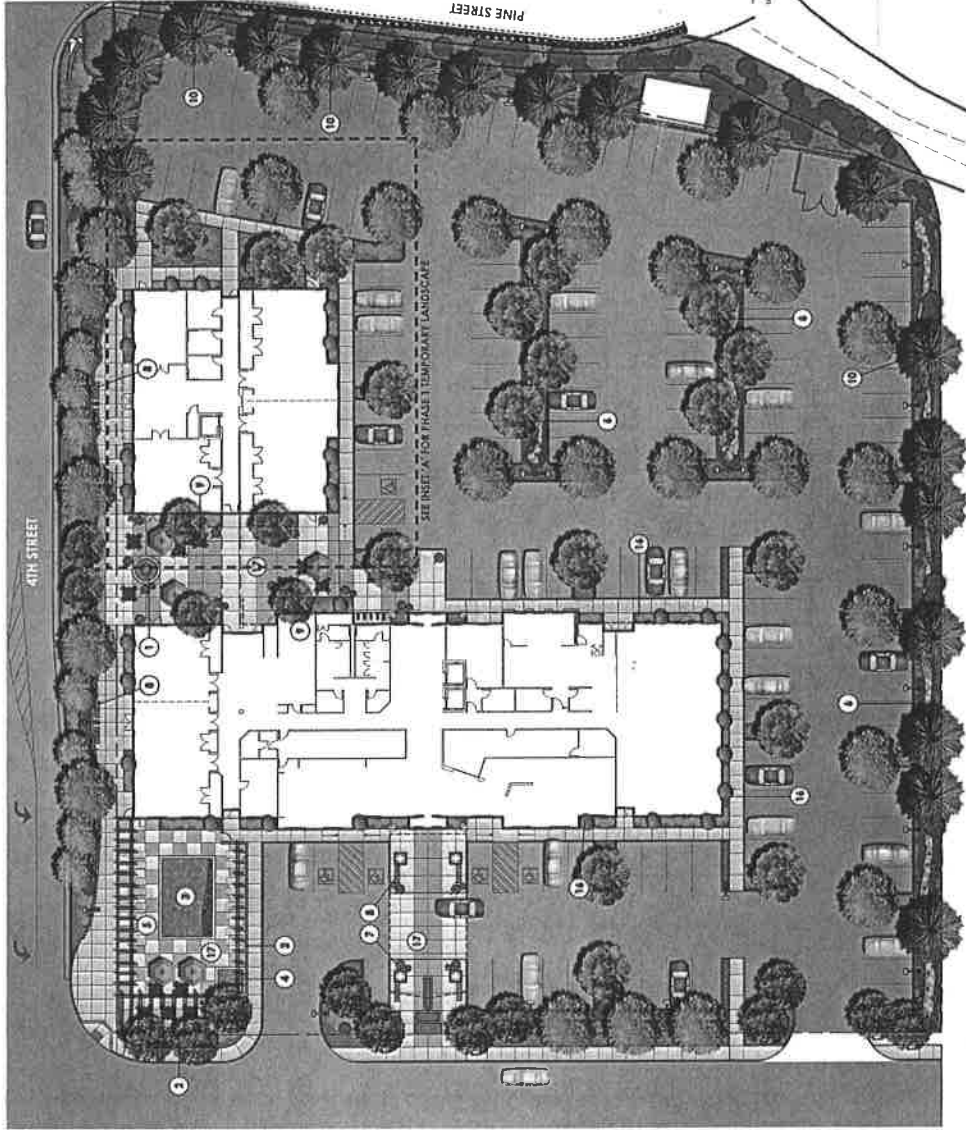


SITE SECTION
VERTICAL 1" = 10'
HORIZONTAL 1" = 20'

OXFORD SUITES
PRELIMINARY SITE CROSS
SECTIONS
PRAL 13-0084



Exhibit E
Prelim. Cross Sections
PD 13-003
(Oxford Suites)



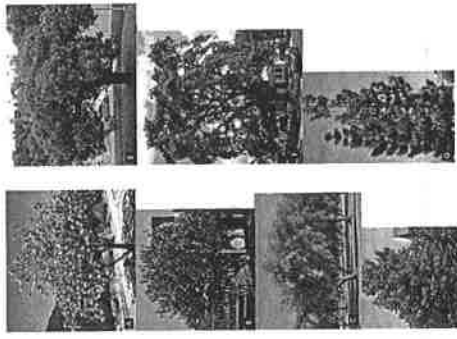
INSET 'A': PHASE I TEMPORARY LANDSCAPE

KEYNOTE LEGEND

- 1 NOURISH / WATER FEATURE
- 2 PERIMETRY WALLS WITH TREES
- 3 POTTS (10' DIA. @ 3' X 3')
- 4 POOL DECK ELEMENTS
- 5 LANDSCAPE POLE TOP
- 6 SEAWALL CORNER WITH BOLLARDS
- 7 LANDSCAPE POLE TOP
- 8 TABLE WITH CANOES TOP
- 9 SCHEMATIC PLANT MATERIAL
- 10 GRAVE BURIAL
- 11 WOODEN ARBOR WITH TREELING
- 12 LANDSCAPE ART / SCULPTURE / BIODIVERSITY
- 13 TALL NARROW-SHOULDER AGAINST BUILDING
- 14 ENHANCED PAVING

PROPOSED PLANT LIST

BOTANICAL / COMMON NAME	SIZE	NOTES
ACCENT TREES		
A. <i>Pinus strobus</i> / PINE	30' BOX	FLOWERING DECIDUOUS
B. <i>Quercus macrocarpa</i> / WHITE OAK	24' BOX	FLOWERING DECIDUOUS
C. <i>Pinus strobus</i> / PINE	30' BOX	EVERGREEN
D. <i>Pinus strobus</i> / PINE	15 GAL	DECIDUOUS
E. <i>Pinus strobus</i> / PINE	15 GAL	DECIDUOUS
F. <i>Pinus strobus</i> / PINE	15 GAL	EVERGREEN CONIFER
G. <i>Pinus strobus</i> / PINE	15 GAL	EVERGREEN CONIFER
LANDSCAPE TREES		
H. <i>Pinus strobus</i> / PINE	5 GAL	EVERGREEN CONIFER
I. <i>Pinus strobus</i> / PINE	5 GAL	EVERGREEN CONIFER
J. <i>Pinus strobus</i> / PINE	5 GAL	EVERGREEN CONIFER
K. <i>Pinus strobus</i> / PINE	5 GAL	EVERGREEN CONIFER
L. <i>Pinus strobus</i> / PINE	5 GAL	EVERGREEN CONIFER
M. <i>Pinus strobus</i> / PINE	5 GAL	EVERGREEN CONIFER
N. <i>Pinus strobus</i> / PINE	5 GAL	EVERGREEN CONIFER
O. <i>Pinus strobus</i> / PINE	5 GAL	EVERGREEN CONIFER
P. <i>Pinus strobus</i> / PINE	5 GAL	EVERGREEN CONIFER
Q. <i>Pinus strobus</i> / PINE	5 GAL	EVERGREEN CONIFER
R. <i>Pinus strobus</i> / PINE	5 GAL	EVERGREEN CONIFER
S. <i>Pinus strobus</i> / PINE	5 GAL	EVERGREEN CONIFER
T. <i>Pinus strobus</i> / PINE	5 GAL	EVERGREEN CONIFER
U. <i>Pinus strobus</i> / PINE	5 GAL	EVERGREEN CONIFER
V. <i>Pinus strobus</i> / PINE	5 GAL	EVERGREEN CONIFER
W. <i>Pinus strobus</i> / PINE	5 GAL	EVERGREEN CONIFER
X. <i>Pinus strobus</i> / PINE	5 GAL	EVERGREEN CONIFER
Y. <i>Pinus strobus</i> / PINE	5 GAL	EVERGREEN CONIFER
Z. <i>Pinus strobus</i> / PINE	5 GAL	EVERGREEN CONIFER



SHEET NO. 1 OF 1

CONCEPTUAL LANDSCAPE PLAN

OCTOBER 21, 2013

THE OXFORD HOTEL GROUP

OXFORD SUITES
4TH AND PINE STREETS, PASO ROBLES, CA

Exhibit F
Conceptual Landscape Plan
PD 13-003
(Oxford Suites)



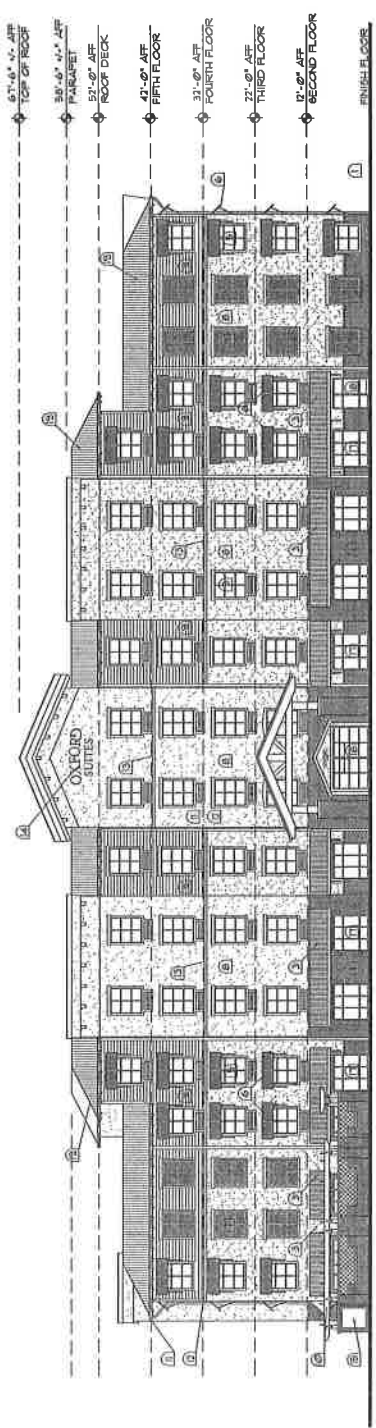
OS INCO, INC.
 425 BELLEVUE DRIVE
 BEND OREGON 97701
 541.382.2100

OXFORD SUITES
 PASO ROBLES
 4TH AND PINE STREETS
 PASO ROBLES CALIFORNIA

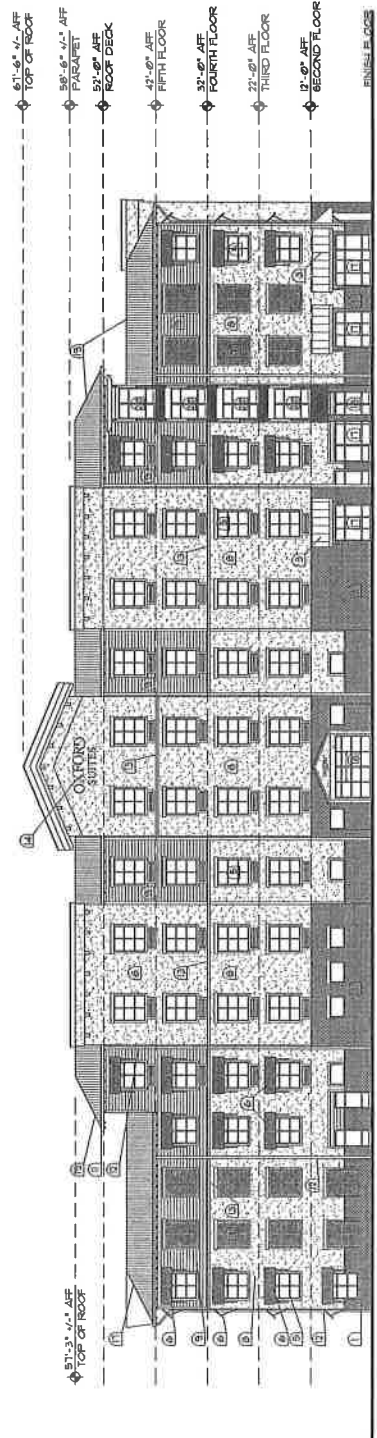
EXTERIOR ELEVATIONS
 BUILDING ONE

DATE: 11-02-2013
 SCALE: 1/8"=1'-0"
 DRAWN BY: DDP
 SHEET: A3.1

- KEYNOTES**
- 1 MASONRY BASE COURSE
 - 2 MASONRY ROOF PRIVACY WALL WITH METAL GRILLE WORK
 - 3 METAL CANOPY
 - 4 PORTE COCHERE WITH METAL ROOF
 - 5 HIGH E VINYL WINDOW - TYPICAL
 - 6 METAL LOWER SILING
 - 7 METAL LOWER SHUTTERS
 - 8 THREE COAT STUCCO
 - 9 FIBER CEMENT LAP SIDING
 - 10 TIMBER TRELLIS
 - 11 METAL GUTTER
 - 12 METAL DOWNSPOUT
 - 13 TRIM BOARD
 - 14 2" TALL SIGNAGE LETTERING
 - 15 READERS BOARD - 4" H. X 6" H.
 - 16 BRIDGE WITH 42" H. GUARD RAILS -
 - 17 STOREFRONT WINDOW SYSTEM - TYPICAL
 - 18 ENTRY DOORS
 - 19 METAL ROOFING
 - 20 BRIDGE ENTRY DOORS

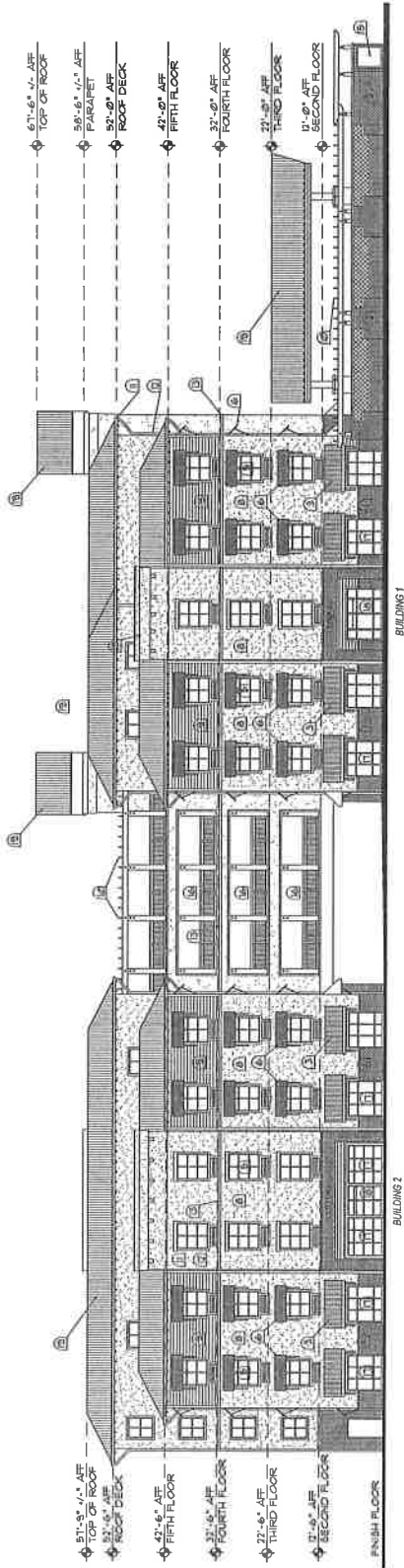


WEST ELEVATION
 SCALE: 3/32" = 1'-0"

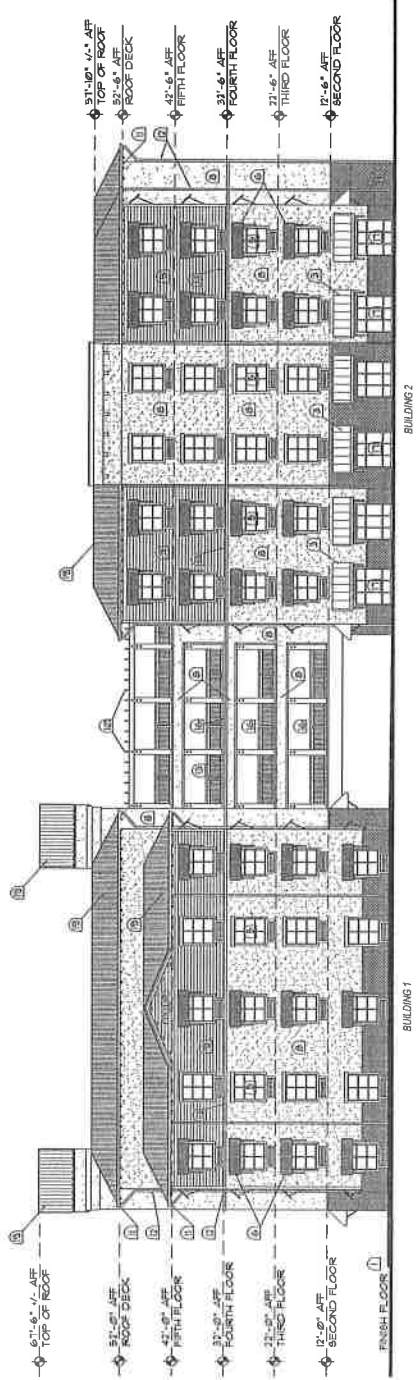


EAST ELEVATION
 SCALE: 3/32" = 1'-0"

Exhibit H
 Arch. Elev. Bldg - 1 (West & East)
 PD 13-003
 (Oxford Suites)



NORTH ELEVATION
SCALE 3/32" = 1'-0"



SOUTH ELEVATION
SCALE 3/32" = 1'-0"

KEYNOTES

- 1 MASONRY BASE COURSE
- 2 METAL PRIVACY WALL WITH METAL SLATS
- 3 METAL CANOPY
- 4 PORTE COCHERE WITH METAL ROOF
- 5 HIGH E VINYL WINDOW - TYPICAL
- 6 METAL LOUVER AWNING
- 7 METAL LOUVER SHUTTERS
- 8 THREE COAT STUCCO
- 9 FIBER CEMENT LAP SIDING
- 10 TIMBER TRELLIS
- 11 METAL GUTTER
- 12 METAL DOWNSPOUT
- 13 TRIM BOARD
- 14 2" TALL SIGNAGE LETTERING
- 15 READER BOARD - 4" W. X 6" H.
- 16 BRIDGE WITH 42" H. GUARD RAILS - TYPICAL
- 17 STOREFRONT WINDOW SYSTEM - TYPICAL
- 18 ENTRY DOORS
- 19 METAL ROOFING
- 20 BRIDGE ENTRY DOORS

OS INCO, INC.
425 BELLEVUE DRIVE
BEND OREGON 97701
541.382.2188

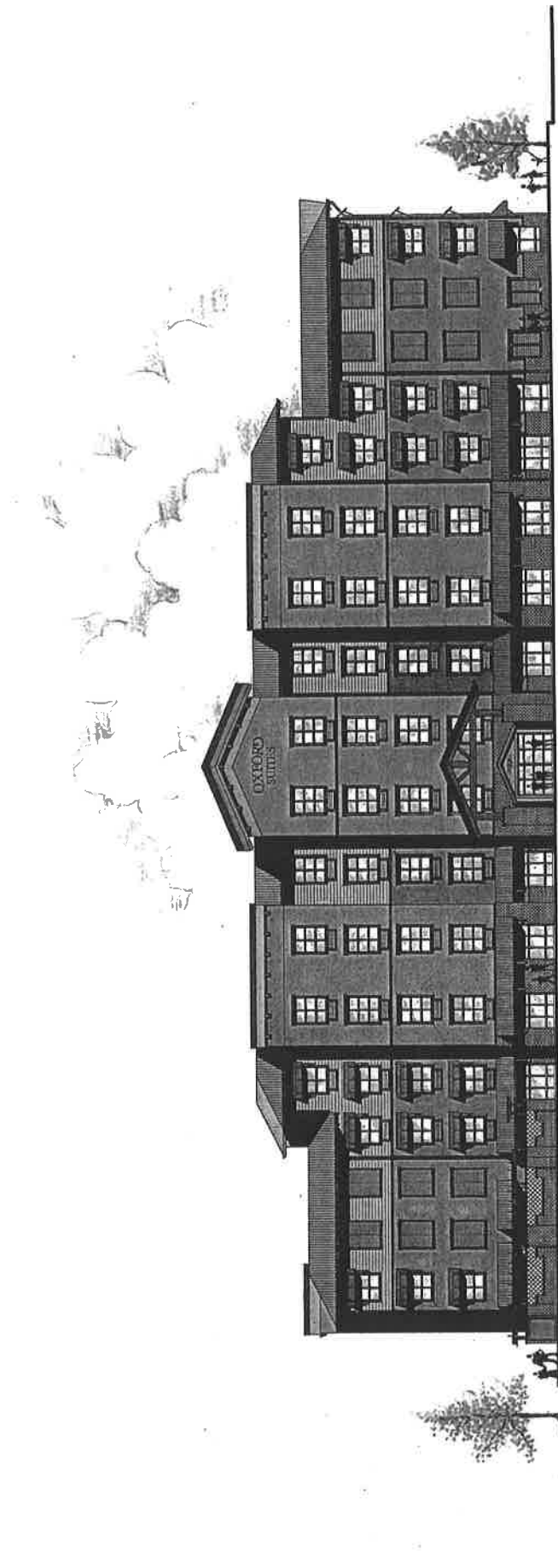
OXFORD SUITES
PASO ROBLES
4TH AND PINE STREETS
PASO ROBLES CALIFORNIA

EXTERIOR ELEVATIONS
BUILDINGS ONE & TWO

REVISIONS	BY
DATE	PROJECT
SCALE	SHEET

A3.2

Exhibit I
Arch. Elev. Bldg - 1&2 (North & South)
PD 13-003
(Oxford Suites)

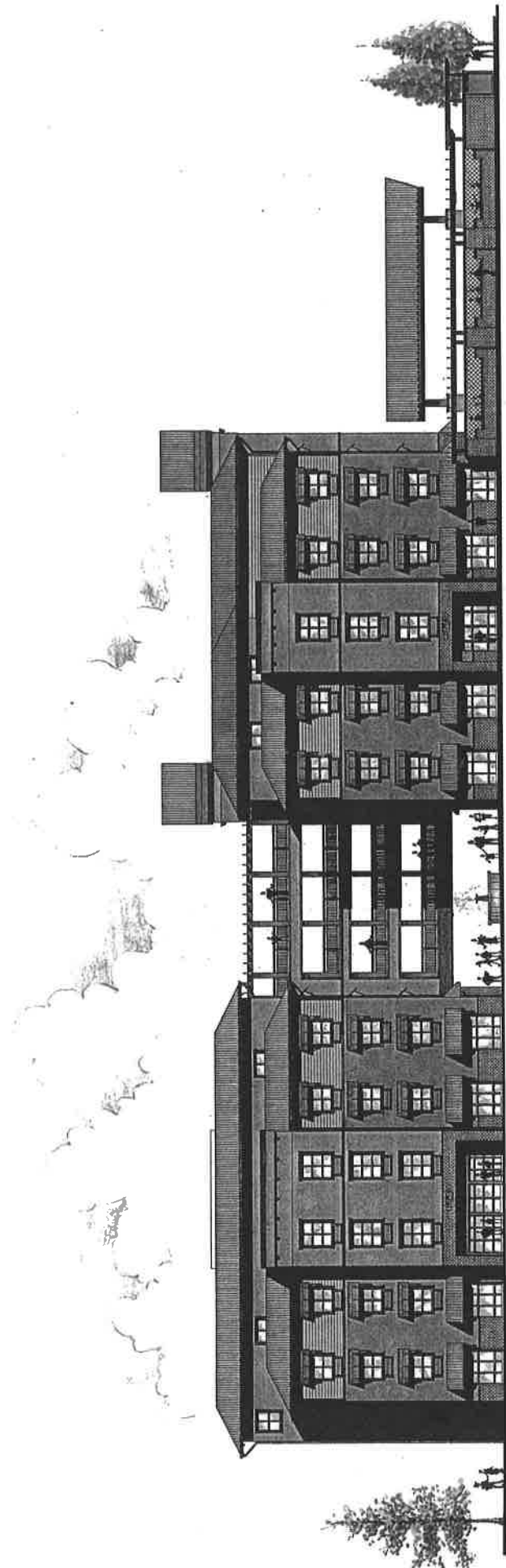


OXFORD SUITES · PASO ROBLES

WEST ELEVATION



Exhibit K
Colored Elevation - (West)
PD 13-003
(Oxford Suites)



OXFORD SUITES . PADO ROBLES

NORTH ELEVATION



Exhibit L
Colored Elevation - (North)
PD 13-003
(Oxford Suites)



CITY OF EL PASO DE ROBLES

"The Pass of the Oaks"

AFFIDAVIT

OF MAIL NOTICES

PLANNING COMMISSION/CITY COUNCIL PROJECT NOTICING

I, Kristen Buxkemper, employee of the City of El Paso de Robles, California, do hereby certify that the mail notices have been processed as required for Oxford Suites (PD13-003) located on the south side of 4th Street between Spring and Pine Street, on this 19th day of December, 2013.

City of El Paso de Robles
Community Development Department
Planning Division

Signed:


Kristen Buxkemper