

RESOLUTION NO. 11-013

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
APPROVING PLANNED DEVELOPMENT 11-001
(FERGUSON)
APN: 008-391-021

WHEREAS, Tentative Tract 3034 has been filed by John Ferguson to subdivide an approximate 1-acre site into 8 single-family residential lots for the construction of 8 single-family residential homes; and

WHEREAS, the site is located at 935 Creston Road; and

WHEREAS, the existing General Plan Land Use designation of the site is RMF-8 (Residential Multi-Family, eight units per acre), and the existing zoning is R2-PD (Residential Multi-Family, Planned Development Overlay); and

WHEREAS, Planned Development 11-001 has been filed in conjunction with this tentative map request to meet Section 21.16.A.020 of the Zoning Code, which requires Planning Commission approval of a development plan (PD) for projects that have PD Overlay zoning; and

WHEREAS, this application is Categorically Exempt from environmental review per Section 15332 of the State's Guidelines to Implement the California Environmental Quality Act (CEQA); and

WHEREAS, a public hearing was conducted by the Planning Commission on June 14, 2011 to consider facts as presented in the staff report prepared for this project, and to accept public testimony regarding this proposed subdivision and associated planned development, and

WHEREAS, based upon the facts and analysis presented in the staff reports, public testimony received and subject to the conditions of approval listed below, the Planning Commission makes the following findings:

1. The proposed Planned Development is consistent with the purpose, intent and regulations set forth in Chapter 21.16A (Planned Development Overlay District Regulations) as follows:
 - a. The granting of this permit will not adversely affect the policies, spirit and intent on the general plan, applicable specific plans, the zoning code, policies and plans of the City;
 - b. The proposed project is designed to be sensitive to, and blend in with, the character of the site and surrounding areas, and in this case the project has been designed to orient homes to the street and provide a common, centrally located open space area for all home owners to utilize;
 - c. The proposed project's design and density of developed portion of the site is compatible with surrounding development and does not create a disharmonious or disruptive element to the surrounding area;

- d. The development would be consistent with the purpose and intent of this chapter and would not be contrary to the public health, safety and welfare;

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles, does hereby approve Planned Development 11-001 subject to the following conditions:

STANDARD CONDITIONS:

- 1. The project shall comply with all conditions of approval contained in the resolution granting approval to Tentative Tract and its exhibits.

SITE SPECIFIC CONDITIONS:

NOTE: In the event of conflict or duplication between standard and site specific conditions, the site specific condition shall supersede the standard condition.

- 2. The project shall be constructed so as to substantially conform with the following listed exhibits and conditions established by this resolution:

EXHIBIT	DESCRIPTION
A	Site Plan
B	Site/Fencing Plan
C	Preliminary Landscape Plan
D1-D7	Floor Plan/Elevations – Unit 1- 8
E	Color Board (on file)

- 3. This Planned Development 11-001 coincides with Tentative Tract Map 3034 and authorizes the subdivision of an approximate 1-acre site into a maximum of 8 single-family residential lots.
- 4. Prior to the issuance of a Grading Permit for each lot, site plans, architectural elevations, colors/materials, fencing plans and landscaping plans shall be submitted for review by the Development Review Committee (DRC). The DRC may suggest that additional architectural elements may be necessary depending on views from Creston Road and from the common driveway.
- 5. Prior to the issuance of a grading plan or acceptance of a final map, an Arborist Report needs to be provided that indicates that the use of pervious pavers as proposed is an acceptable method of protection and consistent with the Oak Tree Ordinance. Arborist monitoring of the driveway construction is also required including a statement from the Arborist at the end of construction indicating that the driveway was installed to his or her satisfaction. If the Arborist determines that the driveway needs to be moved further away from the tree, the site plan would need to be redesigned accordingly.
- 6. All fences located in the front yard area of the homes on Lots 1 & 2 (area between the house and Creston Road) shall be no taller than 3-feet and subject to DRC approval.

7. There shall be no storage or parking of vehicles or placement of storage sheds in the area between the homes on Lots 1 & 2 and Creston Road.
8. A condition of approval shall be added to the CCRs for the Tract that indicates that all landscaping adjacent to Creston Road, including the front yards of units 1 & 2 shall be maintained by the Home Owners Association. Additionally the common area and areas that are not in the immediate private front, side or rear yard of the homes shall also be maintained by the Home Owners Association. Prior to or concurrent with the recordation of the final map an exhibit shall be prepared for review and approval by the City indicating the landscape areas to be maintained by the Association.

PASSED AND ADOPTED THIS 14th day of June, 2011 by the following Roll Call Vote:

AYES: Treatch, Garcia, Vanderlip, Barth, Peterson, Gregory
NOES: Holstine
ABSENT: None
ABSTAIN: None

CHAIRMAN STEVE GREGORY

ATTEST:

ED GALLAGHER, PLANNING COMMISSION SECRETARY

7. There shall be no storage or parking of vehicles or placement of storage sheds in the area between the homes on Lots 1 & 2 and Creston Road.
8. A condition of approval shall be added to the CCRs for the Tract that indicates that all landscaping adjacent to Creston Road, including the front yards of units 1 & 2 shall be maintained by the Home Owners Association. Additionally the common area and areas that are not in the immediate private front, side or rear yard of the homes shall also be maintained by the Home Owners Association. Prior to or concurrent with the recordation of the final map an exhibit shall be prepared for review and approval by the City indicating the landscape areas to be maintained by the Association.

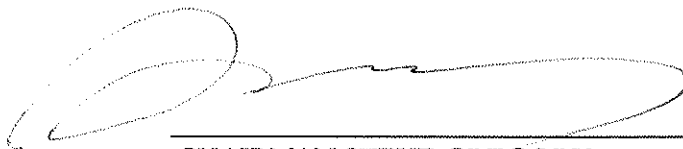
PASSED AND ADOPTED THIS 14th day of June, 2011 by the following Roll Call Vote:

AYES: Treatch, Garcia, Vanderlip, Barth, Peterson, Gregory

NOES: Holstine

ABSENT: None

ABSTAIN: None



CHAIRMAN STEVE GREGORY

ATTEST:



ED GALLAGHER, PLANNING COMMISSION SECRETARY

PROJECT DATA
 8 UNIT PUD
 ADDRESS = 935 CRESTON ROAD
 APN = 007-41-002
 LOT AREA = 4253 SQ.FT.
 PAVED AREA = 1334 SQ.FT.
 BUILDING COVER = 13,441 SQ.FT. 32%
 LANDSCAPE AREA = 11,315 SQ.FT. 4%

THERE ARE NO EXISTING OAK TREES ON THE PROPERTY.



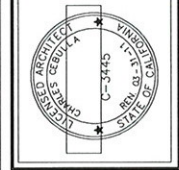
SITE PLAN
 SCALE 1"=20'

Exhibit A
 Site Plan
 Tent. Tract 3034 & PD 11-001
 935 Creston Road
 (Ferguson)



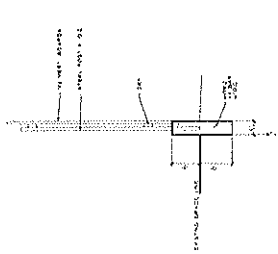
CEBULLA ASSOCIATES
 P.O. BOX 42
 PRIMO BEACH, CA 92448
 TEL: (949) 478-2222
 FAX: (949) 478-2203
 www.cebullaassociates.net
 Architect: CHARLES CEBULLA
 Designer: MATT CEBULLA

PROJECT:
 8 UNIT PUD
 935 CRESTON ROAD
 PALO VERDE, CA 91444
OWNER:
 JOHN FERGUSON
 SAN LUIS OBISPO, CA 95401
 805-461-2304

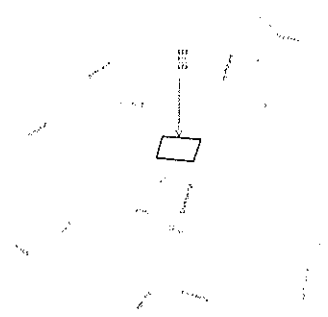


REVISIONS:

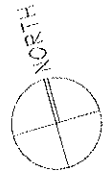
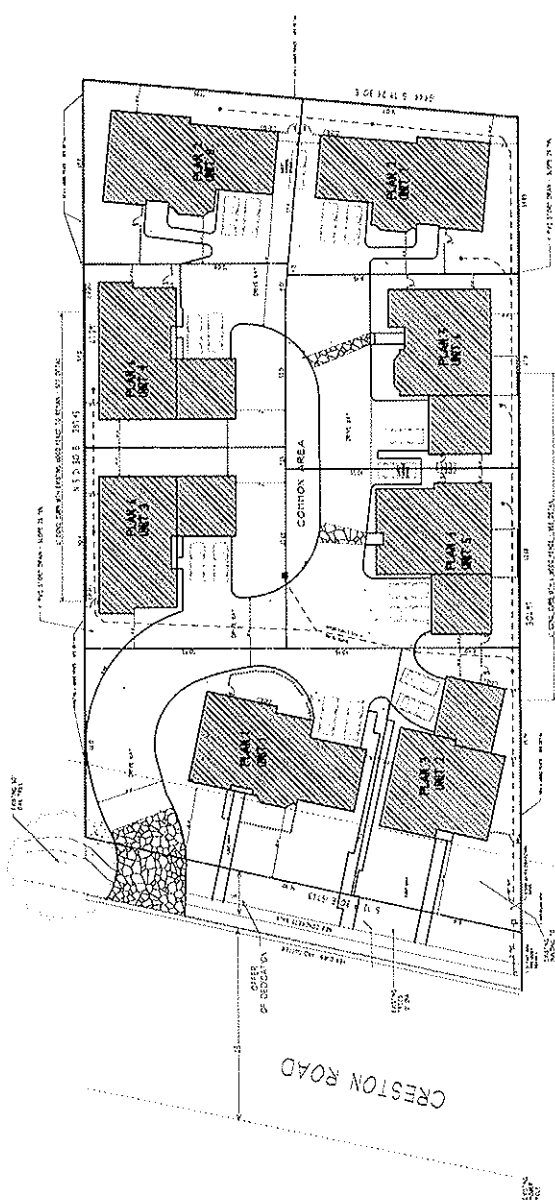
JOB # 104
 DATE: 01-02-10
SHEET NO
C



TYPICAL 4' WOOD FENCE DETAIL 1



VICINITY MAP



SITE PLAN / FENCE PLAN

T = 20

LEGEND

- EXISTING ASPHALT DRIVEWAY
- EXISTING ASPHALT DRIVEWAY
- EXISTING ASPHALT DRIVEWAY
- EXISTING ASPHALT DRIVEWAY
- EXISTING ASPHALT DRIVEWAY

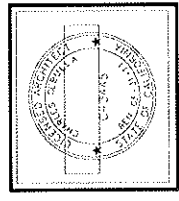
PROJECT DATA
 3 UNIT BLDG
 ADDRESS : 935 CRESTON ROAD
 APN : 091-45-002
 LOT AREA : 4235 SQ FT
 PAVED AREA : 1344 SQ FT
 BUILDING COVER : 1344 SQ FT, 52%
 LANDSCAPE AREA : 1344 SQ FT, 5%

THERE ARE NO EXISTING OAK TREES ON THE PROPERTY



CEBULLA ASSOCIATES
 P.O. BOX 42
 PLEASANTON, CALIFORNIA
 PH: (925) 433-2268
 FAX: (925) 433-2003
 www.cebullaassociates.com
 Architect: CHARLES CEBULLA
 Designer: MATT CEBULLA

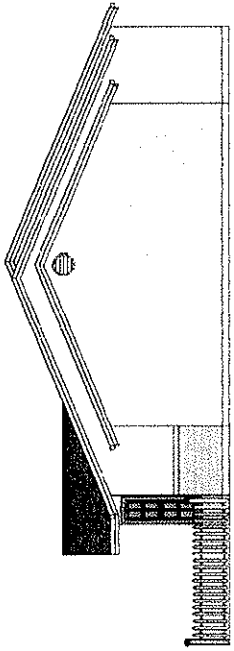
PROJECT
 3 UNIT BLDG
 935 CRESTON ROAD
 PLEASANTON, CA 94546
 OWNER
 JONAS FERGUSON
 241555 285 SQ. FT. 1590
 803-441-1304



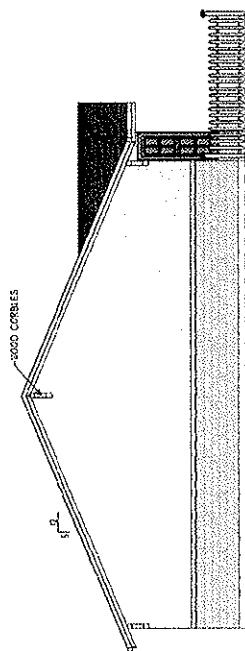
REVISIONS

JOB # 024
 DATE 06-05-09
 SHEET NO 1

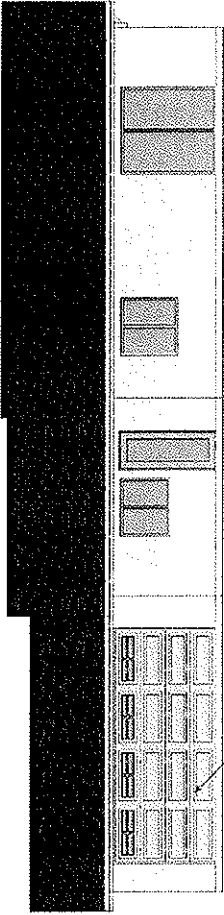
Exhibit B
 Site Plan/Fencing
 Tent. Tract 3034 & PD 11-001
 935 Creston Road
 (Ferguson)



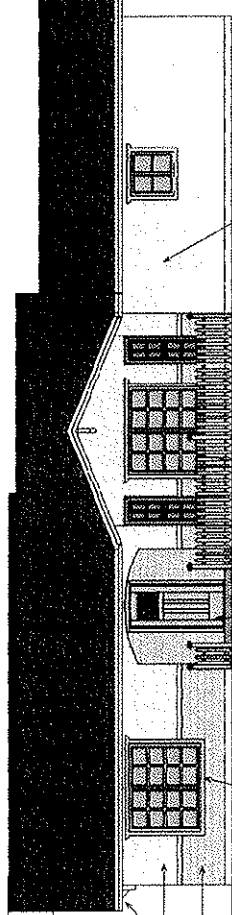
UNIT I EAST ELEVATION



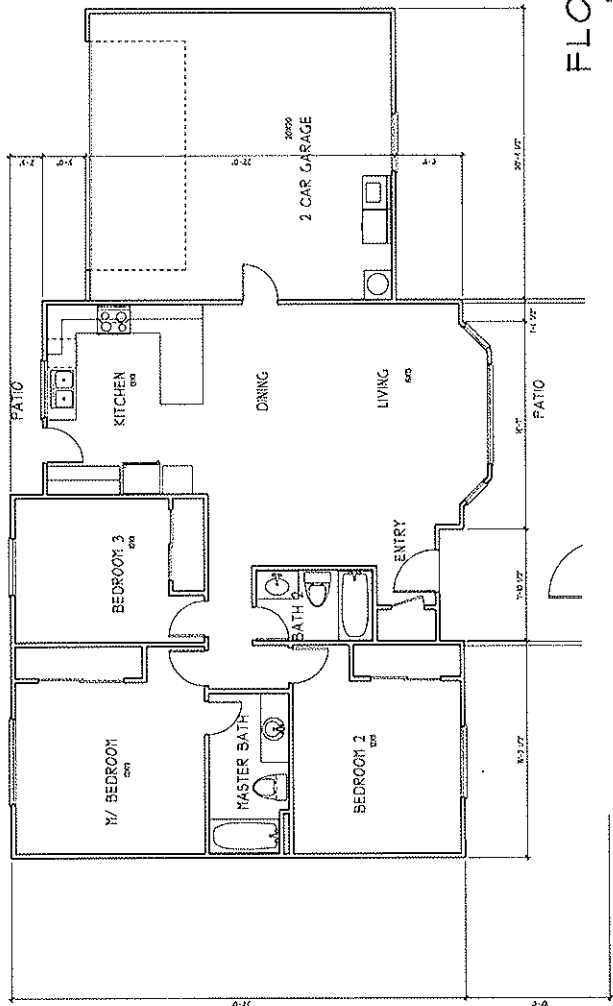
UNIT I WEST ELEVATION



UNIT I NORTH ELEVATION



UNIT I SOUTH ELEVATION



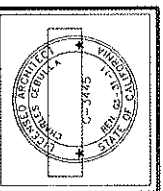
AREA / UNIT
LIVING SPACE = 1230 SQ/FT.
GARAGE = 4505 SQ/FT.

FLOOR PLAN UNIT I
PLAN I
SCALE: 1/8" = 1'-0"



CEBULLA ASSOCIATES
P.O. BOX 42
PISMO BEACH, CA 93449
TEL: (805) 433-3333
FAX: (805) 473-9223
www.cebullaassociates.com
Architect: CHARLES CEBULLA
Designer: AMY CEBULLA

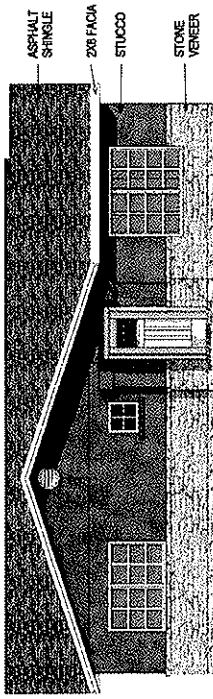
PROJECT:
UNIT: PD
FLOOR: 1
GARAGE: 2
PISMO BEACH, CA 93449
OWNER:
APRIL & JEFFREY
5441 US HIGHWAY 101, DR.
SANTA MONICA, CA 91061
895-191-3301



REVISIONS:

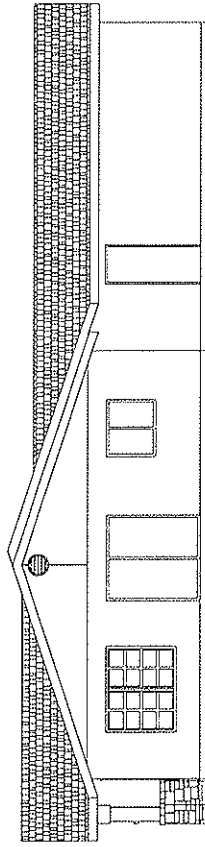
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DATE: 01-20-10
SHEET NO
2

Exhibit D-1
Floor Plan/Elevation Unit 1
PD 11-003 & Tract 3034
(Ferguson)

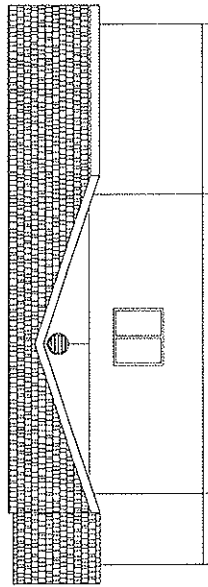


SOUTH ELEVATION

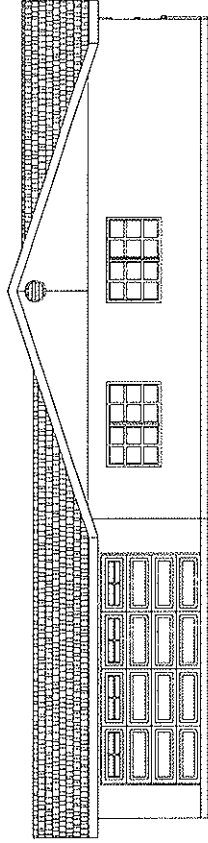
ASPHALT SHINGLE
2x6 FACIA
STUCCO
STONE VENEER



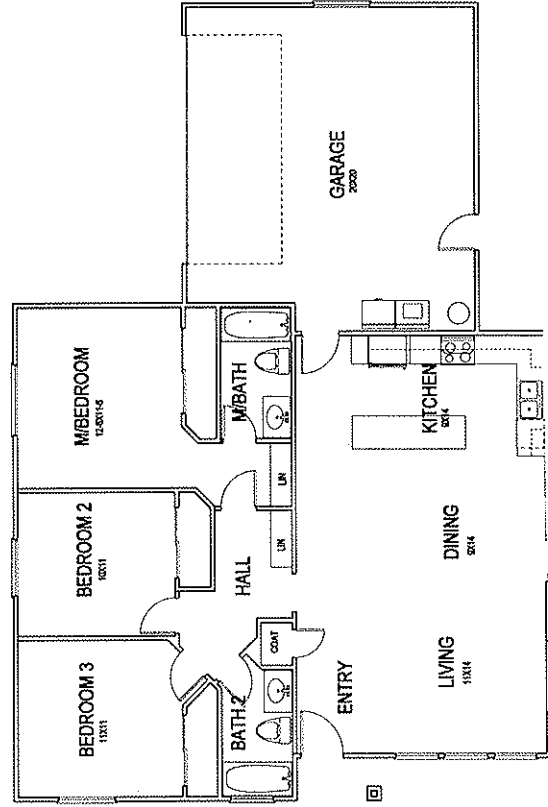
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION
SCALE: 1/4" = 1'-0"



1240 SF.
PLAN 3
UNIT 2

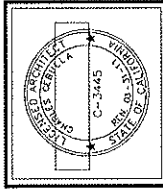
FLOOR PLAN
SCALE: 1/4" = 1'-0"

Exhibit D-2
Floor Plan/Elevation Unit 2
PD 11-003 & Tract 3034
(Ferguson)



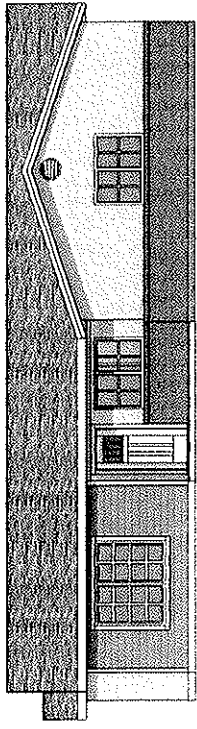
CERULLA ASSOCIATES
1100 18TH AVE
PISMO BEACH, CA 92348
PH: (805) 475-1228
FAX: (805) 475-8653
www.cerullaassociates.com
Architect: CHARLES CERULLA
Designer: MATT CERULLA

PROJECT:
6, 007, 002
155 CREATION ROAD
PASO ROBLES, CA 93141
OWNER:
JOHN FERGUSON
177 COUNTRY CLUB DR
PASO ROBLES, CA 93105
805-475-1304

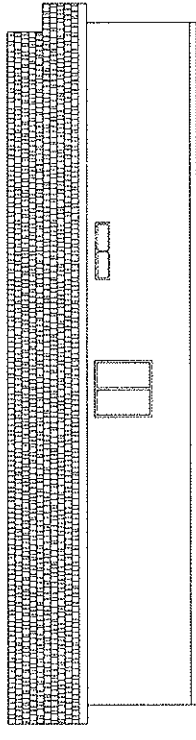


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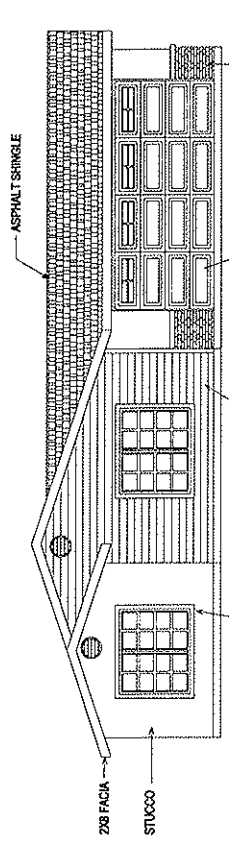
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DATE: 04-02-09
SHEET NO
3



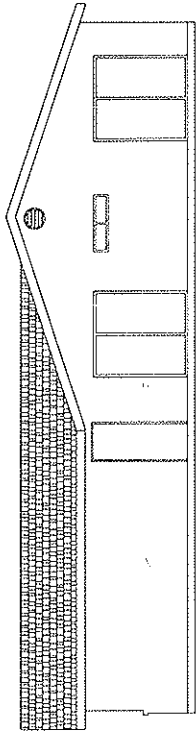
EAST ELEVATION



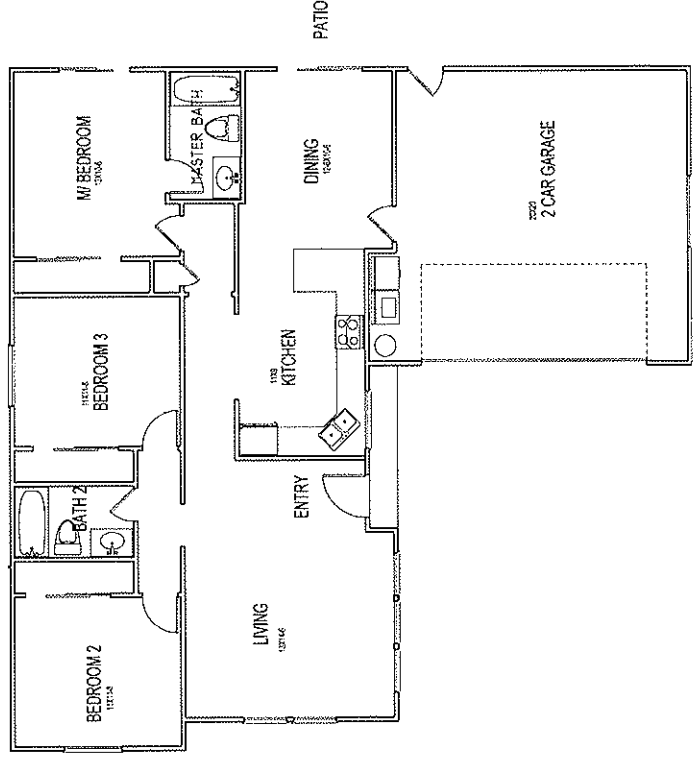
WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION
SCALE 1/4" = 1'-0"



FLOOR PLAN
SCALE 1/4" = 1'-0"

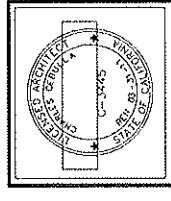
1215 SF.
PLAN 6
UNIT 3
UNIT 4



CEBULLA ASSOCIATES
P.O. BOX 42
POMONA, CA 92468
TEL (951) 797-1234
FAX (951) 797-1234
www.cebullaassociates.com
ARCHITECT: CHARLES CEBULLA
DESIGNER: NAIT CEBULLA

PROJECT:
1 DET. PD.
11000 W. BROADWAY
PASO ROBLES, CA 93546

OWNER:
THE FERGUSON GROUP, INC.
15000 W. BROADWAY, SUITE 100
PASO ROBLES, CA 93546
805-101-1000



REVISIONS

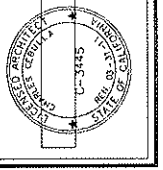
208 1 104
DATE: 01-07-10
SHEET NO
4

Exhibit D-3
Floor Plan/Elevation Unit 3 & 4
PD 11-003 & Tract 3034
(Ferguson)

Cebulla
ASSOCIATES

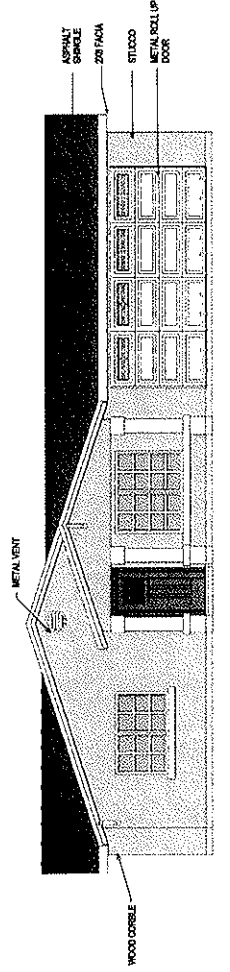
CEBULLA ASSOCIATES
P.O. BOX 42
PISMO BEACH, CA 92348
TEL: (805) 741-1000
FAX: (805) 743-8200
www.cebullaassociates.com
Architect: CHARLES CEBULLA
Designer: HAITI CEBULLA

PROJECT:
4 UNIT PUD
33 CREATOR ROAD
PISMO BEACH, CA 92348
OWNER:
JOHN FERGUSON
SAN LUIS OBISPO, CA 95060
951-951-2009

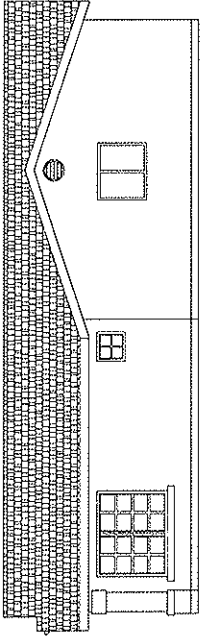


REVISIONS:

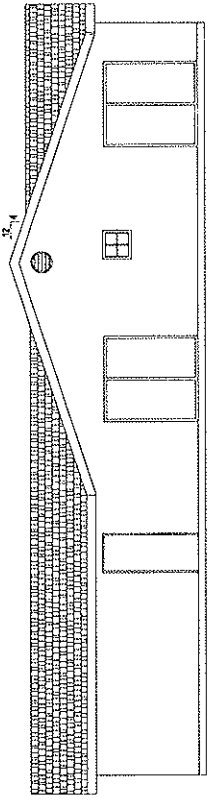
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DATE: 01-03-19
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5



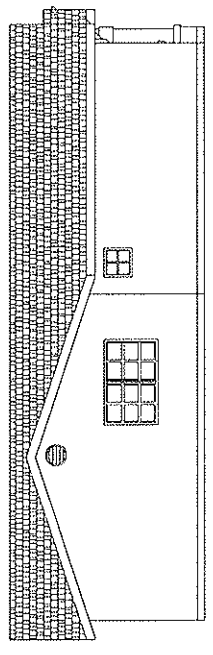
West Elevation
SCALE 1/4" = 1'-0"



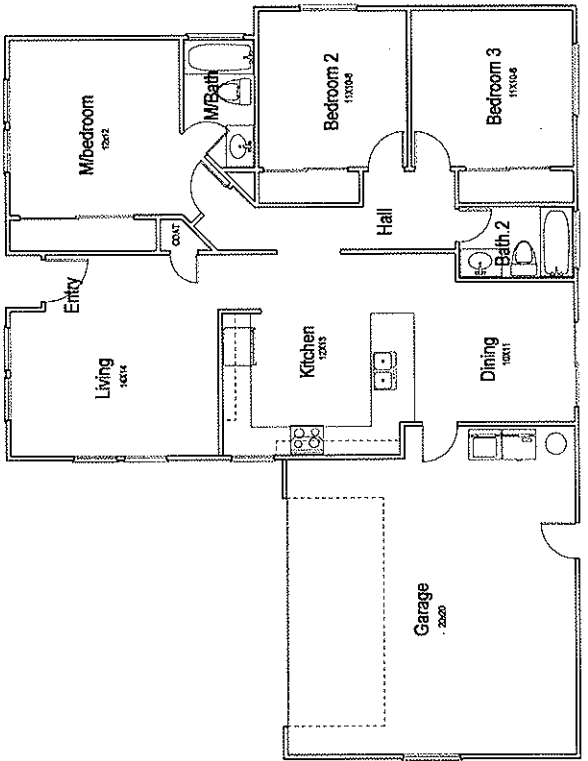
South Elevation



East Elevation



North Elevation



1230 SF.
PLAN 4
UNIT 5

FLOOR PLAN
SCALE 1/4" = 1'-0"

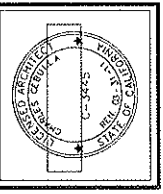
Exhibit D-4
Floor Plan/Elevation Unit 5
PD 11-003 & Tract 3034
(Ferguson)



CEBULLA ASSOCIATES
 P.O. BOX 42
 PISMO BEACH, CA 93448
 TEL: (805) 772-2222
 FAX: (805) 772-2223
 www.cebullaassociates.com
 ARCHITECT: CHARLES CEBULLA
 Designer: MATT CEBULLA

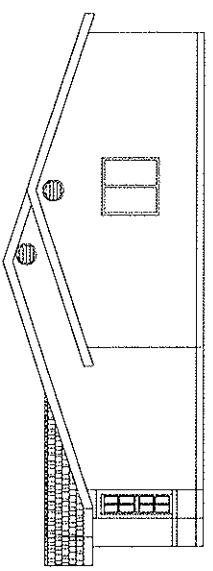
PROJECT:
 1 UNIT PUD
 11500 S. MOUNTAIN VIEW
 PISMO BEACH, CA. 93448

OWNER:
 THE TRUSTEES OF
 THE COUNTY CLUB DR.
 5411 LUS CIRCLE, CA. 93408
 805-461-3304

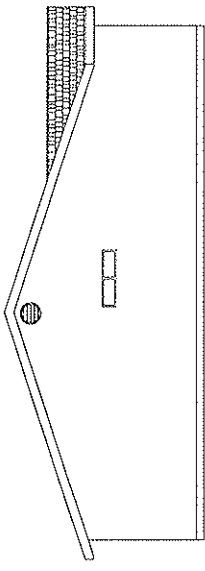


REVISIONS

JOB # 1074
 DATE: 01-02-10
SHEET NO
6



SOUTH ELEVATION

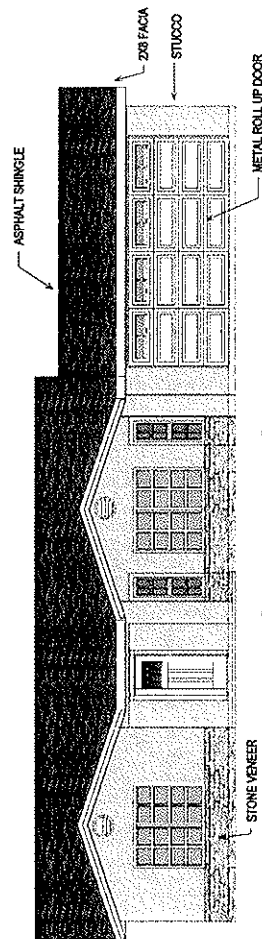


NORTH ELEVATION

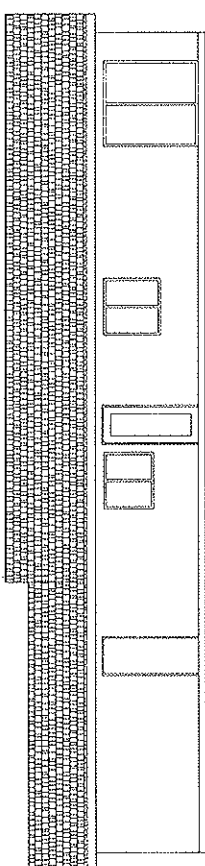
SCALE 1/4" = 1'-0"

1252 SF.
PLAN 5
UNIT 6

FLOOR PLAN
 SCALE 1/4" = 1'-0"



WEST ELEVATION



EAST ELEVATION

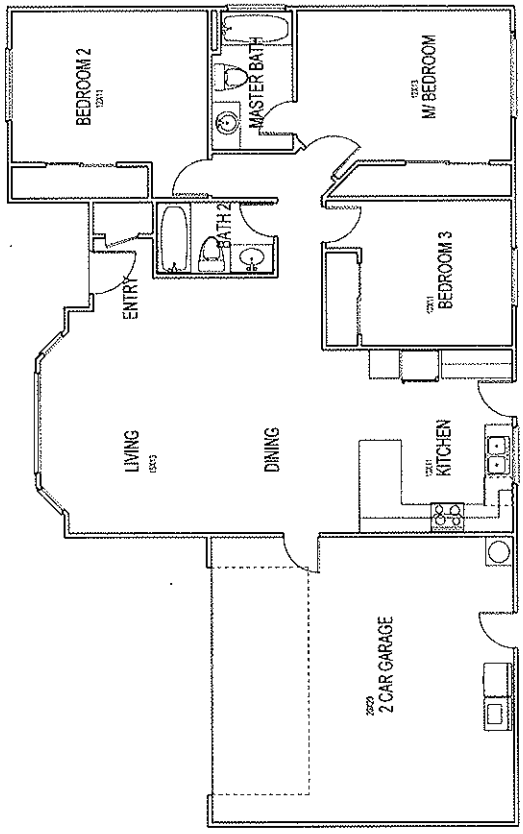
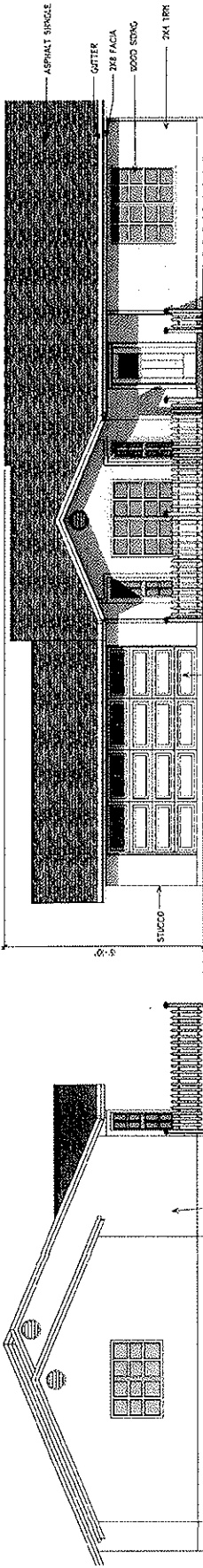
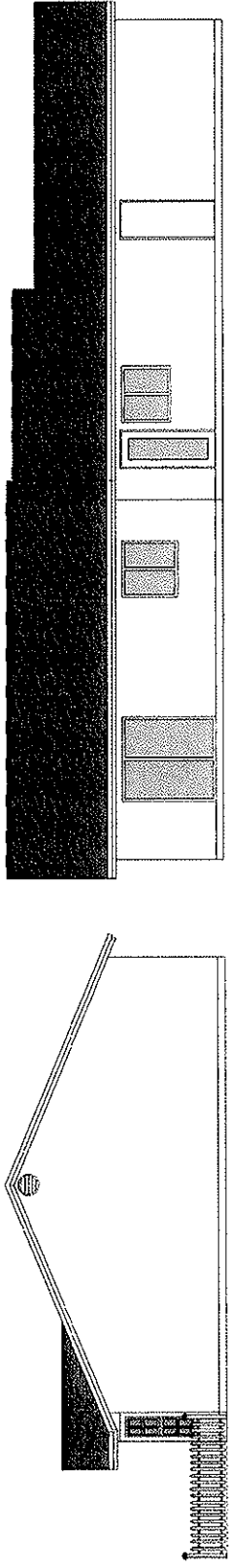


Exhibit D-5
 Floor Plan/Elevation Unit 6
 PD 11-003 & Tract 3034
 (Ferguson)



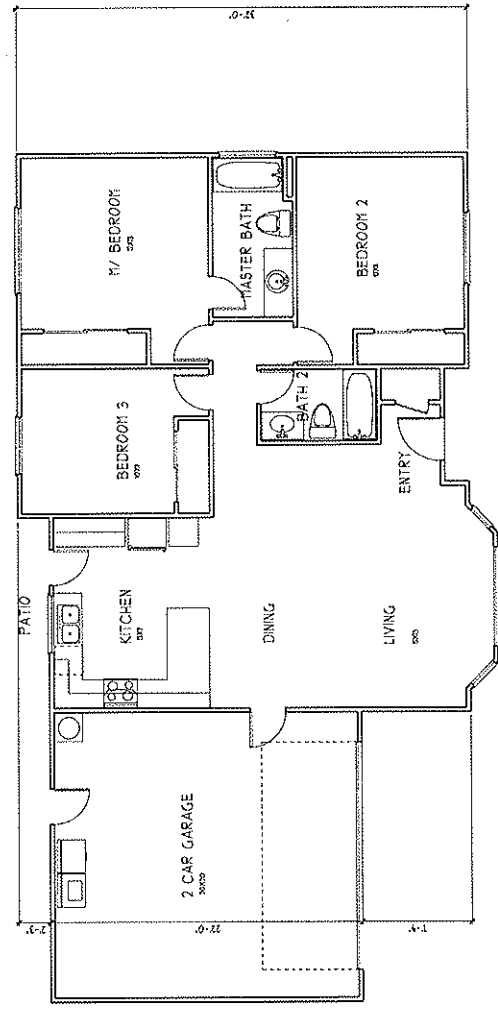
UNIT 1 SOUTH WEST ELEVATION

UNIT 1 NORTH WEST ELEVATION



UNIT 1 SOUTH EAST ELEVATION

UNIT 1 NORTH EAST ELEVATION



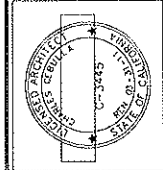
AREA
LIVING SPACE - 1020 SQ.FT.
GARAGE - 400 SQ.FT.

FLOOR PLAN
PLAN 2
UNIT . 1
SCALE: 1/8" = 1'-0"



CERULLA ASSOCIATES
15100 10TH ST.
POMONA BEACH, CA 92448
PH: (909) 425-1298
FAX: (909) 472-8883
www.cerullaassociates.com
ARCHITECT: CHARLES CERULLA
DESIGNER: MATT CERULLA

PROJECT:
8 UNIT PHD
135 CRESTON ROAD
PASO ROBLES, CA 93441
OWNER:
JOHN FERGUSON
214 E LOS OSOS BLVD, CA 93401
408-974-2309



REVISIONS:

023 1 10/14
DATE: 01-02-10
SHEET NO
7

Exhibit D-6
Floor Plan/Elevation Unit 7
PD 11-003 & Tract 3034
(Ferguson)

935 Creston Rd. Paso Robles, Ca.

Units 1 & 8

Stucco - Fallbrook

Siding - Mossy Gold

Units 2 & 6

Stucco - French Vanilla

Siding - Anjou Pear

Units 4 & 7

Stucco - Trabuco

Shingles - Jute Brown

Units 3 & 5

Stucco - Alamo

Stone - Caramel Drystack LedgeStone

All Units

Trim - Extra White

Roof - Copper Canyon

Gutters - Low Gloss White

Door Style - Arts and Crafts Style Fiberglass

Materials

Paint - Sherwin - Williams

Stucco - La Habra

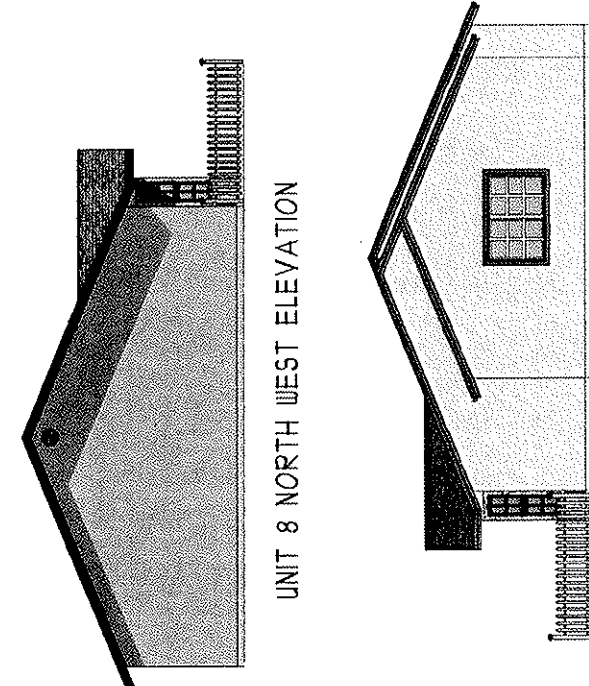
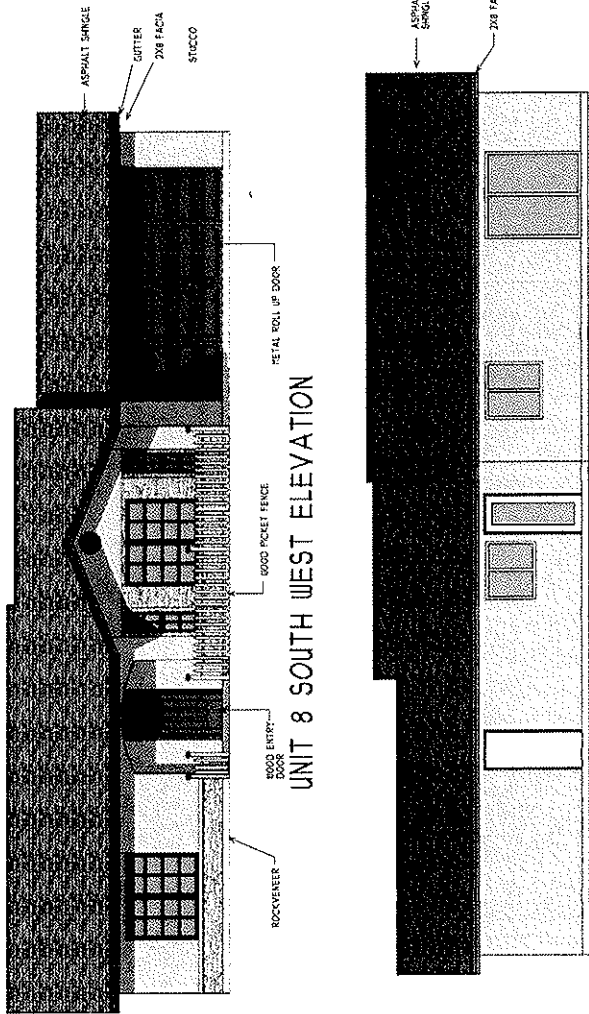
Stone - Cultured Stone

Roof - Timberline

Gutters - R G S

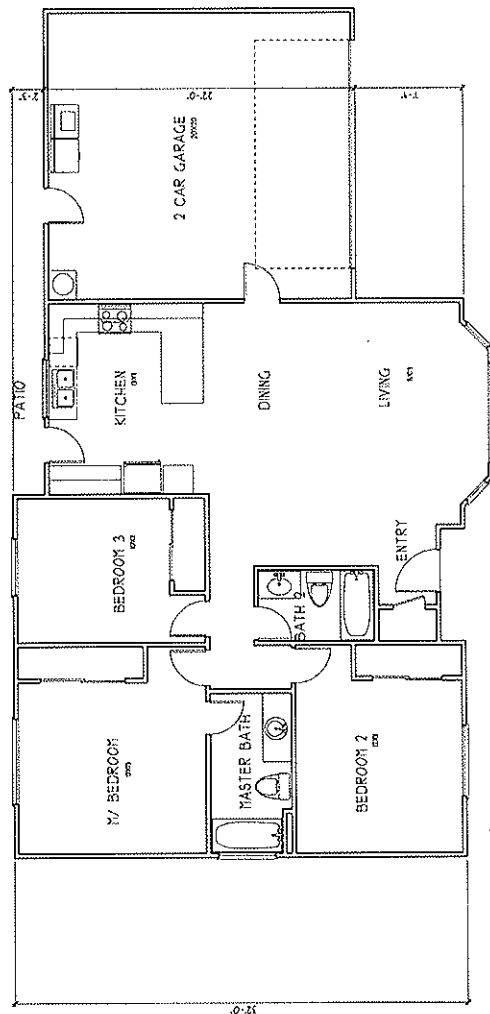
Door - undecided

Exhibit D7- Unit 8
Floor Plan/Elevations
Tent. Tract 3034 & PD 11-001
935 Creston Road
(Ferguson)



UNIT 8 NORTH EAST ELEVATION

UNIT 8 SOUTH EAST ELEVATION



AREA
LIVING SPACE = 1230 SQ/FT.
GARAGE = 450 SQ/FT.

FLOOR PLAN
PLAN 2
UNIT 8
SCALE = 1/4" = 1'-0"

Exhibit E
Color & Material List
PD 11-003 & Tract 3034
(Ferguson)