

RESOLUTION NO. 09-025

**A RESOLUTION OF
THE PLANNING COMMISSION OF THE CITY OF PASO ROBLES
APPROVING PLANNED DEVELOPMENT 09-003
LOCATED ON LOT 5, AT THE SOUTH END OF DANLEY COURT
GOLDEN HILL BUSINESS PARK, APN: 025-421-032
APPLICANT – DARRYL PAUL/MAYAN HARDWOOD**

WHEREAS, Planned Development 09-003 has been filed by Pults & Associates on behalf of Darryl Paul; and

WHEREAS, Planned Development 09-003 is a proposal to construct two buildings for Mayan Hardwood, where the primary building would be 21,347 square feet and the accessory warehouse building would be 6,462 square feet; and

WHEREAS, the project complies with the guidelines and standards of the Zoning Ordinance and the Conditions of Approval of Tract 2269; and

WHEREAS, the project complies with the BP (Business Park) General Plan land use designation and the Zoning Ordinance PM (Planned Manufacturing) zoning district, and

WHEREAS, the Planning Commission held a duly noticed public hearing on September 8, 2009 on this project to accept public testimony on the Planned Development application PD 09-004; and

WHEREAS, this application is Categorically Exempt from environmental review per Section 15332 of the State's Guidelines to Implement the California Environmental Quality Act (CEQA); and

WHEREAS, based upon the facts and analysis presented in the staff report and the attachments thereto, the public testimony received, and subject to the Conditions of Approval listed below, the Planning Commission makes the following findings:

1. The project is consistent with the adopted codes, policies, standards and plans of the City; and
2. The proposed development plan will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the residents and or businesses in the surrounding area, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City; and
3. The proposed development plan accommodates the aesthetic quality of the City as a whole, especially where development will be visible from the gateways to the City, scenic corridors; and the public right-of-way; and
4. The proposed development is consistent with the Golden Hill Industrial/Business Park Design Guidelines; and
5. The proposed development plan is compatible with, and is not detrimental to, surrounding land uses and improvements, provides an appropriate visual appearance, and contributes to the mitigation of any environmental and social impacts; and
6. The proposed development plan is compatible with existing scenic and environmental resources such as hillsides, oak trees, vistas, etc.; and

7. The proposed development plan contributes to the orderly development of the City as a whole.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles does hereby approve Planned Development 09-003, subject to the following conditions:

PLANNING CONDITIONS:

1. The project shall be constructed in substantial conformance with the Conditions of Approval established by this Resolution and it shall be constructed in substantial conformance with the following Exhibits:

EXHIBIT	DESCRIPTION
A	Title Sheet
B	Grading/Drainage Plan
C	Conceptual Landscape Plan
D	Site Plan
E	Floor Plan
F	Future Floor Plan
G	Architectural Elevations
H	Perspectives
I	Roof Plan
J	Warehouse Floor & Roof Plan
K	Warehouse Elevations

2. This PD 09-003 allows the construction of two buildings for Mayan Hardwood, where the primary building would be 21,347 square feet and the accessory warehouse building would be 6,462 square feet.
3. This project approval shall expire on September 8, 2011 unless a building or grading permit has been issued for the project or unless a time extension request is filed with the Community Development Department prior to expiration.
4. The project shall be designed and constructed to be in substantial conformance with the site plan and elevations approved with this resolution.
5. Prior to the issuance of a building permit, the following final details shall be reviewed with staff:
 - a. Landscape and irrigation plan;
 - b. Fencing plan, chain link shown on plans should be coated chain link;
 - c. Placement of equipment such as transformers, back flow devices and any other equipment;
6. Prior to issuance of certificates of use and occupancy, the property-owner or authorized agent is required to pay the City's Development Impact Fees.
7. Temporary construction noise levels in excess of 60 decibels shall be restricted to the daylight hours of 7am to 6pm. Noise levels shall be measured or monitored from site boundaries or the nearest adjoining residential use to determine compliance.
8. Use and operation of the project and its appurtenances shall be conducted in compliance with the City's General Performance Standards for all uses (Section 21.21.040 of Chapter 21.21 Performance Standards of the City's Zoning Ordinance).

9. Per Tract 2269 Conditions of Approval the following additional conditions shall apply:
 - a. Since this property is located in Area 3, Approach and Departure Zone of the Airport Land Use Plan (ALUP), the following conditions shall apply: (1) soundproofing where appropriate to reduce noise to acceptable levels in accordance with State guidelines; (2) no electro-magnetic transmissions which would interfere with operation of aircraft; (3) all bulk storage of volatile or flammable liquid be underground; (4) an avigational easement shall be required for uses; and (5) the number of persons using the facility kept to a minimum, in compliance with the ALUP.
 - b. Use of tree species such as London Plane with rapid growth characteristics and spread, shall be utilized in parking areas.
 - c. Provide one (1) fifteen (15) gallon size tree per five parking stalls shall be provided.

ENGINEERING CONDITIONS:

10. Storm water detention facilities must be provided with the development to mitigate the impact of increased storm water run-off to the streets in Tract 2269.
11. Low impact development best management practices must be applied to improve storm water runoff quality.
12. A Storm Water Pollution Prevention Plan must be provided prior to issuance of a grading permit.

EMERGENCY SERVICES CONDITIONS:

13. Prior to the start of construction:
 - a. Plans shall be reviewed, approved and permits issued by Emergency Services for underground fire lines.
 - b. Applicant shall provide documentation to Emergency Services that required fire flows can be provided to meet project demands.
 - c. Fire hydrants shall be installed and operative to current, adopted edition of the California Fire Code.
 - d. A based access road sufficient to support the department's fire apparatus (HS-20 truck loading) shall be constructed and maintained for the duration of the construction phase of the project.
 - e. Access road shall be at least twenty (20) feet in width with at least thirteen (13) feet, six (6) inches of vertical clearance.
14. Provide central station monitored fire sprinkler system for all residential, commercial and industrial buildings that require fire sprinklers in current, adopted edition of the California Building Code, California Fire Code and Paso Robles Municipal Code.
 - a. Plans shall be reviewed, approved and permits issued by Emergency Services for the installation of fire sprinkler systems.
15. Provide central station monitored fire alarm system for all residential, commercial and industrial buildings that require fire alarm system in current, adopted edition of the California Building Code, California Fire Code and Paso Robles Municipal Code.
16. If required by the Fire Chief, provide on the address side of the building if applicable:
 - a. Fire alarm annunciator panel in weatherproof case.
 - b. Knox box key entry box or system.
 - c. Fire department connection to fire sprinkler system.
17. Provide temporary turn-around to current City Engineering Standard for phased construction streets that exceed 150 feet in length.

18. Project shall comply with all requirements in current, adopted edition of California Fire Code and Paso Robles Municipal Code.
19. Prior to the issuance of Certificate of Occupancy:
 - a. Final inspections shall be completed on all underground fire lines, fire sprinkler systems, fire alarm systems and chemical hood fire suppression systems.
 - b. Final inspections shall be completed on all buildings.

PASSED AND ADOPTED THIS 8th day of September, 2009 by the following Roll Call Vote:

AYES: Nemeth, Holstine, Garcia, Johnson, Gregory, Peterson

NOES: None

ABSENT: Treach

ABSTAIN: None

JOEL PETERSON, CHAIRMAN PRO-TEM

ATTEST:

RON WHISENAND, PLANNING COMMISSION SECRETARY

Project:
 Golden Hill
 Business Park
 Mayan Hardwood
 Warehouse
 4277 Arden Lane
 San Jose, CA 95128
 (408) 981-4555

Client:
 Darryl & Cynthia
 Paul

Site:
 Lot 8, Tract 2264
 Industrial (C-3)
 029 421 092

Architect:
 Steven D. Puts, AIA & Associates, LLP
 855741-5007
 San Jose, CA 95128

Engineer:
 Civil Engineering
 775 2928 Street Suite A
 San Jose, CA 95128
 (408) 981-4555

Landscaper:
 3437 Humboldt Court
 San Jose, CA 95128
 (408) 981-4555

Surveyor:
 4277 Arden Lane
 San Jose, CA 95128
 (408) 981-4555

Permitting:
 Planning Division
 2000 North First Street
 San Jose, CA 95131
 (408) 299-2000

Scale:
 1/8" = 1'-0"

Date:
 July 09

Revised:
 None

Job No:
 9821

Sheet:
 T-1

of
 11

Scale:
 1/8" = 1'-0"

Title Sheet

Legend

Door Mark

Window Mark

Window Above

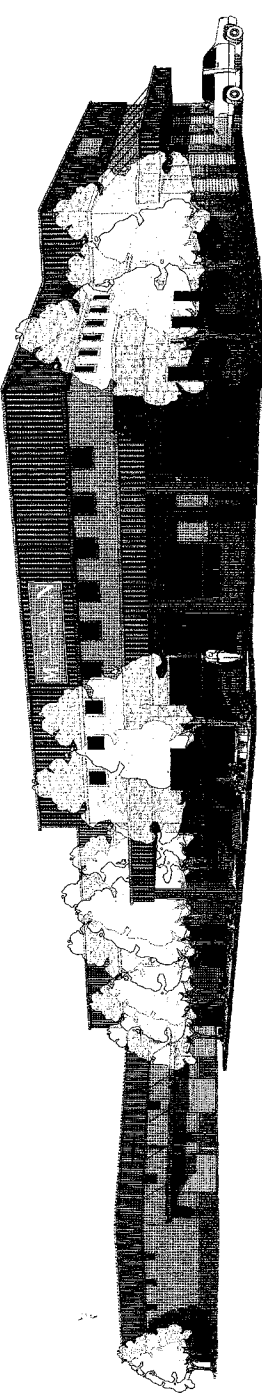
Reference Note

Detail Number

Sheet Shown On

Section

Sheet Shown On



MAYAN HARDWOOD PASO ROBLES

DIRECTORY
 ARCHITECT: STEVEN D. PUTS, AIA & ASSOCIATES, LLP
 855741-5007
 SAN JOSE, CA 95128
 855741-4271
 CIVIL ENGINEERING: CIVIL ENGINEERING
 775 2928 STREET SUITE A
 SAN JOSE, CA 95128
 (408) 981-4555
 LANDSCAPE ARCHITECT: GASS LANDSCAPE
 3437 HUMBOLDT COURT
 SAN JOSE, CA 95128
 (408) 981-4555

GENERAL NOTES
 1. The General Contractor shall be responsible for verifying all existing conditions before commencing with any work.
 2. All work shall comply with all current codes, ordinances, regulations and applicable administrative authorities, 2009 CBC, CFC, CPC and CEC, and all applicable codes, ordinances, regulations and applicable administrative authorities, Engineering Standards, and the Americans with Disabilities Act (Title II).
 3. The building described on the following pages is subject to a fire sprinkler system. Shop drawings shall be submitted and approved by the City Building and Fire Department prior to fabrication and installation. The fire sprinkler system shall be installed in accordance with the requirements of the City Building and Fire Department. The fire sprinkler system shall be installed in accordance with the requirements of the City Building and Fire Department. The fire sprinkler system shall be installed in accordance with the requirements of the City Building and Fire Department.
 4. No work shall be done for spaces shown in red on the drawings.
 5. Shop drawings shall be submitted to the Building Department for approval. Shop drawings shall be submitted to the Building Department for approval. Shop drawings shall be submitted to the Building Department for approval.
 6. No hazardous materials will be stored and/or used within the building which exceed the quantities listed in USC, Table B3.4.3E.

PROJECT SUMMARY
 LEGAL: LOT 8, TRACT 2264
 ZONING: INDUSTRIAL (C-3)
 APN: 029 421 092
 SITE: 1.8 ACRES
 BUILDING: WAREHOUSE
 OFFICE/ADMIN: 3,216 SF
 TOTAL OFFICE/ADMIN: 3,216 SF
 WAREHOUSE BUILDING: 6,462 SF
 GRAND TOTAL SF: 9,678 SF

CONST TYPE:
 V-S SPRINKLERS
 S-D ALLOWED
 S-F PROPOSED (above finished floor)
 OCCUPANCY: B-1.5

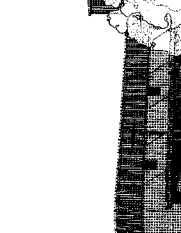
PARKING:
 REQUIRED: 14 SPACES
 PROVIDED: 14 SPACES
 TOTAL REQUIRED: 14 SPACES
 TOTAL PROVIDED: 14 SPACES

SHEET INDEX
 T-1 TITLE SHEET
 C-01 GRADING PLAN
 L-01 LANDSCAPE
 A-1.1 ARCHITECTURAL
 A-1.2 FLOOR PLAN
 A-1.3 FUTURE SECOND FLOOR PLAN
 A-1.4 FINISH SCHEDULE
 A-1.5 ROOF PLAN
 A-1.6 CORE & RAMP PLAN
 A-1.7 WAREHOUSE ELEVATIONS
 TOTAL: 11 SHEETS

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 LEGAL: LOT 8, TRACT 2264
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 V-S SPRINKLERS
 S-D ALLOWED
 S-F PROPOSED (above finished floor)
 OCCUPANCY: B-1.5

VICINITY MAP



SYMBOLS
 DIMENSIONAL GRID LINE
 DOOR MARK
 WINDOW MARK
 WINDOW MARK
 WINDOW ABOVE
 REFERENCE NOTE
 DETAIL NUMBER
 SHEET SHOWN ON
 SECTION
 SHEET SHOWN ON

Paso Robles
 AUG 21 2009
 Planning Division

EXHIBIT A
 Title Sheet
 PD 09-004
 (Mayan Hardwood)

TREES		SHRUBS / WINES / PERENNIALS	
BOTANICAL / COMMON NAME	SIZE	BOTANICAL / COMMON NAME	SIZE
LN <i>Lagotis arida</i> 'Nashley' GOLF LINKS TREE	24" BOX	ALC <i>Abies concolor</i> DWARF STRAWBERRY TREE	5 GAL
LTU <i>Liriodendron tulipifera</i> TULIP TREE	15 CAL	BCF <i>Buxus microphylla</i> var. 'Green Beauty' JAPANESE BOXWOOD	5 GAL
PCA <i>Pinus caroliniana</i> CAROLINA SOUND PINE	15 CAL	EK <i>Eucalyptus japonica</i> 'Silver King' VARECA-YED EUCALYPTUS	5 GAL
PCF <i>Pinus strobus</i> CHINESE PINE	15 CAL	HR <i>Heisteria arbutifolia</i> TOYON	5 GAL
PRF <i>Rubus parviflorus</i> PURPLE ROSE HOLLUB	24" BOX	IP <i>Ipomoea</i> LAVENDER	1 GAL
GROUND COVER		MR <i>Muscadivina</i> 'Provence' EVERGREEN MISCANTHUS	5 GAL
RT <i>Ruellia brittanica</i> 'Queen's Purple' BLUE POULICE	1 GAL	RC <i>Rosa 'Flower Carpet'</i> FLOWER CARPET ROSE	5 GAL
TR <i>Thymus serpyllifolius</i> BLUE POULICE	1 GAL		
SP <i>Sedum spectabile</i> BLUE POULICE	1 GAL		
OR <i>Ornithoglossum</i> ORNAMENTAL GRASS			

CONCEPT NOTES

- PLANT MATERIAL WAS CHOSEN FOR ITS COMPATIBILITY WITH THE CLIMATE, SOILS, WIND, TOLERANCE OF DROUGHT CONDITIONS, LONGEVITY, SCREENING CAPABILITIES, AND OVERALL ATTRACTIVENESS.
- IRRIGATION SYSTEM SHALL BE DESIGNED FOR MAXIMUM WATER EFFICIENCY AND LOW-GALVANIUM HEADS FOR TURF AND LARGE GRASS COVER AREAS. A DRAIN-TYPE SYSTEM SHALL BE USED WHERE APPROPRIATE. TREES SHALL BE IRRIGATED ON A SCHEDULE OF 1-2 TIMES PER WEEK.
- PLANT MATERIAL, TREE NARRATIVE SPECIFICATIONS, SITE OFFSETS, AND MATERIAL DEFINITIONS WILL BE DETERMINED AND NOTED ON THE CONSTRUCTION DRAWINGS.

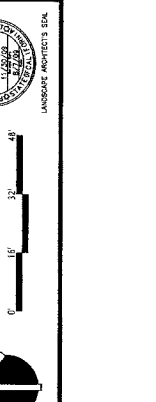
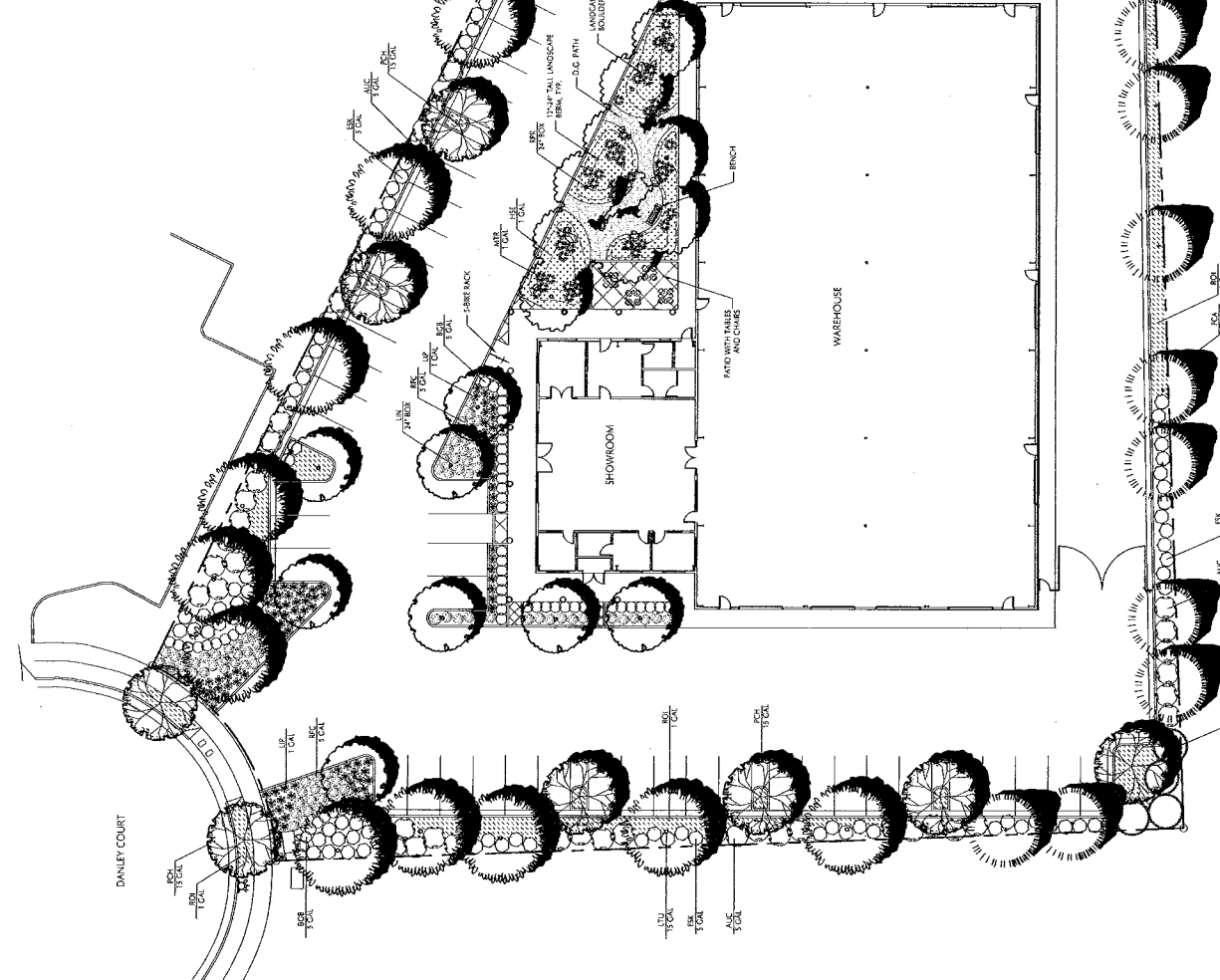
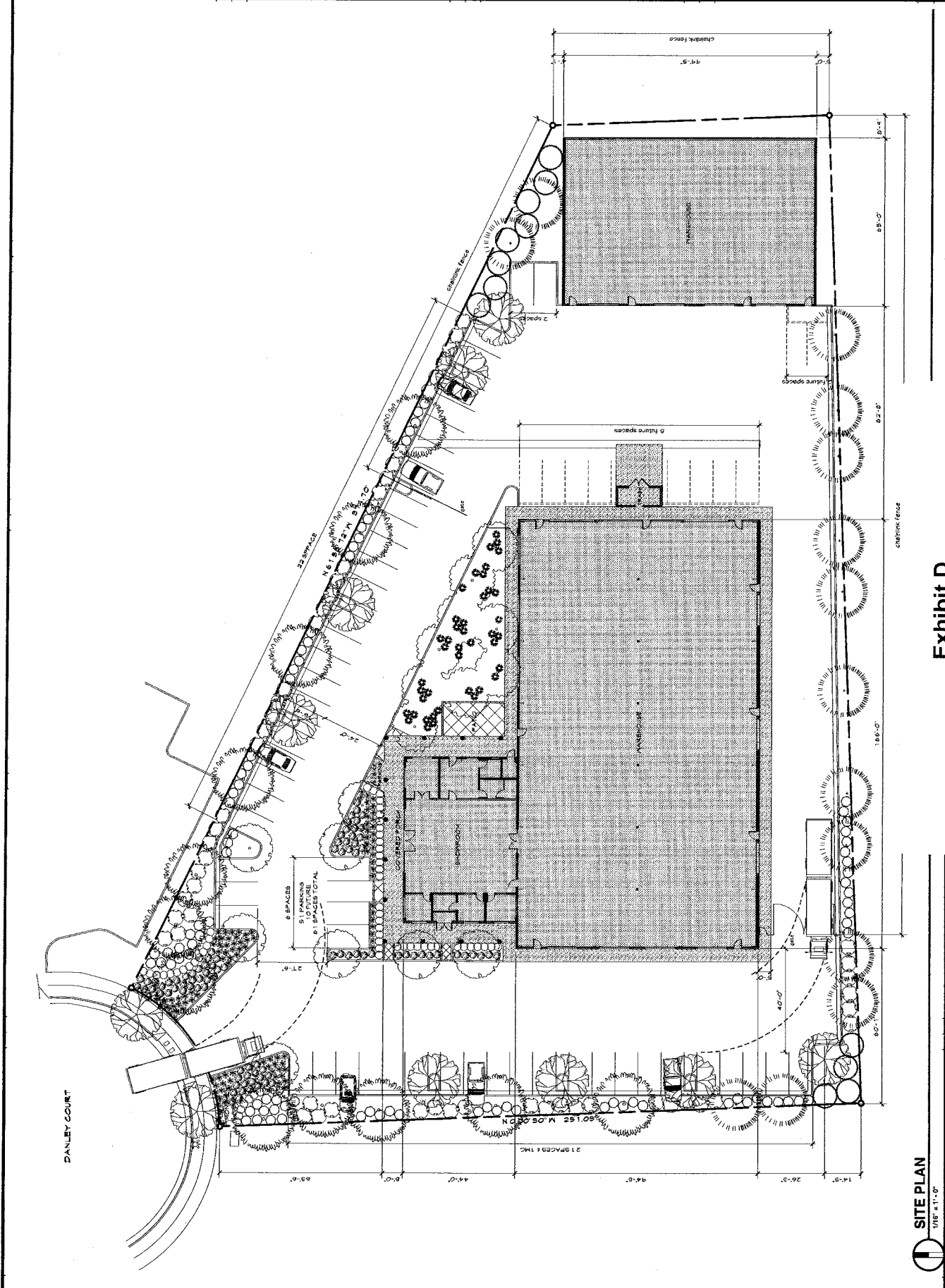


Exhibit C
 Conceptual Landscape Plan
 PD 09-004
 (Mayan Hardwood)



SITE PLAN
 1/8" = 1'-0"

Exhibit D
 Site Plan
 PD 09-004
 (Mayan Hardwood)

Architectural, Planning & Graphic
 1500 J Street, Suite 105
 San Jose, CA 95128
 (408) 291-1234
 www.pullts.com

**GOLDEN HILL
 BUSINESS PARK
 MAYAN
 HARDWOOD, INC.**

LOT 5, TRACT 1409
 PASO ROBLES
 CA 93448

Client:
 DARRYL & CYNTHIA
 PAUL

4277 ASPEN LANE
 PASO ROBLES
 CA 93448
 (805) 881-4555

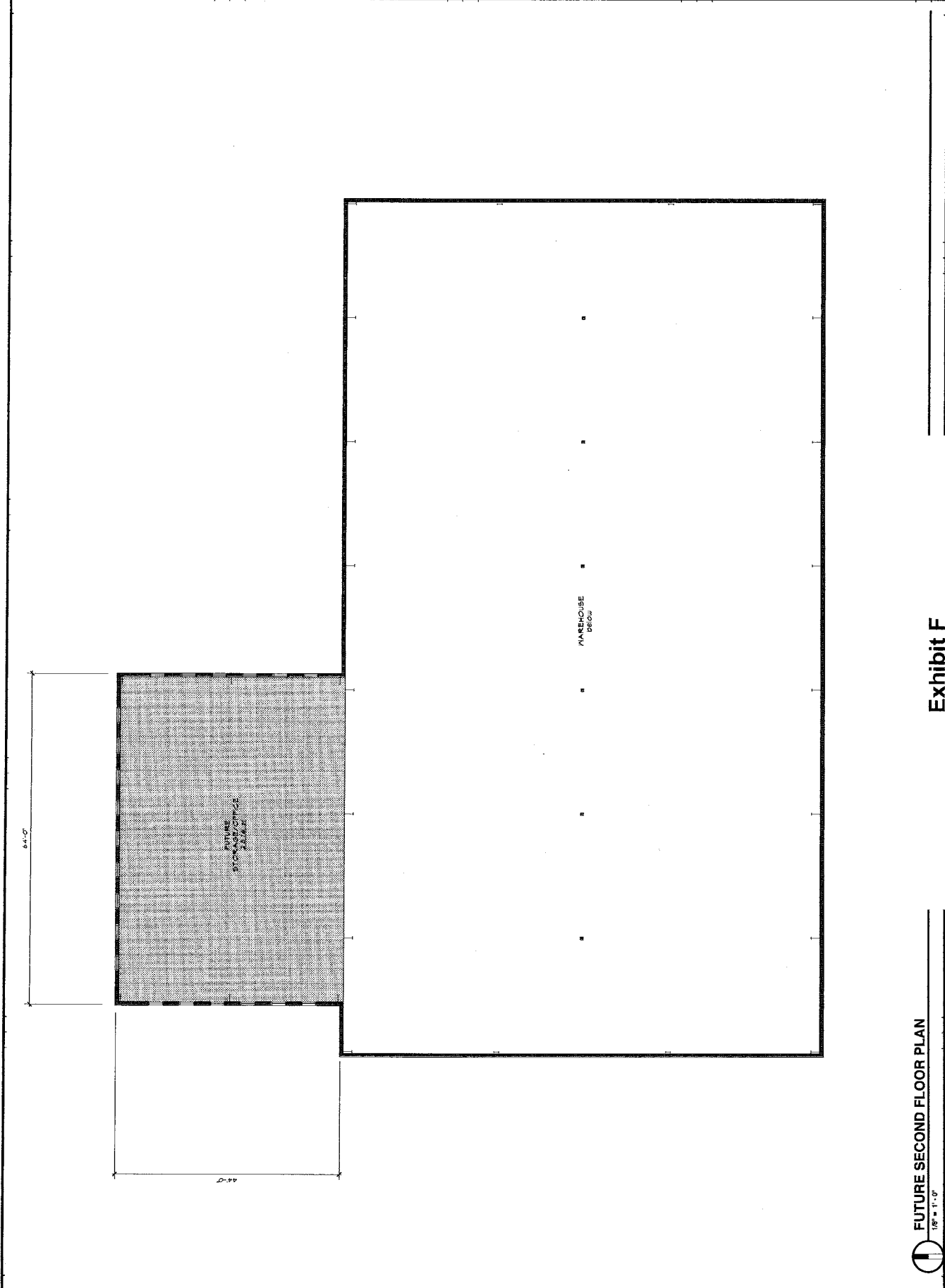
Sheet Contents:
 FUTURE
 SECOND FLOOR PLAN



Date: JULY 04
 Revised:

Job No: 0821
 Sheet:

A - 1.1
 of



FUTURE SECOND FLOOR PLAN
 1/8" = 1'-0"

Exhibit F
 Future Floor Plan
 PD 09-004
 (Mayan Hardwood)

Architectural, Planning & Construction
 1601 J Street, Suite 200
 San Jose, California 95126
 (408) 291-8000
 (408) 291-8001
 (408) 291-8002
 (408) 291-8003
 (408) 291-8004
 (408) 291-8005
 (408) 291-8006
 (408) 291-8007
 (408) 291-8008
 (408) 291-8009
 (408) 291-8010
 (408) 291-8011
 (408) 291-8012
 (408) 291-8013
 (408) 291-8014
 (408) 291-8015
 (408) 291-8016
 (408) 291-8017
 (408) 291-8018
 (408) 291-8019
 (408) 291-8020

COLLEEN HILL
 HILSBURIA PARK
**MAYAN
 HARDWOOD, INC.**

LOT 5, TRACT 2090
 PULITTS CENTER
 SAN JOSE, CA 95128

Client:
**DARRYL & CYNTHIA
 PAUL**

4877 ASPENLANE
 SUITE 200
 SAN JOSE, CA 95128
 (408) 861-4826

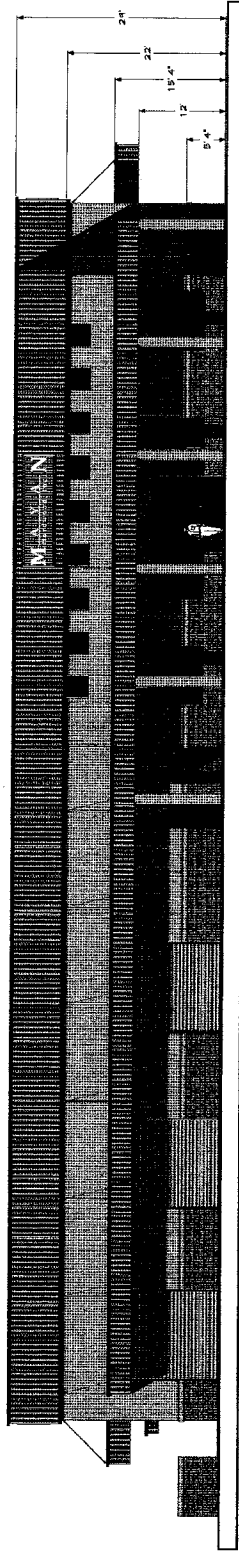
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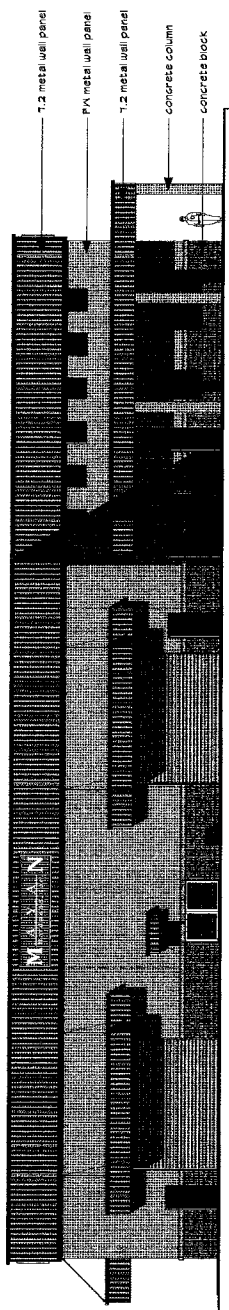
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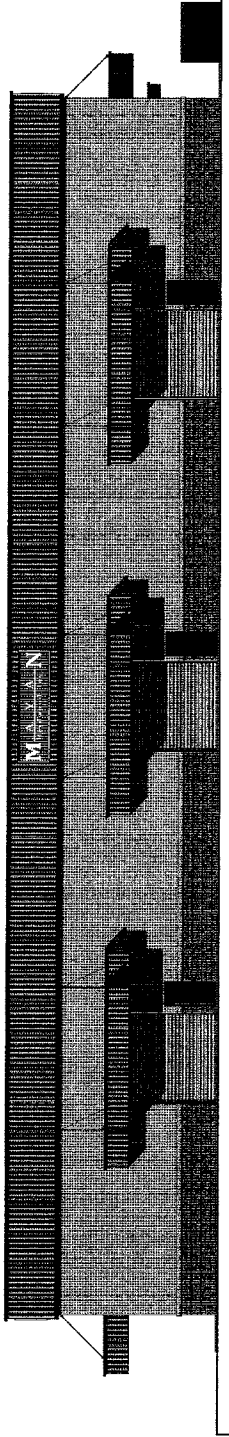
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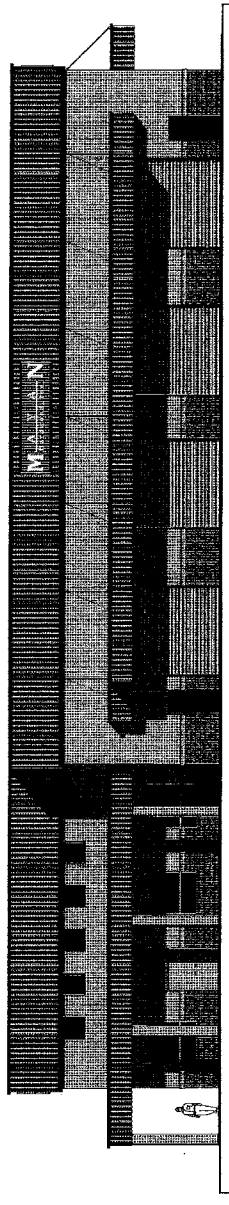
FRONT



LEFT



REAR



RIGHT

Exhibit G
 Architectural Elevations
 PD 09-004
 (Mayan Hardwood)

Architectural, Planning & Consulting
 4000 Peach Street, Suite 200
 San Jose, California 95128-1501
 (408) 941-0888, ext. 100
 (408) 941-0877, fax
 (408) 941-0878, cell

Project:
 400 JEN HILL
 BULLISBERG PARK
**MAYAN
 HARDWOOD, INC.**

Client:
 LOTS & TRACT ZOO
 PAUL & SHARON
 10000
 CA 95040

DATE:
 DANNY & SYBIRNA
 PAUL

4277 ASPERLANE
 SUITE
 CA 95040
 (925) 981-4556

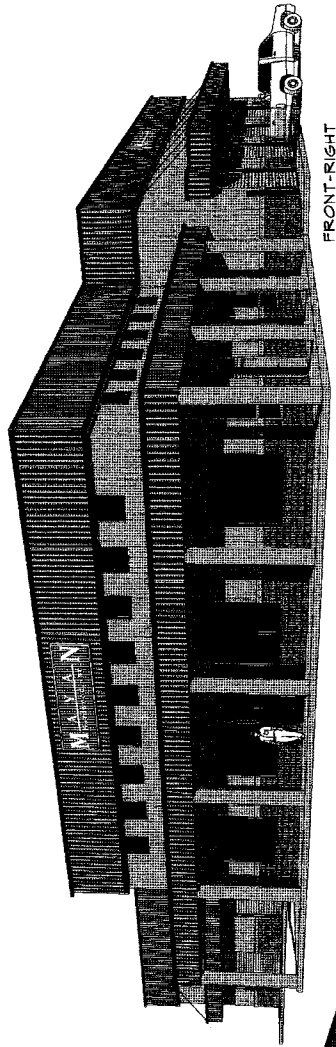
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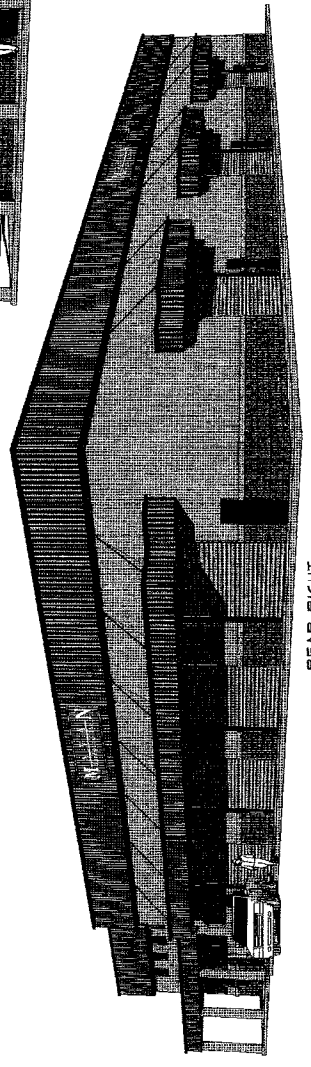
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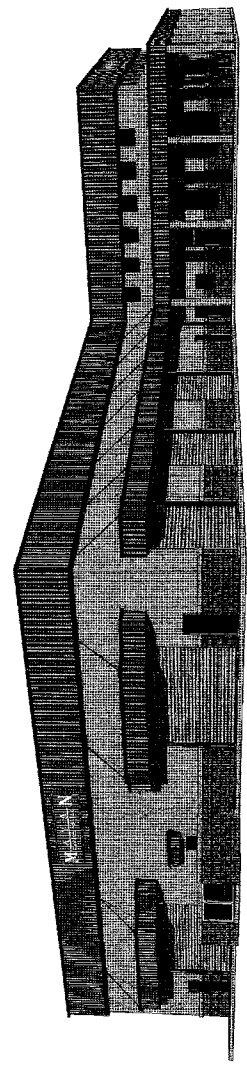
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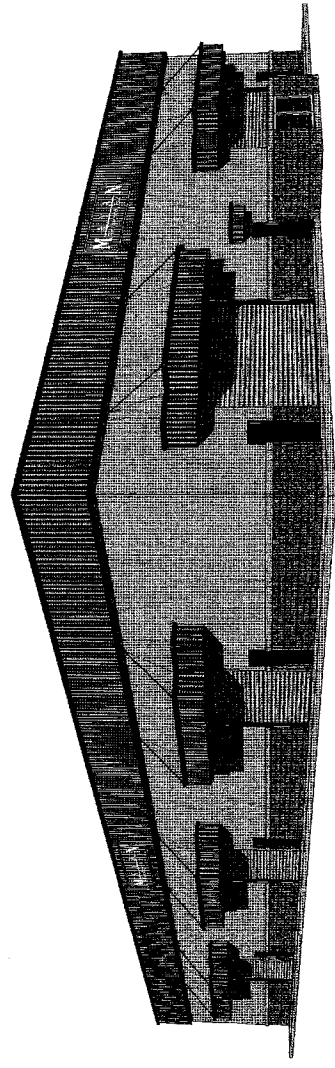
FRONT-RIGHT
 CORNER



REAR-RIGHT
 CORNER



FRONT-LEFT
 CORNER



REAR-LEFT
 CORNER

Exhibit H
 Perspectives
 PD 09-004
 (Mayan Hardwood)

Architectural, Planning & Graphics
 4877 Assen Lane, Suite 200
 San Jose, CA 95128
 (408) 951-6565
 (408) 951-6571
 Fax: (408) 951-6572

OSCAR NIEMI
 ARCHITECTS P.A.C.
MAYAN
HARDWOOD, INC.

LETTA TRAVET 2000
 10000 N. 1st St.
 CA 95040

DANRYLA & CYNTHIA
PAUL

4877 ASSEN LANE
 SUITE 200
 CA 95128
 (408) 951-6565

Client: **ROOF PLAN**



Date: JULY 04
 Project:

Job No: 0921
 Scale:

A-4
 of 97

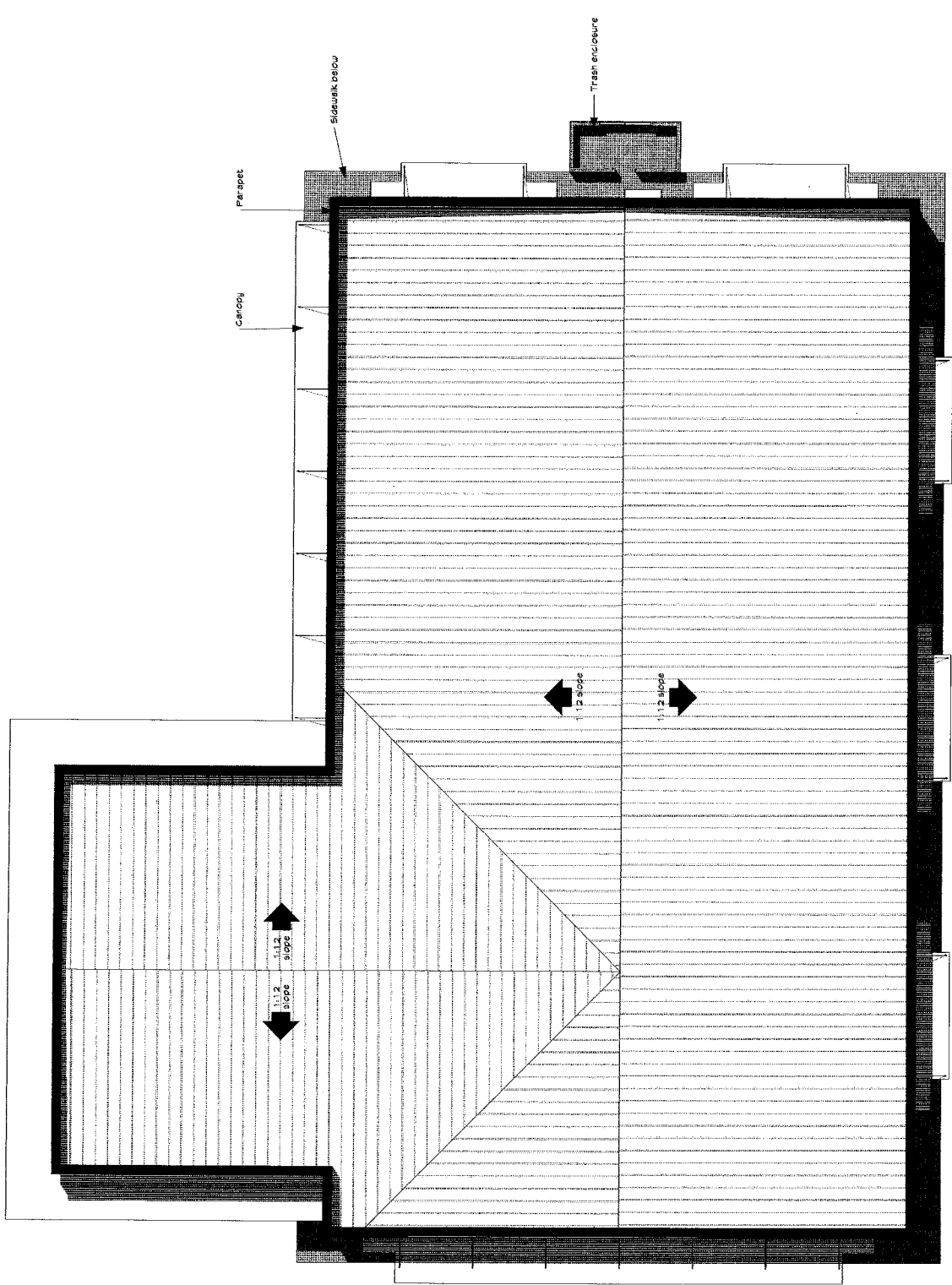


Exhibit I
 Roof Plan
 PD 09-004
 (Mayan Hardwood)

This drawing is the property of Steven D. Pulits, AIA & Associates, LLP. It is to be used only for the project and site shown. It is not to be used for any other project or site without the written consent of Steven D. Pulits, AIA & Associates, LLP.

**GOLDEN HILL
 BUSINESS PARK
 MAYAN
 HARDWOOD, INC.**

LOT 5, TRACT 2289
 PASO ROBLES
 CA 93448

Client:
**DARRYL & CYNTHIA
 PAUL**

4277 ASSEL LANE
 PASO ROBLES
 CA 93448
 (805) 981-4555

Sheet Contents:
**WAREHOUSE
 FLOOR PLAN AND
 ROOF PLAN**



Date: 3-27-09
 Revised:

Job No: 0421
 Sheet:

A - 5
 of 6

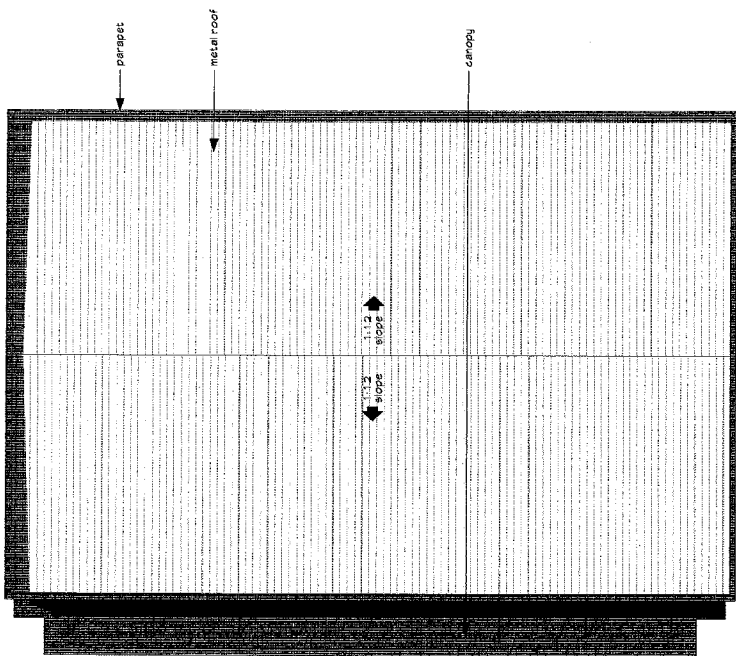
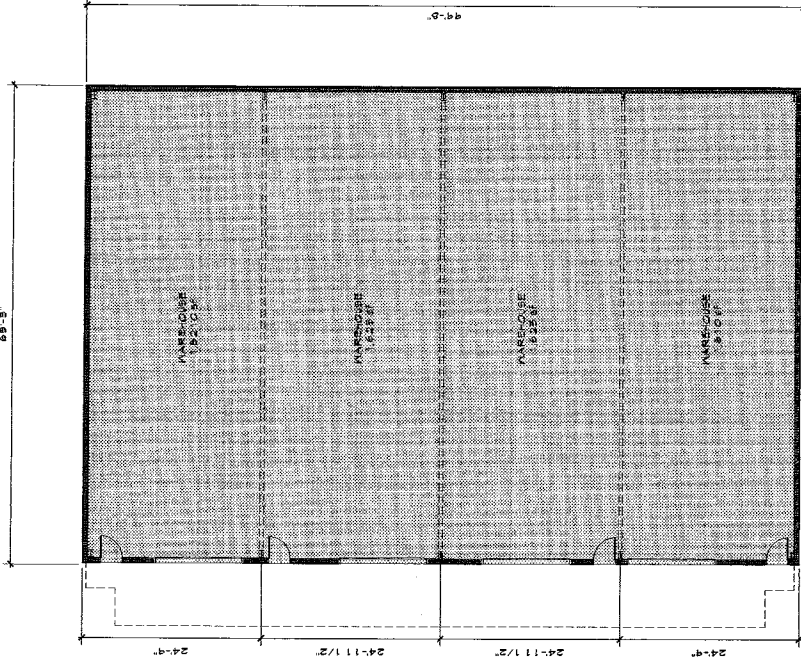
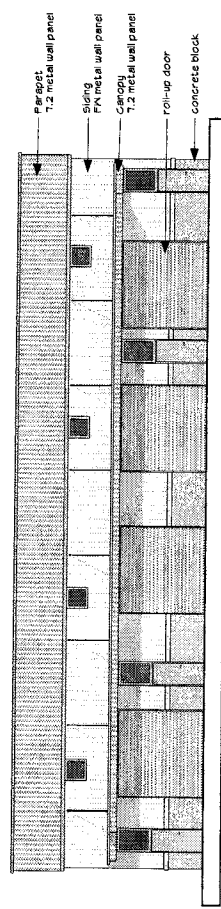


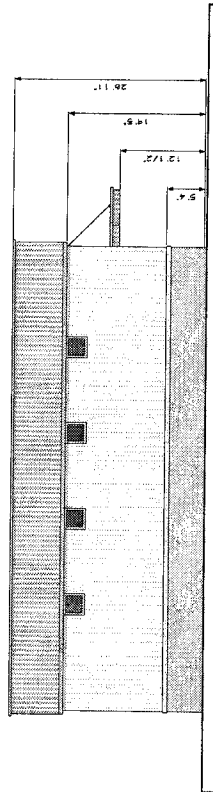
Exhibit J
 Warehouse Floor & Roof Plan
 PD 09-004
 (Mayan Hardwood)

FLOOR PLAN
 1/8" = 1'-0"

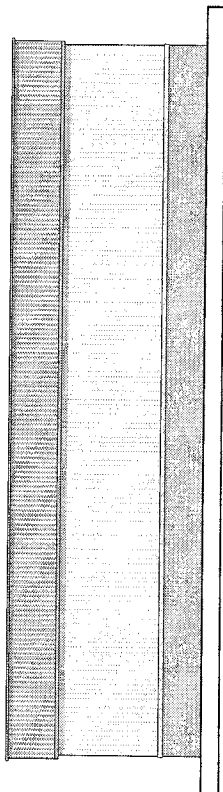
ROOF PLAN
 1/8" = 1'-0"



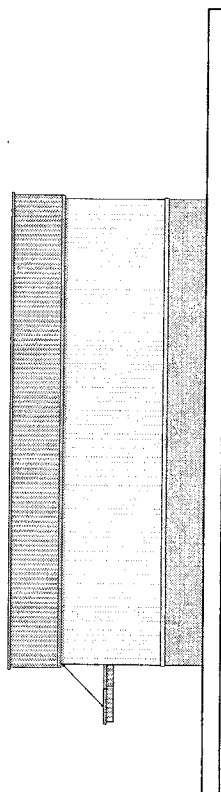
FRONT



LEFT



REAR



RIGHT

