

RESOLUTION NO.: 09-021

A RESOLUTION OF THE PLANNING COMMISSION  
OF THE CITY OF EL PASO DE ROBLES  
TO APPROVE PLANNED DEVELOPMENT 05-016 AMENDMENT  
(WINERY ROW)  
APN: 025-438-001, 006-015 & 018-020

WHEREAS, The Planning Commission on October 10, 2006 adopted Resolution 06-0084 approving PD 05-016 and Resolution 06-0085 approving Tentative Tract 2772, creating the Airport Business Park; and

WHEREAS, the Airport Business Park consists of 36 lots to be developed as a business park; and

WHEREAS, the Airport Road Business Park, is located on the southwest corner of Airport Road and Dry Creek Road; and

WHEREAS, an amendment to PD 05-016 has been filed by Larry Gabriel, Architect on behalf of Chris Hoskins, to establish winery related uses for lots 2-15 of Tract 2772; and

WHEREAS, this amendment would amend the Development Design Guidelines for the Airport Business Part to add a new Chapter VI. that addresses the development for the Winery Row project; and

WHEREAS, the applicant is requesting that the Planning Commission allow a 10-foot tall fence along the rear property line of lots 2-8, which back up to the Paso Robles Boys School to help screen views of the prison from Dry Creek Road; and

WHEREAS, at its August 11, 2009 meeting, the Planning Commission held a noticed public hearing on the Project, to accept public testimony on the proposal including amendment to Planned Development 05-016; and

WHEREAS, pursuant to the Statutes and Guidelines of the California Environmental Quality Act (CEQA), and the City's Procedures for Implementing CEQA, Resolution 06-0083 was adopted by the Planning Commission with the original approval of PD 05-016 and Tentative Tract 2772, adopting a Mitigated Negative Declaration for the Airport Business Park; and

WHEREAS, the proposed amendment would be consistent with the original environmental review and be subject to all mitigation measures that would apply within Resolution 06-0083; and

WHEREAS, based upon the facts and analysis presented in the staff report and the attachments thereto, the public testimony received, and subject to the Conditions of Approval listed below, the Planning Commission makes the following findings:

1. The proposed Project will not be detrimental to the City's efforts to revitalize Downtown Paso Robles since the Project is not in the downtown area would typically not have uses that would be found in the downtown area.

2. The proposed Planned Development is consistent with the purpose, intent and regulations set forth in Chapter 21.16A (Planned Development Overlay District Regulations) as follows:
  - A. The granting of the Planned Development (PD) will not adversely affect the policies, spirit and intent of the General Plan, the Zoning Ordinance, and the policies and plans of the City, by providing the opportunity for clean, attractive businesses to be located in the Business Park/Planned Industrial designated areas of the City.
  - B. The Project maintains and enhances the significant natural resources on the site. This has been accomplished through the use of extensive landscaping, and preservation of all oak trees on site.
  - C. The Project is designed to be sensitive to, and blend in with, the character of the site and surrounding area. This has been accomplished through the conditions within the resolution along with the applicant's Development Design Guidelines (Exhibit J).
  - D. The design and the density of the Project is compatible with the surrounding development and does not create a disharmonious or disruptive element to the neighborhood.
  - E. The Project is consistent with the purpose and intent of the Planned Development Chapters of the Zoning Ordinance and the Project is not contrary to the public health, safety and welfare.
3. The Planning Commission's approval to allow a 10-foot tall fence (as opposed to 8-foot) is in compliance with Chapter 21.16.A. Planned Development District, which allows the Commission to modify development standards. The increase in fence height is requested in order to help screen views of the prison from Dry Creek Road and parking lot areas. This situation is a site specific condition that is not typical of other sites in the City.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles does hereby approve an amendment to Planned Development 05-016, subject to the following conditions:

1. This amendment to PD 05-016 allows for the development of winery related uses on Lots 2-15, subject to the conditions that follow as well as any conditions within Resolutions 06-0085, 06-0083 & 08-023. With the approval of the amendment the Commission also allows a 10-foot tall vinyl coated chain-link fence along the northern boundary of Lots 2-8, all other fences shall not exceed 8-feet.
2. All criteria within the original Design Guidelines for the Airport Business Park shall comply, except that with the approval of this amendment, a new Section V. will be added to the Guidelines that addresses the development of Lots 2-15. Section V. is attached as Exhibit J to this resolution.

3. The Project shall be constructed in substantial conformance with the Conditions of Approval established by this Resolution and it shall be constructed in substantial conformance with the following Exhibits:

EXHIBIT	DESCRIPTION
A	Winery Row Title Sheet
B	Site Plan & Street Elevations
C1-C2	Enlarged Site Plan
D1-D2	Copy of Tract Map
E1-E3	Conceptual Landscape Plan
F1-F2	Architectural Elevations
G	Elevations Schemes and Materials List
H1-H2	Preliminary Median Landscape Plan
I1-I5	Exterior Light Cut-Sheets
J	Design Guidelines – Winery Row

4. Prior to issuance of a Building Permit for each individual site, the applicant shall apply for a Site Plan Review where the following information will need to be provided for review and approval by the Development Review Committee. The Site Plan shall be consistent with the Design Guidelines established for the Business Park. The submittal shall include but not be limited to the following items:
  - a. Site Plan (see application guide for requirements for a site plan)
  - b. Architectural elevations
  - c. Landscaping Plan
  - d. Grading and Drainage Plan
  - e. Color and Materials Board
  - f. Fencing Plans
  - g. Exterior Light Cut-Sheets
5. Any outdoor storage shall be as an accessory to the on-site business and shall comply with the screening standards described in Section 21.21.110. Outdoor storage areas shall not back up to or be visible from Dry Creek Road or Airport Road.
6. Prior to issuance of building permits, easements conflicting with proposed buildings must be quitclaimed by all holders of interest
7. Prior to occupancy of building permits on the south side of Dry Creek Road, a plan of sidewalks including a decorative cross-walk across Dry Creek Road shall be submitted to the City Engineer for approval.
8. Prior to issuance of any building permit, a plan of improved right turn access at Airport Road and Highway 46E shall be submitted for approval by the City Engineer. All building permits will share in the cost of the improvements outlined on the plan.

9. Prior to issuance of any building permit, plans for a winery waste discharge pre-treatment facility, for the common use of all of the properties involved in the project shall be submitted to the Wastewater Division.
10. Prior to issuance of any building permit, landscape plans for the Dry Creek Road median shall be submitted to the City Engineer for approval.

PASSED AND ADOPTED THIS 11<sup>th</sup> day of August, 2009 by the following Roll Call Vote:

AYES: Nemeth, Gregory, Holstine, Peterson, Garcia, Treatch

NOES: None

ABSENT: Johnson

ABSTAIN: None

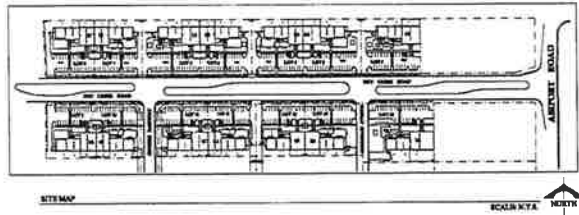


CHARLES E. TREATCH, CHAIRMAN

ATTEST:



RON WHISENAND, PLANNING COMMISSION SECRETARY



**PROJECT DATA:**

**APPLICANT** CERIE HOSKINS  
58 CORMORANT CIRCLE  
NEWPORT BEACH, CA 92660  
(714) 953-4165

**PROJECT ARCHITECT** LARRY GABRIEL  
LARRY GABRIEL, ARCHITECT  
362 EL CAMINITO ROAD  
CARROLL VALLEY, CA 95724  
(931) 659-8225

**OWNERS:**  
**LOTS 2, 4, & 10** AIROTO HOLDINGS HOLDINGS, LLC  
58 CORMORANT CIRCLE  
NEWPORT BEACH, CA 92660

**LOTS 3 & 4** BOGUS BROTHERS, INC.  
P.O. BOX 1136  
PASO ROBLES, CA 93447

**LOTS 5, 9, 11, 12,  
13, 14, & 15** AIRPORT ROAD BUSINESS PARK, LP  
58 CORMORANT CIRCLE  
NEWPORT BEACH, CA 92660

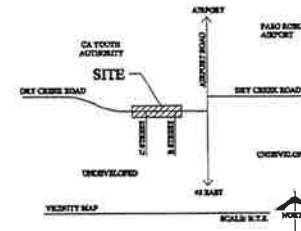
**LOTS 7 & 8** KEVIN BLAIR  
2550 DRY CREEK ROAD  
PASO ROBLES, CA 93446

**APN** 025-438-001 025-438-012  
025-438-005 025-438-013  
025-438-007 025-438-014  
025-438-008 025-438-015  
025-438-009 025-438-016  
025-438-010 025-438-019  
025-438-011 025-438-020

**PROJECT ADDRESS** TRACT 1772 PHASE ONE  
AIRPORT BUSINESS PARK  
LOTS 2 THROUGH 15

**ZONE** ARPD  
**USE** WINERY

**PROJECT DESCRIPTION** NEW COMMERCIAL WINERY  
BUILDINGS SEE FOLLOWING  
SHEETS FOR SPECIFIC SQUARE  
FOOT AND USE PER LOT



**SHEET INDEX:**

- 1 TITLE SHEET
- 2 SITE PLAN & PERMIT ELEVATIONS
- 3 REGULATED SITE PLAN
- 4 UNREGULATED SITE PLAN
- 5 TRACT MAP
- 6 TRACT MAP
- 7 CONCEPTUAL LANDSCAPE PLAN
- 8 CONCEPTUAL LANDSCAPE PLAN
- 9 ADJACENT ELEVATIONS - NORTH SIDE
- 10 ADJACENT ELEVATIONS - SOUTH SIDE
- 11 ELEVATIONS PORCHES & MATERIAL LIFT
- 12 DRY CREEK MESSIAH LANDSCAPE PLAN
- 13 DRY CREEK MESSIAH LANDSCAPE PLAN



**MISSION STATEMENT:**

"Winery Row Pass" was designed to meet the needs of small-scale winemakers searching for an affordable solution to wine processing, barrel storage and tasting room sales. Although all 14 surrounding buildings will feature attractive exterior finishes and lush landscaping, they will be efficient, cost-effective, purpose-built Wineries.



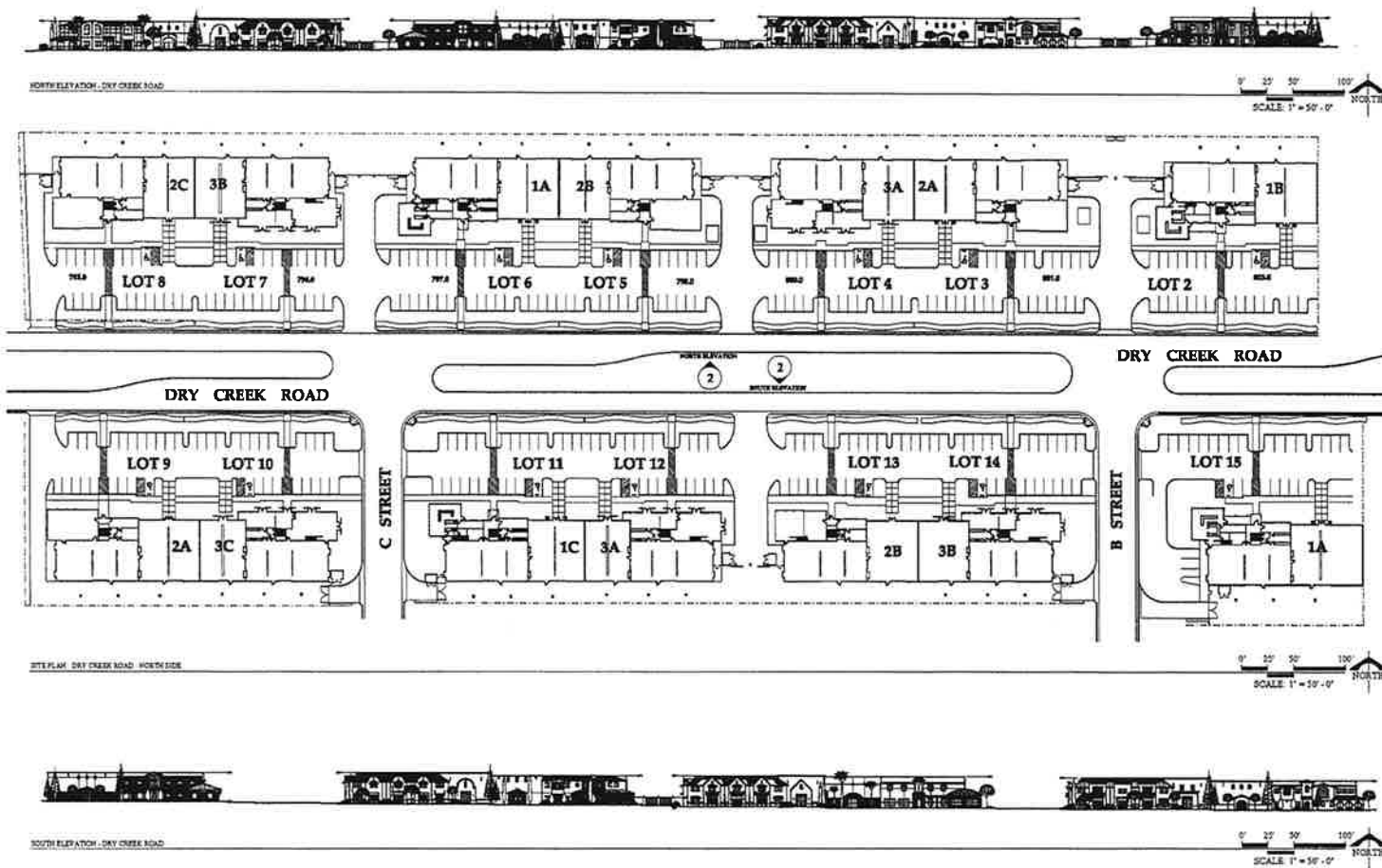
**Exhibit A**  
Winery Row Title Sheet  
PD 05-016 Amendment  
(Winery Row)



**TITLE SHEET**

**1**

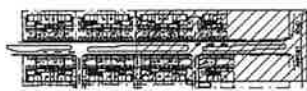
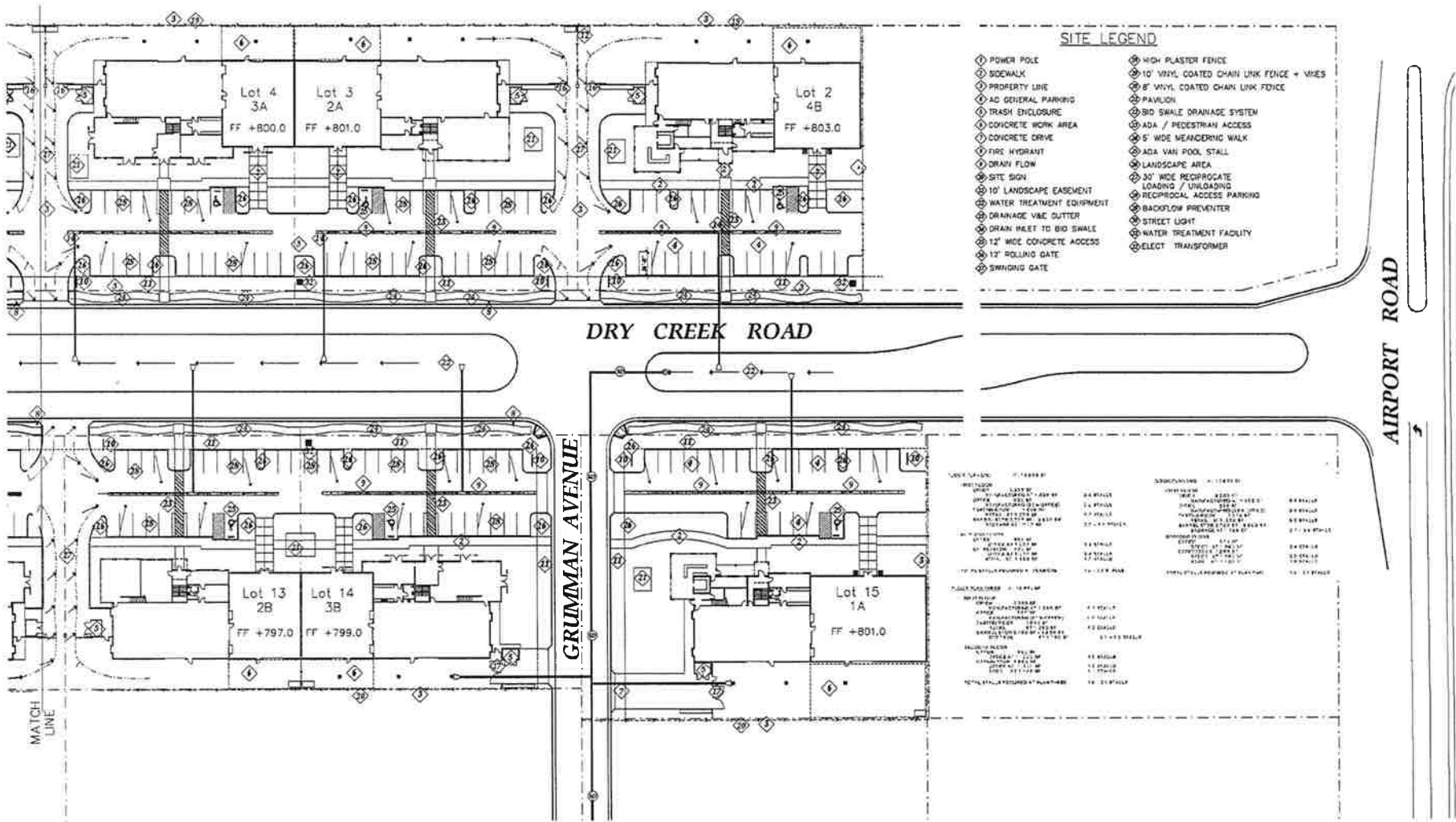
**JULY 21, 2009**



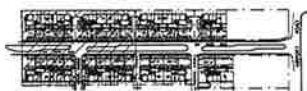
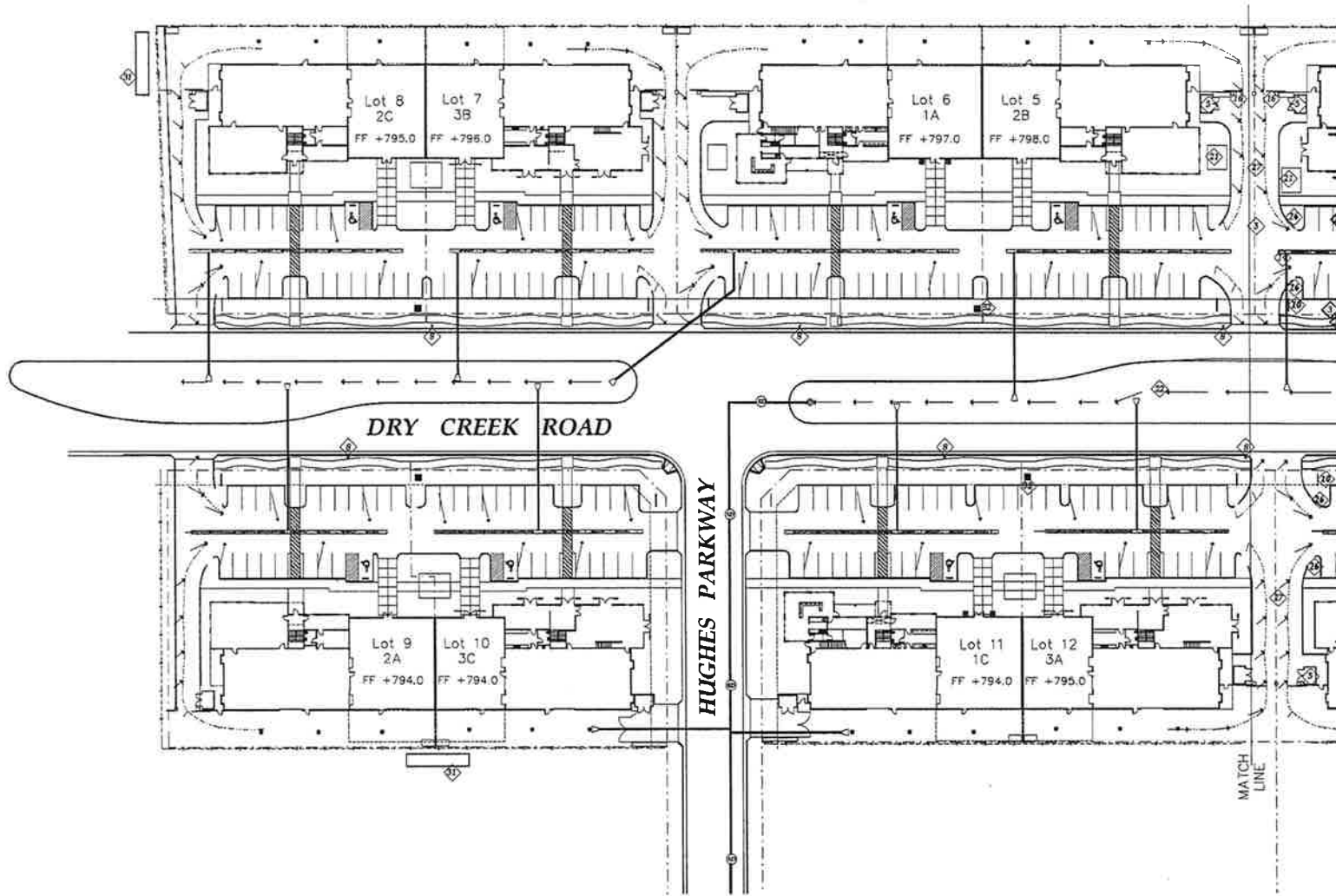
**SITE PLAN & STREET ELEVATIONS**

**Exhibit B**  
Site Plan & Street Elev.  
PD 05-016 Amendment  
(Winery Row)

JULY 21, 2009

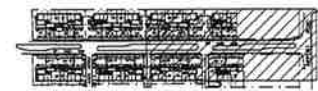
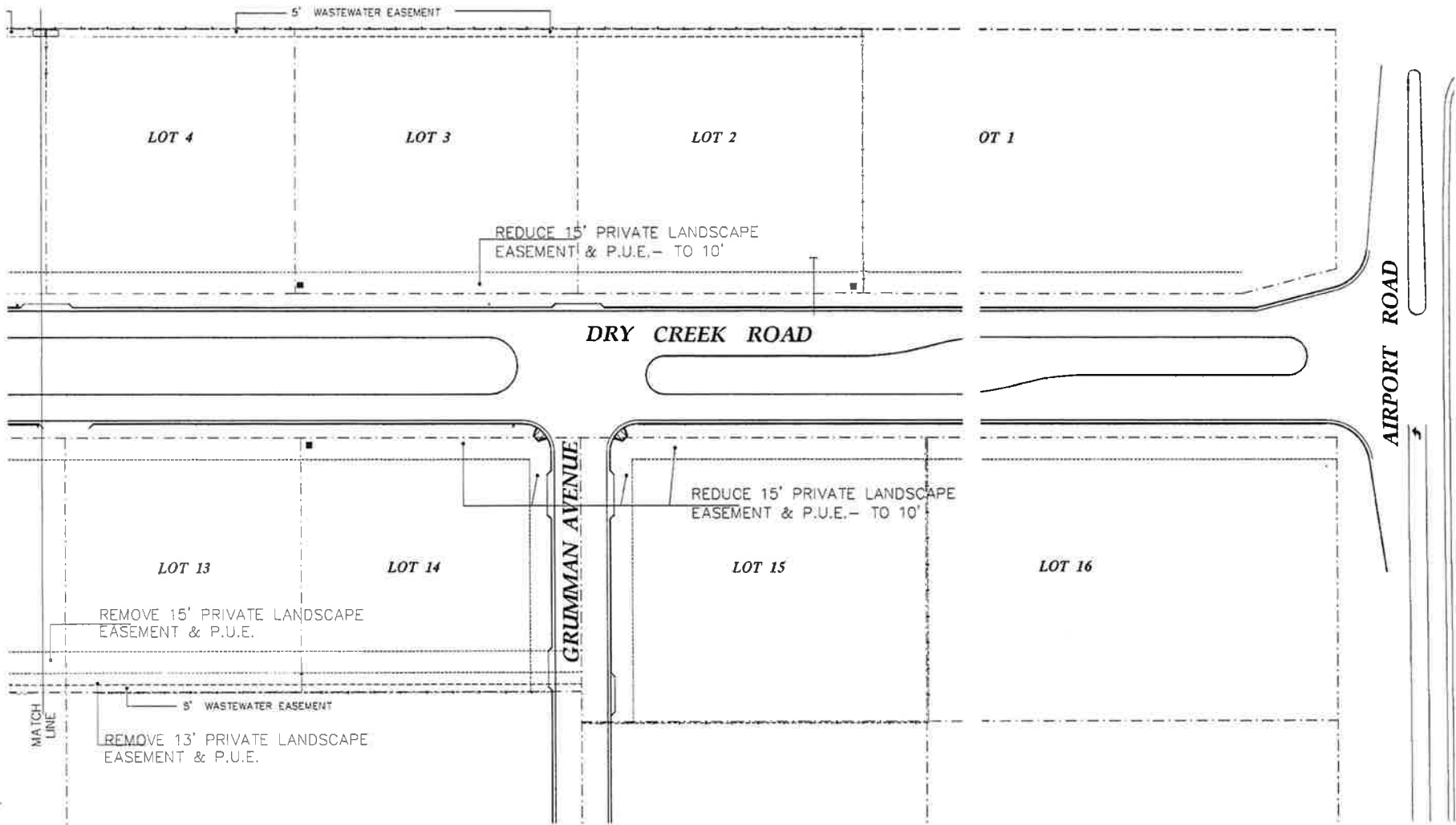


**Exhibit C1**  
 Enlarged Site Plan  
 PD 05-016 Amendment  
 (Winery Row)

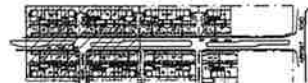
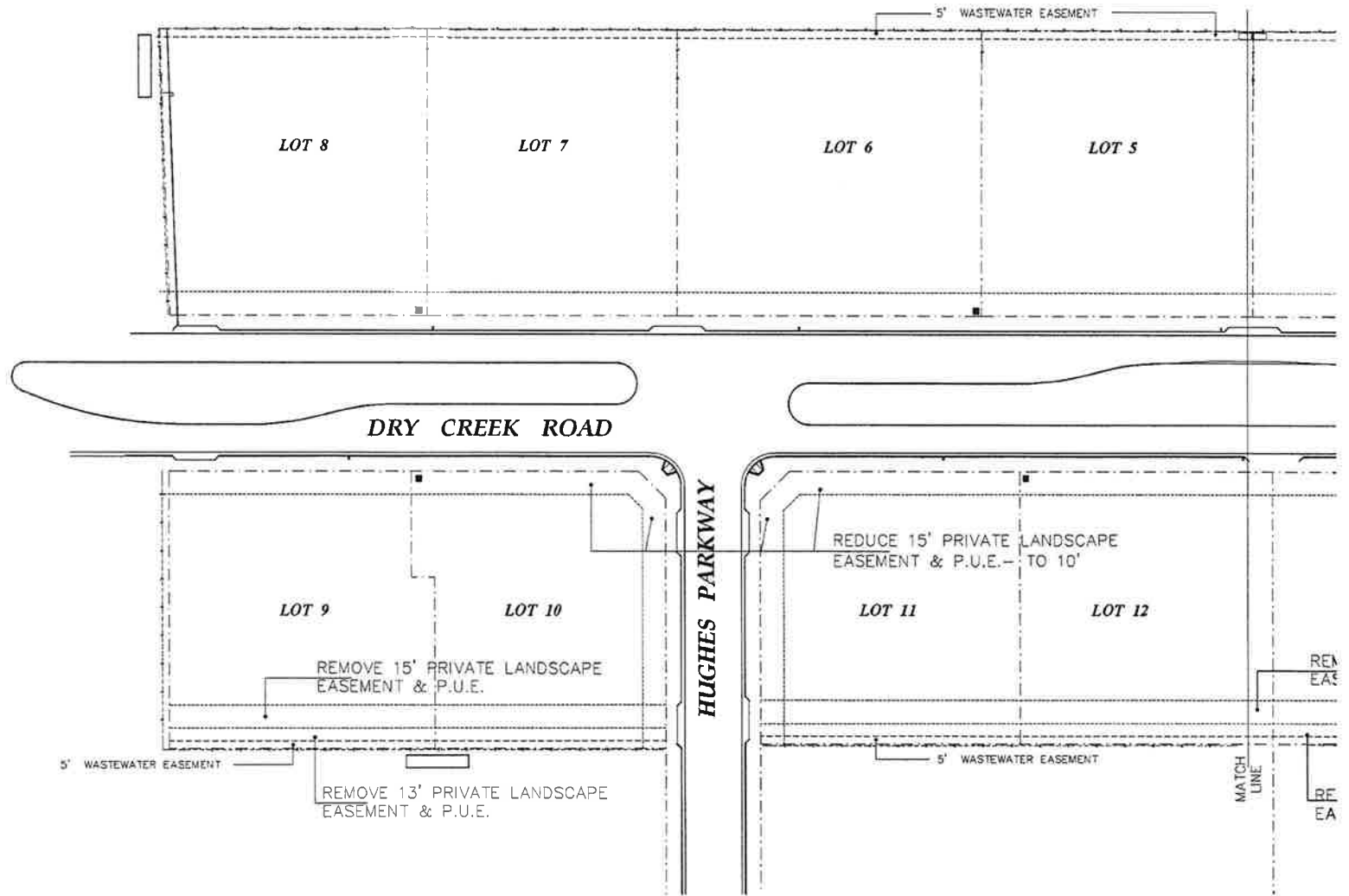


**Exhibit C2**  
 Enlarged Site Plan  
 PD 05-016 Amendment  
 (Winery Row)





**Exhibit D1**  
Copy of Tract Map  
PD 05-016 Amendment  
(Winery Row)



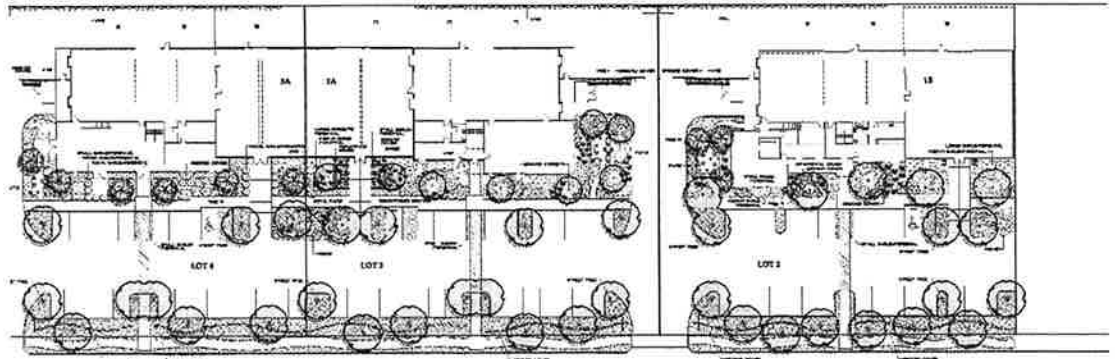
**Exhibit D2**  
Copy of Tract Map  
PD 05-016 Amendment  
(Winery Row)

**TRACT MAP 6**

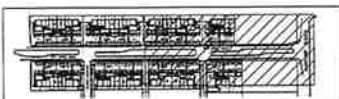
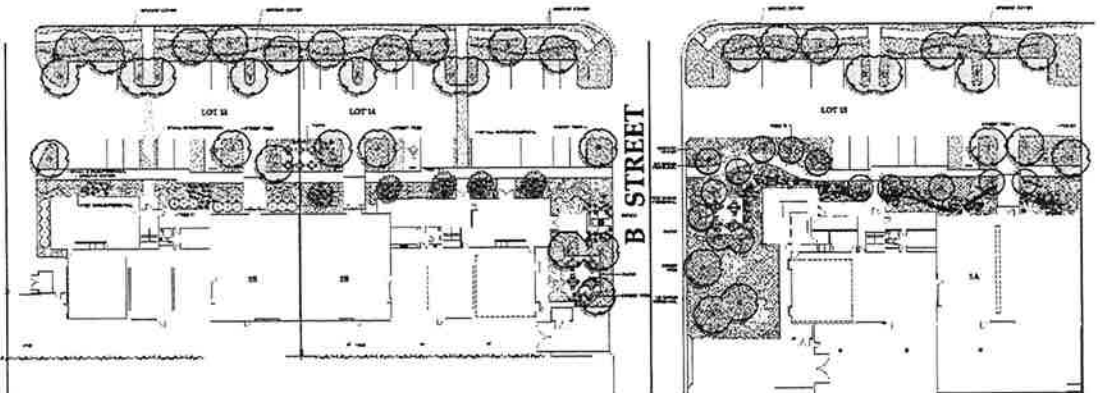
JULY 21, 2009

**CONCEPTUAL PLANTING LEGEND**

BOTANICAL NAME	COMMON NAME	PLANTING SPECIES
TREE 1 - STREET TREE		
AGAVEUS COMPTONII	LYVE OAK	X
QUERCUS LAEVOLENS	VALLEY OAK	X
TREE 11		
QUERCUS AGEROLENS	LYVE OAK	X
TREE 12		
QUERCUS LAEVOLENS	VALLEY OAK	X
QUERCUS LAEVOLENS	VALLEY OAK	X
TREE 13		
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TREE 97		
QUERCUS LAEVOLENS	VALLEY OAK	X
TREE 98		
QUERCUS LAEVOLENS	VALLEY OAK	X
TREE 99		
QUERCUS LAEVOLENS	VALLEY OAK	X
TREE 100		
QUERCUS LAEVOLENS	VALLEY OAK	X



DRY CREEK ROAD



KEYPLAN



SCALE: 1"=30'



Katherine Klawans, Smith ASLA



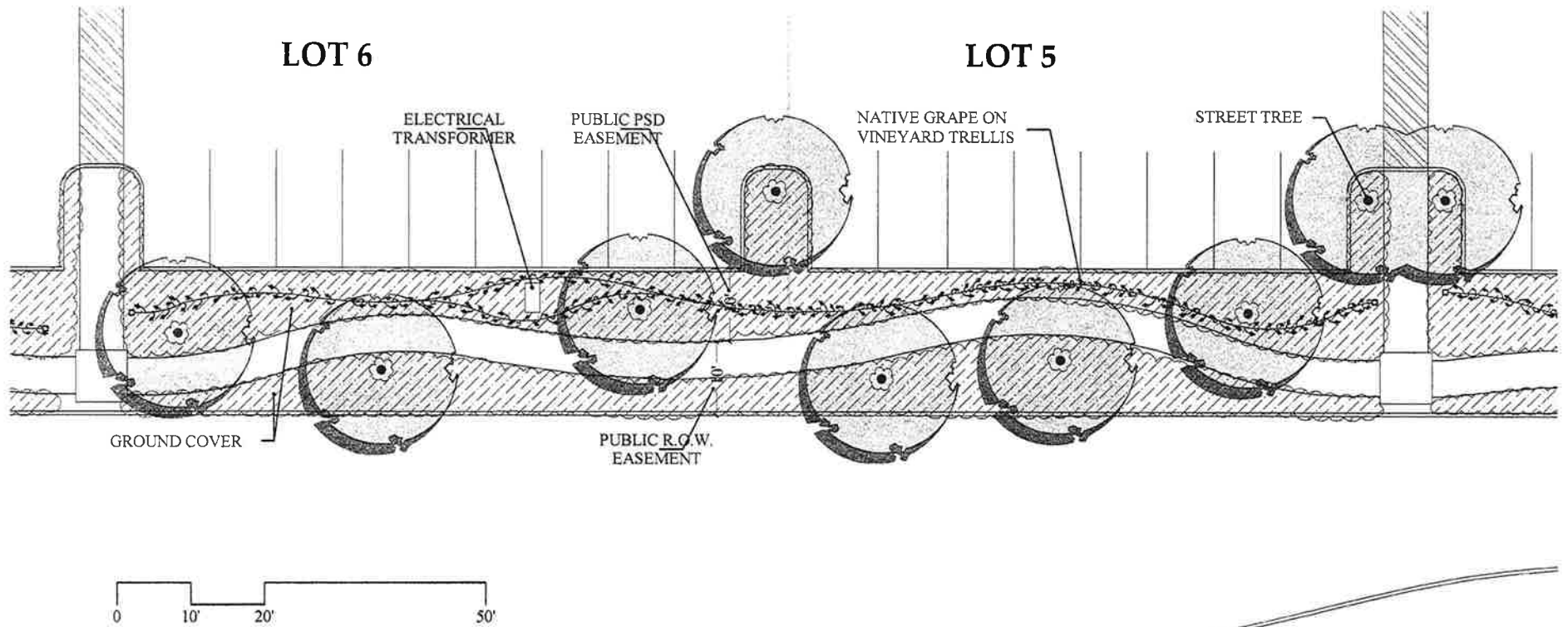
**CONCEPTUAL LANDSCAPE PLAN**

7

**Exhibit E1**  
 Conceptual Landscape Plan  
 PD 05-016 Amendment  
 (Winery Row)

JULY 21, 2009

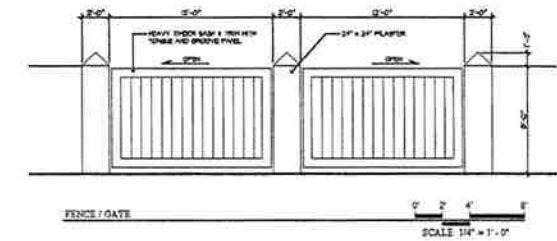
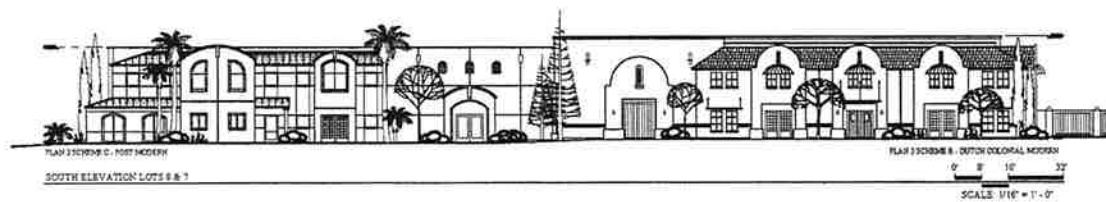
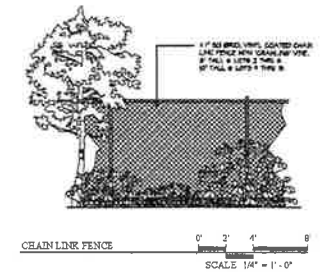
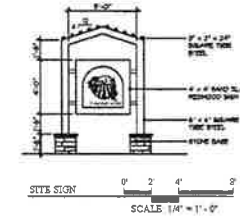
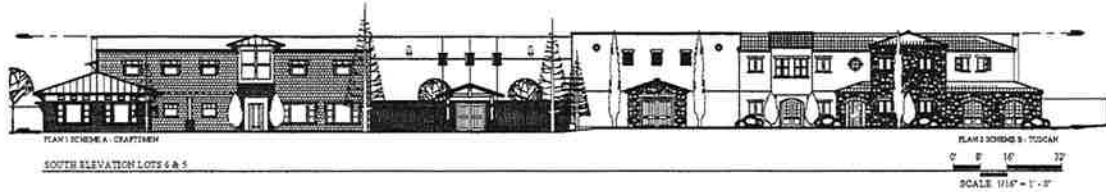
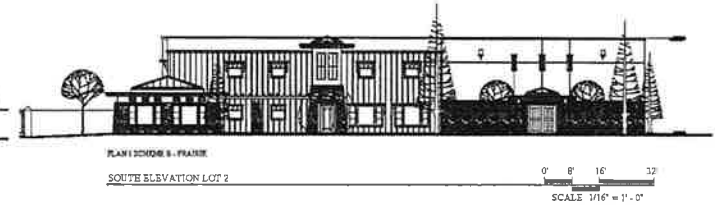
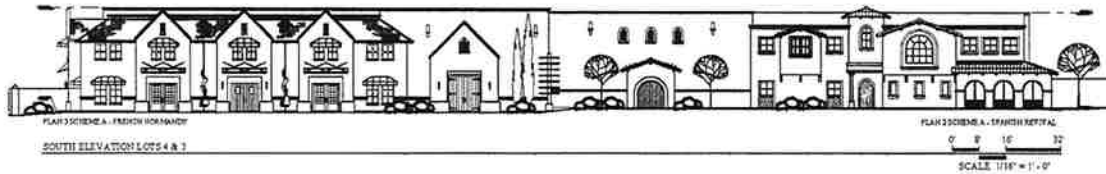




## Landscape Vignette



**Exhibit E3**  
Conceptual Landscape Plan  
PD 05-016 Amendment  
(Winery Row)



**Exhibit F1**  
**Architectural Elevations**  
**PD 05-016 Amendment**  
**(Winery Row)**

**ADJ. ELEVATIONS - NORTH SIDE**

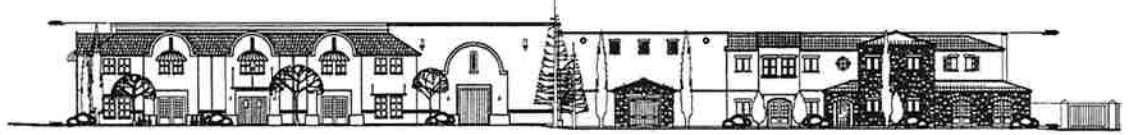
**9**

**JULY 21, 2009**



PLAN 1 SCHEME A - CRAFTSMAN  
NORTH ELEVATION LOT 15

0 8 16 32  
SCALE 1/16" = 1'-0"



PLAN 3 SCHEME B - DUTCH COLONIAL MODERN  
SOUTH ELEVATION LOTS 14 & 13

0 8 16 32  
SCALE 1/16" = 1'-0"



PLAN 1 SCHEME A - FRENCH NORMANDY  
SOUTH ELEVATION LOTS 12 & 11

0 8 16 32  
SCALE 1/16" = 1'-0"



PLAN 1 SCHEME C - MEDITERRANEAN REVIVAL  
SOUTH ELEVATION LOTS 10 & 9

0 8 16 32  
SCALE 1/16" = 1'-0"



ADJ. ELEVATIONS - SOUTH SIDE

10

**Exhibit F2**  
Architectural Elevations  
PD 05-016 Amendment  
(Winery Row)

JULY 21, 2009

A



1. STANDING BEAM METAL ROOFING
2. SHEET METAL PARAPET CAP
3. BUILT UP WOOD CORING
4. CEMENT PLASTER
5. BRICK TIE UP
6. WOOD TRUSSES
7. STANDING BEAM METAL WINDOWS
8. WOOD CORBELS
9. ALUMINUM STOREFRONT WINDOWS
10. BRICK VENEER
11. SHEET METAL LOUVER
12. OVERFLOW SCUPPER

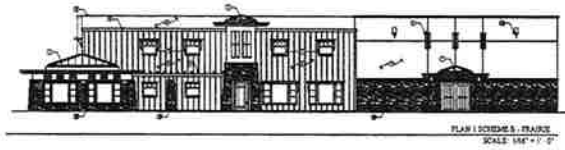


1. MESSIAN STYLE TILE ROOFING
2. SHEET METAL PARAPET CAP
3. BUILT UP WOOD CORING
4. CEMENT PLASTER
5. CERAMIC TILE
6. BUILT OUT WINDOW ARCHES
7. BRICKED WINDOW ALLOUVE
8. HEAVY WOOD CORBELS
9. ALUMINUM STOREFRONT WINDOWS
10. BUILT UP PLASTER TRIM
11. SHEET METAL LOUVER
12. OVERFLOW SCUPPER



1. DIAMOND SHAPED ASPHALT SHINGLES
2. SHEET METAL PARAPET CAP
3. BUILT UP CORING
4. CEMENT PLASTER
5. BRICK TIE UP
6. SHEET METAL WINDOWS
7. BRACKED METAL WINDOWS
8. GUTTER AND RAIN WATER LEADER
9. ALUMINUM STOREFRONT WINDOWS
10. BUILT UP PLASTER TRIM
11. SHEET METAL LOUVER
12. OVERFLOW SCUPPER

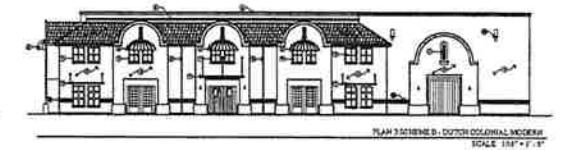
B



1. STANDING BEAM METAL ROOFING
2. SHEET METAL PARAPET CAP
3. BUILT UP WOOD CORING
4. CEMENT PLASTER
5. BRICK TIE UP
6. WOOD TRUSSES
7. STANDING BEAM METAL WINDOWS
8. WOOD CORBELS
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10. BRICK VENEER
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12. OVERFLOW SCUPPER

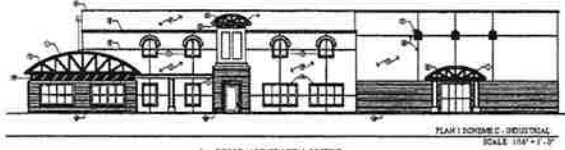


1. MESSIAN STYLE TILE ROOFING
2. SHEET METAL PARAPET CAP
3. BUILT UP WOOD CORING
4. CEMENT PLASTER
5. CEMENT DOOR SWANSONS
6. HEAVY WOOD LINTEL
7. WOOD SHUTTERS
8. HEAVY WOOD CORBELS
9. ALUMINUM STOREFRONT WINDOWS
10. BUILT UP PLASTER TRIM
11. SHEET METAL LOUVER
12. OVERFLOW SCUPPER



1. FLAT CONCRETE TILE ROOFING
2. SHEET METAL PARAPET CAP
3. BUILT UP WOOD CORING
4. CEMENT PLASTER
5. BUILT UP PLASTER SILL
6. FABRIC WINDOWS
7. BRACKED METAL WINDOWS
8. GUTTER AND RAIN WATER LEADER
9. ALUMINUM STOREFRONT WINDOWS
10. BUILT UP PLASTER TRIM
11. SHEET METAL LOUVER
12. OVERFLOW SCUPPER

C



1. RIBBED ARCHITECTURAL ROOFING
2. SHEET METAL PARAPET CAP
3. REVEAL
4. CEMENT PLASTER
5. CONCRETE PANELS WITHIN EXPOSED STEEL TRUSS
6. FLAT ROOF WITH METAL TRIM
7. RIBBED ARCHITECTURAL WINDOWS
8. RECESSED SHEET METAL TRIM
9. ALUMINUM STOREFRONT WINDOWS
10. RECESSED METAL SIDING
11. SHEET METAL LOUVER
12. OVERFLOW SCUPPER



1. RIBBED ARCHITECTURAL ROOFING
2. SHEET METAL PARAPET CAP
3. REVEAL
4. CEMENT PLASTER
5. CONCRETE SILL & CEMENT PLASTER COLUMN
6. CLASSICAL DRUMS & STOREFRONT TRIM
7. RECESSED WINDOWS
8. RAIN GUTTERS - TYPICAL LEAD DRAIN
9. ALUMINUM STOREFRONT WINDOWS
10. CRANGLASS PANEL ALUMINUM CLAD DOOR
11. SHEET METAL LOUVER
12. OVERFLOW SCUPPER

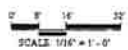


1. STANDING BEAM METAL ROOFING
2. SHEET METAL PARAPET CAP
3. SHEET METAL CORING
4. CEMENT PLASTER
5. BUILT UP WOOD CORING
6. HEAVY WOOD SHUT
7. BRACKED METAL WINDOWS
8. RECESSED PLASTER ACCENT
9. ALUMINUM STOREFRONT WINDOWS
10. BALCONY WITH W/ RAILING
11. SHEET METAL LOUVER
12. OVERFLOW SCUPPER

1

2

3



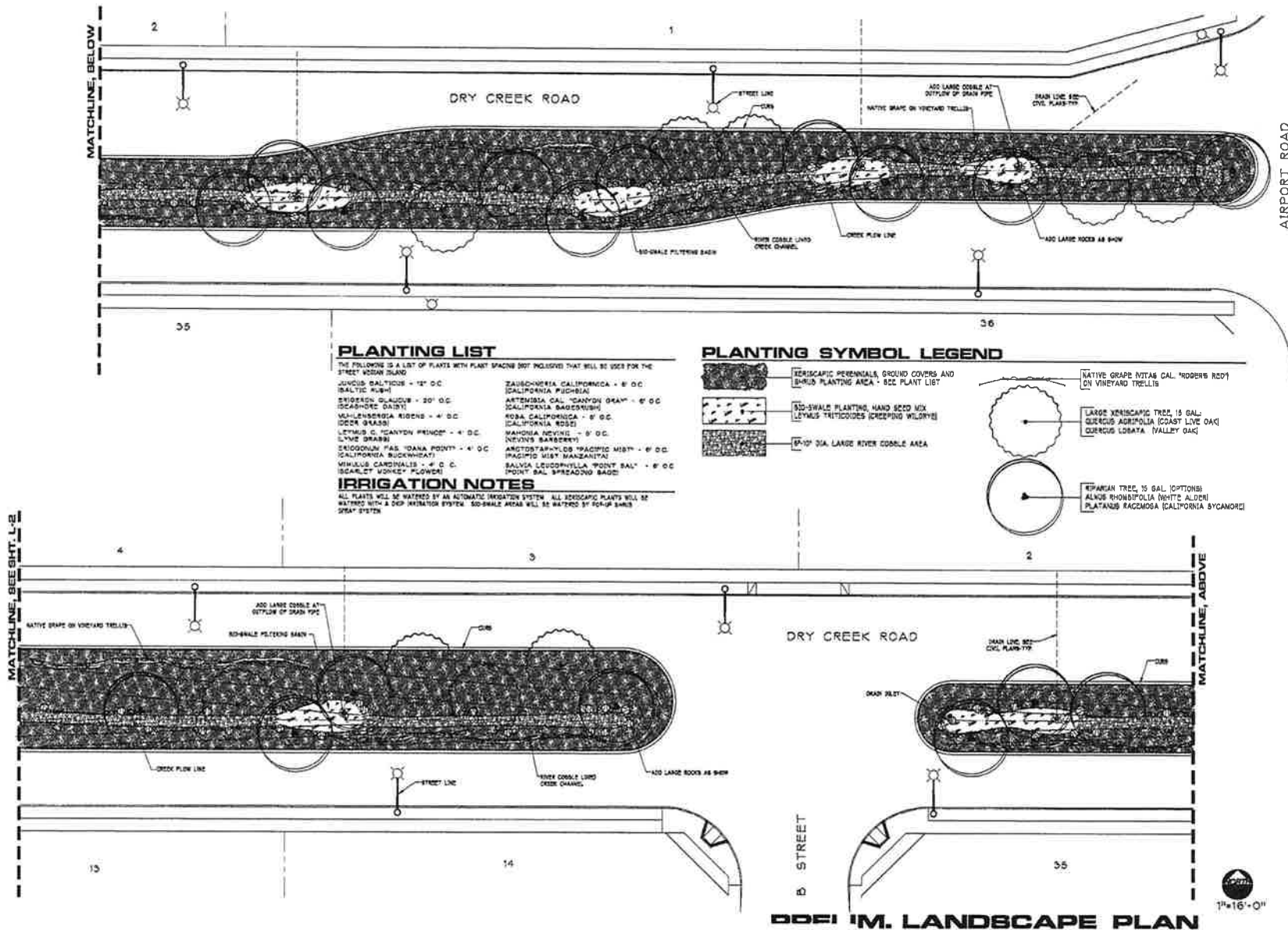
ELEV SCHEMES & MATERIAL LIST



Exhibit G  
Elevation Schemes and Materials  
PD 05-016 Amendment  
(Winery Row)

JULY 21, 2009





NO.	REVISIONS

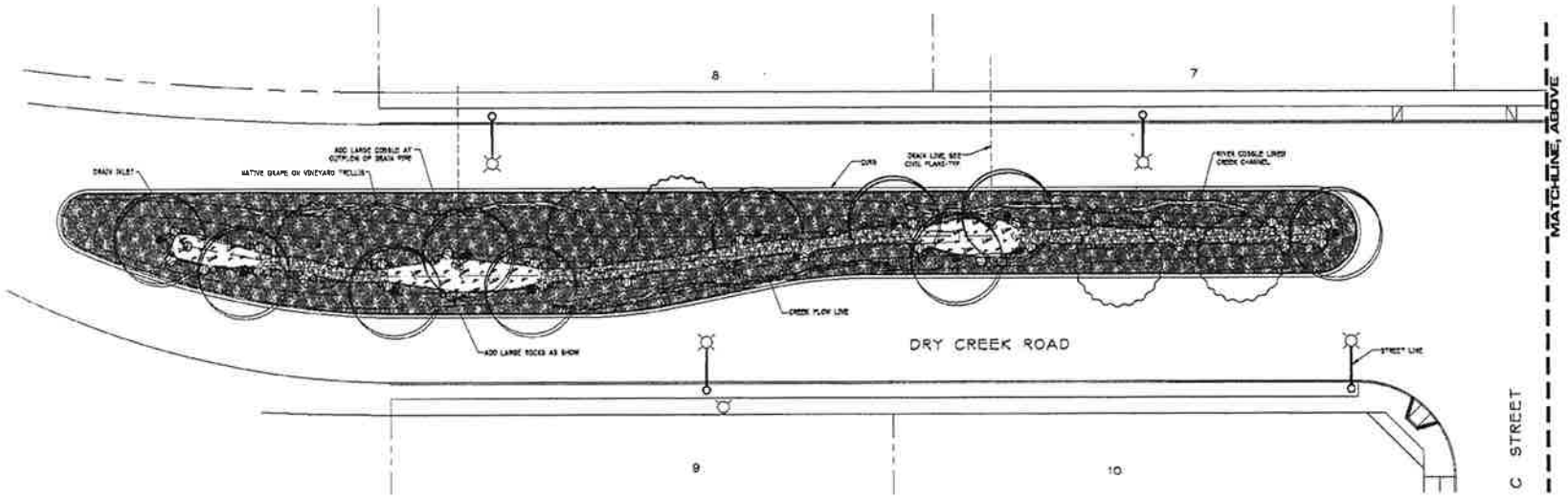
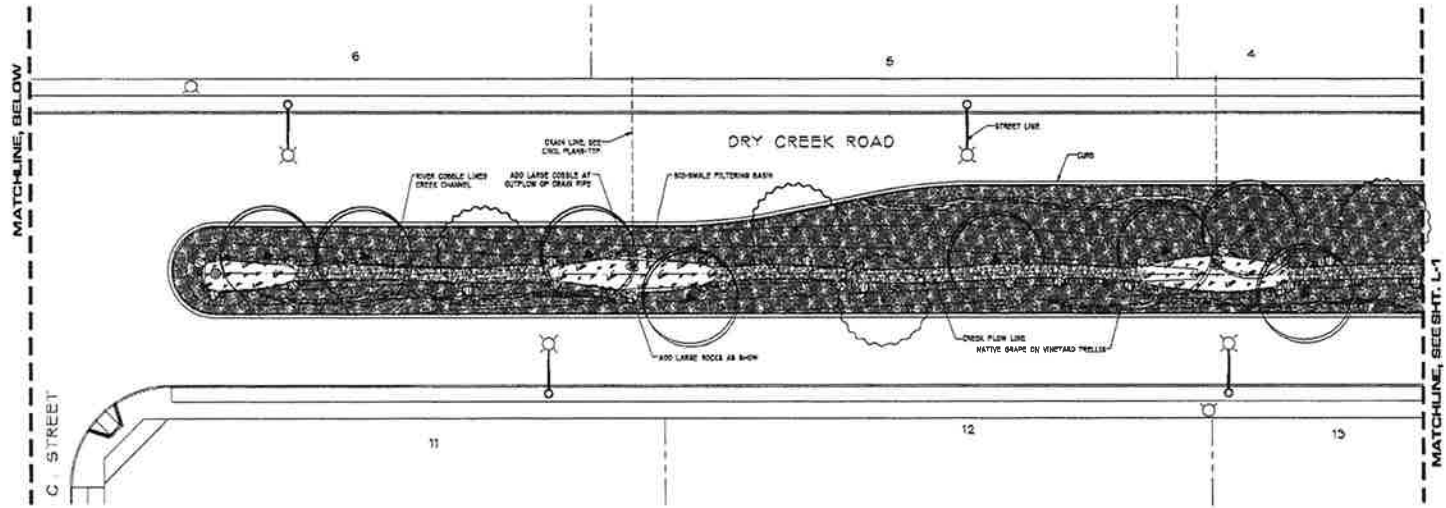


**CJP PRODUCTIONS INC.**  
 LANDSCAPE ARCHITECTURE  
 805-460-7829

TITLE: PRELIM. LANDSCAPE PLAN  
 MEDIAN ISLAND BIO-SWALE  
 PROJECT: WINERY ROW TRACT 2772 PASO ROBLES, CA.

SCALE: 1"=10'  
 DATE: 06/15/20  
 JOB NO:  
 SHEET NO.  
 L-1

Exhibit H1  
 Prelim. Median Landscape  
 PD 05-016 Amendment  
 (Winery Row)



**PRELIM. LANDSCAPE PLAN**  
SEE SHEET L-1 FOR PLANT SYMBOL LEGEND



NO.	DESCRIPTION



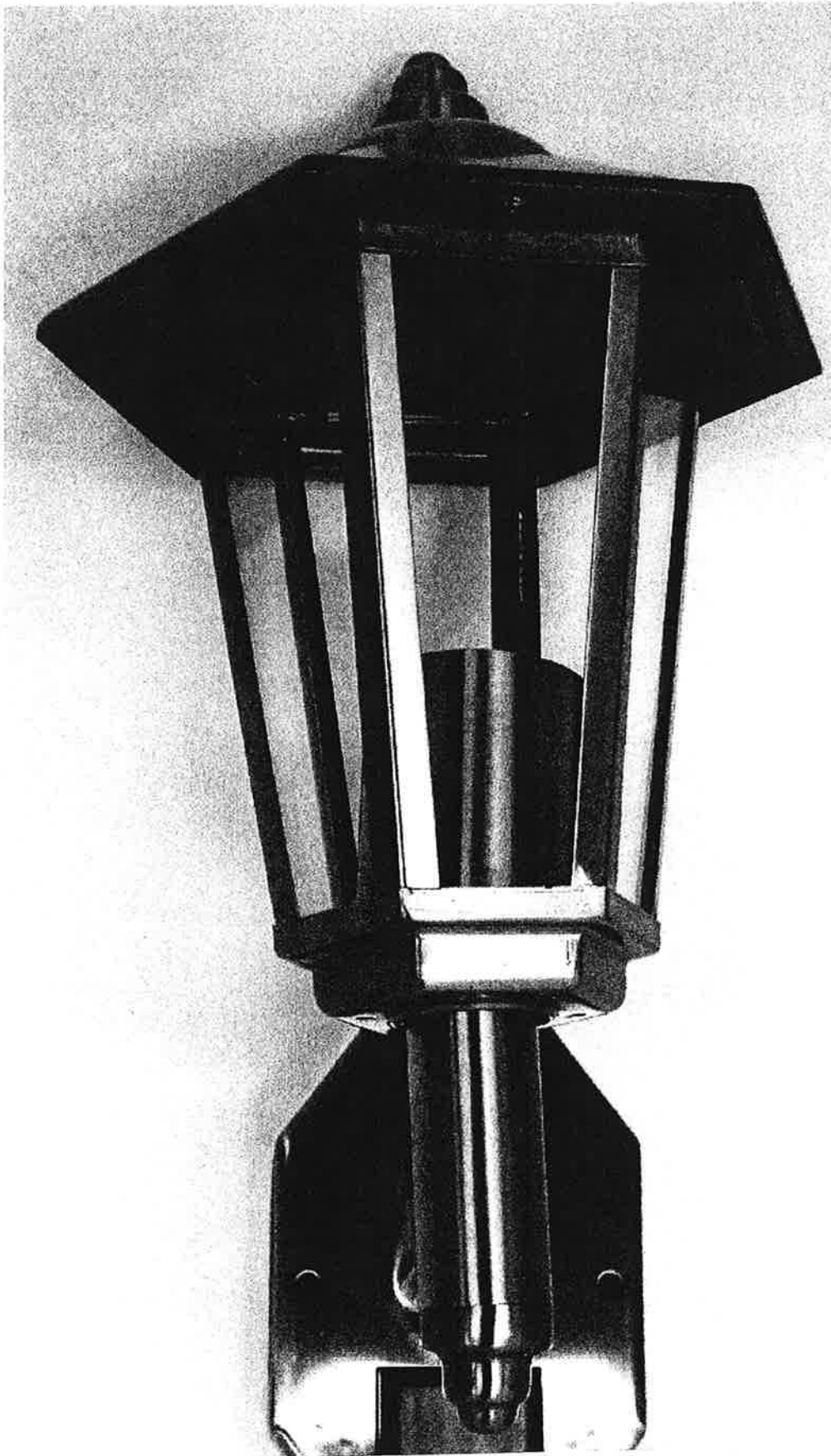
**CJP PRODUCTIONS INC.**  
LANDSCAPE ARCHITECTURE  
800.600.7899

FILE: PRELIM. LANDSCAPE PLAN  
MEDIAN ISLAND BIO-SWALE  
PROJECT: WINERY ROW TRACT 2772  
PASO ROBLES, CA.

SCALE:	1"=16'
DATE:	06/15/09
JOB NO.:	
SHEET NO.:	L-2

**Exhibit H2**  
Prelim. Median Landscape  
PD 05-016 Amendment  
(Winery Row)

SHALL



\*NOTE:  
FOR  
ORNAMENTAL  
PURPOSES  
SHALL USE  
LOW WATT  
BULB

**Exhibit I-1**  
Ext. Light Cut-sheets  
PD 05-016 Amendment  
(Winery Row)

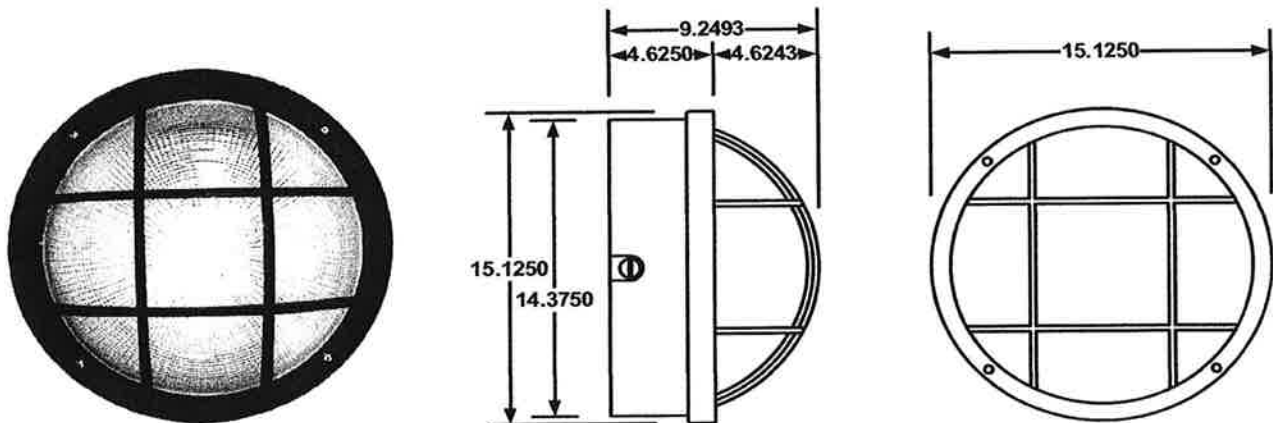


# AWPR-40G ~~WALL~~ / CEILING MOUNT

## PRODUCT FEATURES

15" DIAMETER DIE CAST SURFACE MOUNT HOUSING, CHROMATE CONVERSION COATING, COIN PLUGS ON SIDES AND BACK, BUILT-IN TEMPLATE FOR MOUNTING TO ELECTRICAL BOX, SILICONE GASKET, WHITE POWDER COAT ALUMINUM REFLECTOR, PORCELAIN MEDIUM BASE SOCKET WITH ADJUSTABLE SOCKET BRACKET FOR LAMP POSITIONING, AVAILABLE WITH EITHER CLEAR MOLDED PRISMATIC BOROSILICATE GLASS LENS , WITH OPEN, HALF-CUTOFF OR GRID-STYLE FRAME. AVAILABLE COLORS: BRONZE (BR), CUSTOM COLORS AVAILABLE AT ADDITIONAL CHARGE. ACCEPTS STANDARD 175W METAL HALIDE, 150W HIGH PRESSURE SODIUM. COMPACT FLUORESCENT MODELS AVAILABLE WIRED COMPLETE WITH PL 42 WATT SOCKETS AND LAMPS . UL LISTED FOR WET LOCATIONS.

IDEAL FOR PARKING AREAS, ENTRANCES, WALKWAYS, UNDERPASSES, LOADING DOCKS, RECREATION AREAS.



CATALOG #	RATING	LAMPS	DIMENSIONS
AWPR40G-MH	175W MAX MT (SPECIFY WATTAGE)	METAL HALIDE	∅ 15" X 9.25"D
AWPR40G-HPS	150W MAX MT (SPECIFY WATTAGE)	H.P.S	∅ 15" X 9.25"D
AWPR40G-1PL42	42W MAX 120-277 (SPECIFY WATTAGE)	1-PL42	∅ 15" X 9.25"D
AWPR40G-2PL42	84W MAX 120-277 (SPECIFY WATTAGE)	2-PL42	∅ 15" X 9.25"D

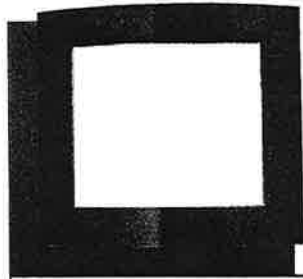


1435 West \*

Fax: 310-323-6275

Exhibit I-2  
Ext. Light Cut-sheets  
PD 05-016 Amendment  
(Winery Row)

j.com



# AMHERST

## AM200OW

Job:

Type:

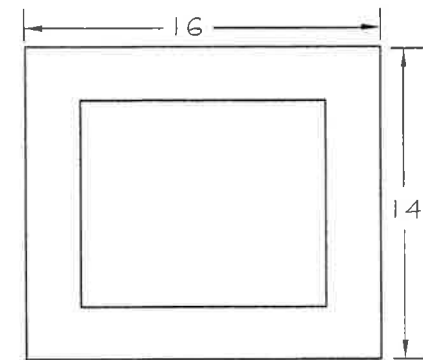
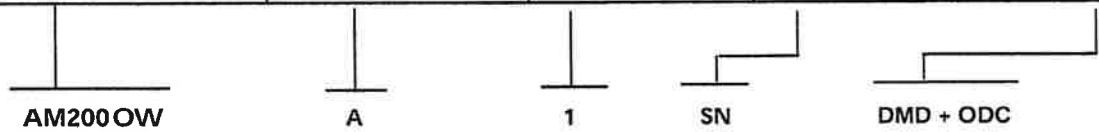


www.tmslighting.com

Dry/Damp Location Listed

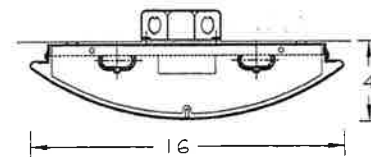
ARCHITECTURAL

STYLE	DIMENSIONS	LAMPING	VOLTAGE	FINISH	OPTIONS
<b>AM200OW</b>	Single Window  16"W x 14"H x 4"D  ADA Compliant  Shown with optional SP - Simulated Perf White Diffuser	<b>A</b> 2 x 18w CF <b>B</b> 2 x 26w CF  * Lamps included	<b>1</b> 120V <b>2</b> 277V  <b>3</b> 347V* * Consult TMS	<b>SB</b> Satin Brass <b>AC</b> Antique Copper <b>SN</b> Satin Nickel <b>AB</b> Antique Brass <b>BC</b> Black Chrome <b>F05</b> White <b>F31</b> Silver Metallic <b>CC19</b> Custom Color (Please Specify # and Name)	<b>DMD</b> Dimming Ballast (26w CF Only - Single Lamp) <b>BU</b> Emergency Ballast (26w CF Only - Single Lamp) <b>CDC</b> Dust Cover Clear Polycarbonate (Standard) <b>ODC</b> Dust Cover Opal Polycarbonate <b>OP</b> Opal White Diffuser (Standard) <b>SP</b> Simulated Perf White Diffuser <b>BC</b> Blue Cobalt Diffuser  For all OPTIONS - Consult TMS for Availability  Custom Facias or Corporate logos available - consult TMS



Part Number for Order AM200OW

NOTE: BRASS METAL, LOW WATT.



Size and specification subject to change; refer to web;  
All lighting products are UL or CSA listed.

Exhibit I-3  
Ext. Light Cut-sheets  
PD 05-016 Amendment  
(Winery Row)

# AM200OW



# POLE 16

## 9' Standard

Wet Location Listed  
EPA Rated

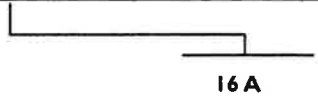
Job:

Type:



www.tmslighting.com

Part # and Ballast	Finishes	Visual Descriptive												
<p><b>Direct Surface Mount</b> - Wet Location 9 Ft Standard Pole - 18' Max Height Aluminum 4.5 OD Pole</p> <p><b>Surface Mount</b></p> <table border="1"> <thead> <tr> <th>PART #</th> <th>Description</th> <th></th> </tr> </thead> <tbody> <tr> <td>16 A</td> <td>INC150w Max</td> <td>120V</td> </tr> <tr> <td>16 C</td> <td>CF42w</td> <td>120 to 277V</td> </tr> <tr> <td>16 E</td> <td>MH100w</td> <td>120/277V (347V)</td> </tr> </tbody> </table>	PART #	Description		16 A	INC150w Max	120V	16 C	CF42w	120 to 277V	16 E	MH100w	120/277V (347V)	<p><b>F05</b> White (Standard) <b>F13</b> Forest Green <b>F15</b> Matte Black <b>F16</b> Gloss Black <b>F21</b> Architectural Bronze <b>F24</b> Melted Platinum <b>F25</b> Melted Gold <b>F26</b> Melted Copper <b>F28</b> Faux Nickel <b>F29</b> Verde <b>CC</b> Custom Color (Consult TMS)</p>	<p><b>COMPACT FLUORESCENT METAL HALIDE</b> Ballast Enclosure and Lamp included</p> <p>Standard Height 9' Ft.</p>
PART #	Description													
16 A	INC150w Max	120V												
16 C	CF42w	120 to 277V												
16 E	MH100w	120/277V (347V)												
<p><b>Burial Mount</b></p> <table border="1"> <thead> <tr> <th>PART #</th> <th>Description</th> <th></th> </tr> </thead> <tbody> <tr> <td>16 J</td> <td>CF42w</td> <td>120 to 277V</td> </tr> <tr> <td>16 L</td> <td>MH100w</td> <td>120/277V (347V)</td> </tr> <tr> <td>16 M</td> <td>INC150w Max</td> <td>120V</td> </tr> </tbody> </table>	PART #	Description		16 J	CF42w	120 to 277V	16 L	MH100w	120/277V (347V)	16 M	INC150w Max	120V		
PART #	Description													
16 J	CF42w	120 to 277V												
16 L	MH100w	120/277V (347V)												
16 M	INC150w Max	120V												



Part Number for Order \_\_\_\_\_

Size and specification subject to change; refer  
All lighting products are UL / CSA wet listed.

**Exhibit I-4**  
Ext. Light Cut-sheets  
PD 05-016 Amendment  
(Winery Row)

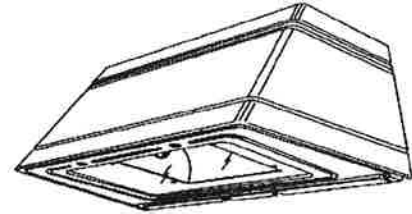
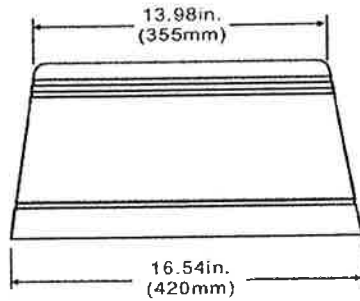
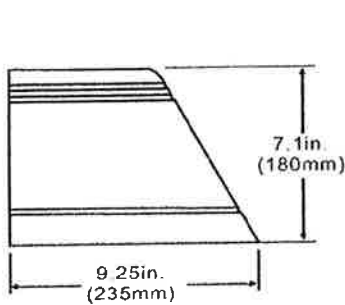
1@  
JS

# POLE 16



# ASM-301 TRAPEZOID WALL MOUNT

**GOOD FOR DARK SKY**



IDEAL FOR PARKING AREAS,  
ENTRANCES, WALKWAYS,  
UNDERPASSES, LOADING DOCKS,  
RECREATION AREAS.

## PRODUCT FEATURES

- \* UL LISTED FOR WET LOCATIONS
- \* HEAVY DUTY DIE-CAST ALUMINUM HOUSING WITH HIGH IMPACT / HEAT RESISTANT BOROSILICATE GLASS FOR ULTIMATE LIGHT DISTRIBUTION
- \* BOROSILICATE GLASS IS HINGED AND REINFORCED
- \* DARK BRONZE COLOR
- \* POWDER COATED FINISH ON THE HOUSING
- \* SILICONE RUBBER INCLUDED TO PREVENT WATER INGRESS
- \* 1/2" TAPPED HOLES AVAILABLE FOR INSTALLING PHOTOCELL (PHOTOCELL OPTIONAL)
- \* ONE PIECE ANODIZED ALUMINUM DESIGNED REFLECTOR FOR BEST LIGHT EFFICIENCY
- \* IDEAL FOR 175MH WATTS, & 150HPS WATTS & 2PL 42W MAX

CATALOG #	RATING	LAMPS	DIMENSIONS
ASM301-MH	1750W MAX (SPECIFY WATTAGE)	METAL HALIDE	16.54" W X 7.1" H X 9.25" D
ASM301-HPS	150W MAX (SPECIFY WATTAGE)	H.P.S	15.8" W X 15.8" H X 7.36" D
ASM301-2PL42	2PL 42W	PL42	15.8" W X 15.8" H X 7.36" D



1435 West 13th Street, Los Angeles, CA 90046 Tel: 310-323-6275 Fax: 310-323-6275

### Exhibit I-5

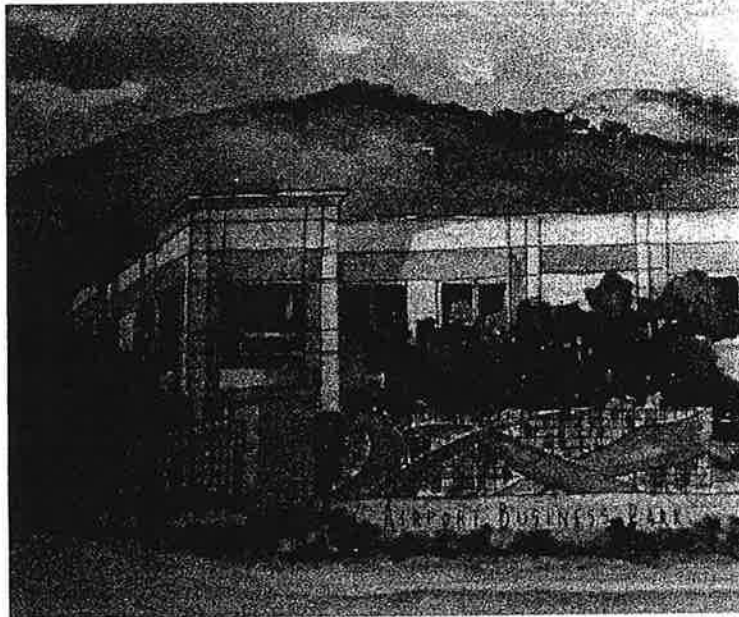
Ext. Light Cut-sheets  
PD 05-016 Amendment  
(Winery Row)

Paso Robles

JUN 23 2009

Planning Division

# ***DEVELOPMENT DESIGN GUIDELINES***



for the

## **AIRPORT BUSINESS PARK**

Paso Robles, California

DATE: January 23, 2006  
Addendum added June 22, 2009

PREPARED BY:

### **McCARTHY ENGINEERING, INC.**

PROJECT MANAGEMENT AND CIVIL ENGINEERING  
737 ORCHARD DRIVE, PASO ROBLES, CALIFORNIA, 93446  
(805)238-9585 (805)237-8556 FAX

#### **Exhibit J**

Development Design Guidelines  
PD 05-016 Amendment  
(Winery Row)



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III. PARKING AND CIRCULATION

IV. LANDSCAPING

V. APPENDIX

**VI. WINEY ROW AMENDMENT.  
(LOTS 2-15)**

## **PURPOSE AND INTENT – OVERVIEW**

The City of Paso Robles has identified various areas within the community for development of business and industrial land uses. The Airport Business Park development is located on Airport Road at Dry Creek road, adjacent to the Paso Robles Airport.

The intent of this document is to provide guidelines for development of the Airport Business Park that keep with the intent of the overall theme for a high-end business park. The elements in this document are also in keeping with the overall physical appearance for the Business Park as envisioned in the Paso Robles General Plan.

These guidelines are intended to support and complement the City's economic development goals and strategy. These guidelines provide advance data to architects and owners for the design elements necessary to develop in a cohesive nature into the overall theme of the Airport Business Park.

The document is setup to provide a set of design principles that can be applied in a flexible and results oriented manner while keeping within a "theme" for the overall development.

The intent of the document is to enhance the quality of the site and architectural design elements and to supplement but not substitute for existing City zoning standards and regulations.

## **General Design Applications**

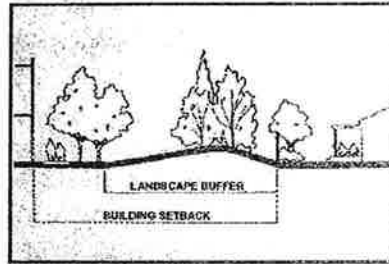
1. The Business Park Design Guidelines (BPDG) consist of two types of criteria: mandatory and recommended. The mandatory criteria are identified by the word “shall” and the recommended criteria are identified with the words “encouraged” or “should”.
2. The mandatory criteria are required elements of the project needed to obtain City approval of the proposed project. Omission or non-compliance with the mandatory criteria shall be cause of denial of the design concept.
3. Recommended criteria are strongly encouraged to be in the design pallet for the overall project, and will be encouraged by the City as elements desired for the project. If the recommended criteria are completely ignored for the majority of elements, this may also be cause for denial of the design concept.
4. These guidelines apply to the development known as the Airport Business Park developed under the subdivision map Tract 2772 in the City of Paso Robles.
5. All new construction, additions of any size visible to the public, all major exterior alterations of a building façade or changes to the roof line or parapet, modifications to parking, loading or mechanical equipment modifications that are visible to the public, shall comply with the applicable design criteria included in the BPDG.

## I. SITE DESIGN

### SETTING

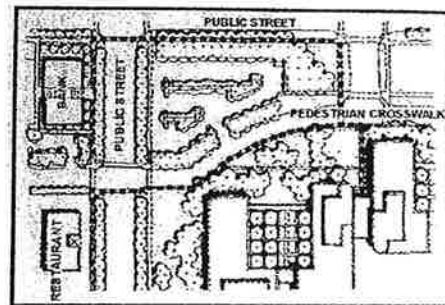
- A1. New lot development shall enhance the character of its surrounding area through quality architecture, landscaping, and appropriate site arrangement.
- A2. New development shall be compatible with its surrounding development in intensity, design, setback, building form, scale, material, color and landscaping.

- A3. Transitions shall be developed between projects with different uses and intensities on adjacent parcels to provide an effective “campus” feel. Transitions may be created through appropriate building setbacks, height and landscape buffers.



- A4. In multi-building complexes, a distinct visual link shall be established among various buildings by using site design elements such as courtyards, plazas, landscaping, and walkways to unify the project.
- A5. Project perimeter landscaping shall be integrated with the landscaping of adjacent development for streetscape continuity.
- A6. Sidewalks shall be integrated into the existing frontage improvements and landscaping to maintain street continuity. Use of meandering sidewalks is encouraged.

- A7. Natural features on a site such as mature trees, creeks, views, etc. should be preserved and incorporated into the site design of the project.



- A8. Project sites should have convenient and safe pedestrian access to adjacent streets. On-site walkways should be linked to the public sidewalk system outside the project for ease of pedestrian access.

## SITE ORGANIZATION

- B1. Site components such as structures, parking, driveways, and outdoor functions shall be arranged and located to emphasize the aesthetically pleasant components of the site such as natural drainage ways or views or superior architectural features. In a like manner less attractive scenes such as service areas, equipment areas and trash areas shall be disguised through placement and design of the structures and landscaping.
- B2. Location of noise and odor generating functions on the site shall not create a nuisance for the adjacent properties.
- B3. The on-site walkways shall link public outdoor areas with adjacent buildings. Use of textured concrete, paving, and brick or paver materials is encouraged along with a strong landscape emphasis.

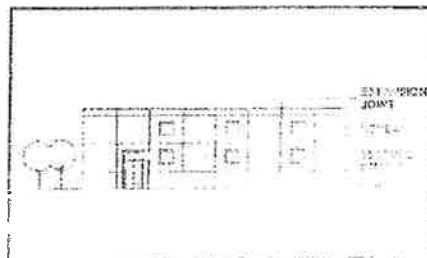
## OPEN SPACE

- C1. Every project site shall be designated for maximum utility of open space for ventilation, sunlight, recreation and views for both new and existing buildings.
- C2. Incorporating benches, artwork landscaping, water and hardscape features into site open space areas is encouraged.
- C3. Airport Zones 1 and 2 are limited to open space and vehicle parking per the FAA requirements and the City adopted Airport Regulations. These zones are delineated on the Official tract map for the Business Park.

## ***II. BUILDING AND ARCHITECTURAL DESIGN***

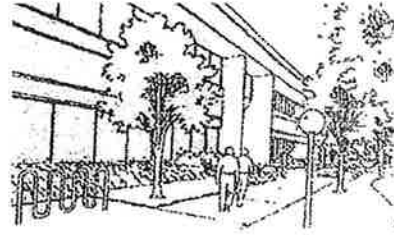
### SCALE AND CHARACTER

- A1. Professional Office buildings shall have the highest quality architecture and be oriented towards the street or interior courtyard.
- A2. Adjacent buildings on the same or separate parcels shall be compatible in height and scale. If different scale is required for



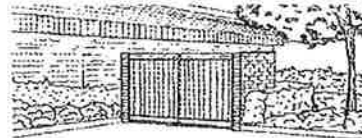
functional reasons, adequate transition shall be provided between buildings.

- A3. Front facades of large buildings visible from a public street shall include architectural features such as reveals, windows and openings, expansion joints, changes in color, texture, and material to add interest to the building elevation.
- A4. New buildings shall maintain individuality in style while keeping with the aesthetic character of the development.
- A5. In multi-building complexes, a comprehensive architectural concept shall be developed and maintained. Various site components shall be unified through the use of similar design, materials and color.
- A6. Buildings shall have façade articulation which may consist of changes in the wall plane, use of openings and projections, and material and color variations.
- A7. Exterior articulation such as change in color, material, or plane shall also be a part of the overall design concept, as well as energy efficiency in siting of building orientation.
- A8. Additional building setbacks with dense landscaping screening may also be used to screen buildings with less architecturally interesting facades where necessity dictates a more box-like form.
- A9. Main entrances to the buildings shall be well defined. Public entrances and primary building elevations should face public streets where possible.
- A10. New building shall have at least one major focal point with minor focal points. Focal points can be achieved through horizontal and vertical lines, change in material, change in color, change in the form and shape of a portion of the building, etc.
- A11. Service doors shall be recessed and integrated into the overall design of the building.



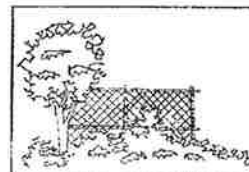
## ACCESSORY UTILITY BUILDINGS AND TRASH ENCLOSURES

- B1. The design of accessory buildings shall be incorporated into and be compatible in design concept with the overall design of the project and the main buildings on the site.
- B2. Accessory buildings shall be located outside the front setback areas, defined as the area between the main building and the public right of way.
- B3. Temporary buildings and/or portable structures and trailers are not permitted except during site construction and must be removed as soon as construction is completed.
- B4. Trash enclosures shall be located so they are not visible from public rights of way and are easily accessible by collection trucks.
- B5. The design of the trash enclosures shall be compatible with the design of the main buildings on the site.



## FENCES AND WALLS

- C1. Fencing shall be other than chain link and shall have decorative qualities.
- C2. Fencing shall not be located within the front setback area of the building.



## ROOF

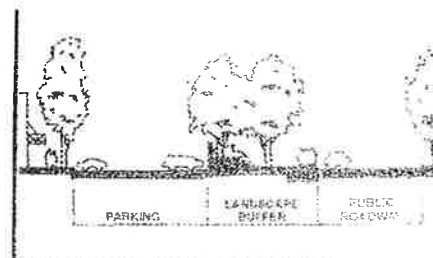
- D1. Long horizontal roof lines should be broken up by providing articulations in the façade of the building, changes in the height portions of the roofs, or change in color, material, forms, etc. Exceptions may be permitted only where a specific architectural style offers other types of roof forms and roof articulation.
- D2. Roofs shall be an integral part of the building design. Proposed parapets and roof screens shall be integrated into the roof design. The material and color of the roof screens shall appear identical to those in the roof or building.
- D3. Due to the proximity of the Paso Robles Airport, reflective materials, equipment or structures on or near the roof are prohibited.

## MATERIAL AND COLOR

- E1. A material and color scheme has been developed for the project. Material and color variations in multi-building complexes shall be complementary and compatible among structures. Design shall be “hard edge” upscale business park with liberal use of concrete, stucco, glass and accent trims. Colors shall be kept in the neutral grays and beiges with colored accent areas.
- E2. No metal sided buildings of any type are allowed.
- E3. Large expanses of smooth material such as concrete shall be broken up with expansion joints, reveals, or changes in texture and color.
- E4. Large expanses of highly reflective surface and mirror glass exterior walls shall not be permitted.
- E5. Bright, contrasting colors shall be used for trim and accent areas only.
- E6. Material and colors for wall and ground signs shall be compatible with the buildings on the site.

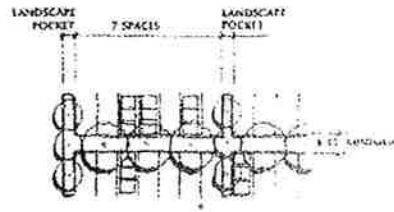
## III. PARKING AND CIRCULATION

- A1. To avoid large expanses of paved areas and to provide easy accessibility to buildings, large parking lots should be divided into smaller parking areas and dispersed around the site where possible.
- A2. Where large parking lots are needed, adequate landscaped pockets shall be integrated into the parking areas.
- A3. Pedestrian and automobile traffic paths shall be separated and conflict areas should be minimized.
- A4. Landscape buffers shall always be provided between parking lots and public streets, and parking areas and buildings.
- A5. Bicycle lockers and/or racks shall be located near building entrances.
- A6. Security kiosks and gates shall be located to allow queuing for at least 3 cars.
- A7. Whenever security gates are provided, sufficient parking should be provided outside the gate area for visitors.



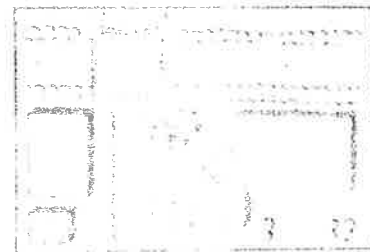


- A8. Shared driveway access between adjacent properties is encouraged.
- A9. Parking lots shall have adequate directional signs for visitors, delivery vehicles and employees.



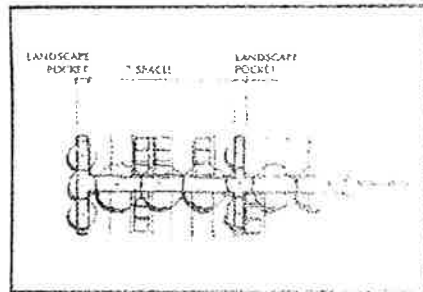
#### ***IV. LANDSCAPING***

- A1. Landscaping design shall follow an overall concept and shall link various site components together.
- A2. All areas not in use by structures, driveways, and parking spaces shall be properly landscaped.
- A3. Landscaping shall consist of live plant materials. Rock and gravel may be incorporated into the landscaping to enhance the design but shall not replace live material.
- A4. Landscape materials shall adhere to the City's water wise standards.
- A5. Walls and fences shall be integrated into landscape design.
- A6. Any site furniture, fixtures and light fixtures must be incorporated into the design landscaping and follow the same design concept as the major structures on the site.
- A7. Future phases of a site already cleared and graded shall be adequately treated ( hydro- seeded) to prevent erosion.
- A8. Sites adjacent to creeks and waterways, shall give special attention to landscape, fence, and wall design in order to enhance natural features and minimize development impacts.
- A9. A minimum 5 foot landscape strip shall be provided along all public street frontages of projects.
- A10. A minimum of 5 foot wide landscape strips shall be provided along the sides and rear property lines.
- A11. A combination of trees, shrubs and ground cover shall be used between the buildings and public right of way. Drought tolerant ground

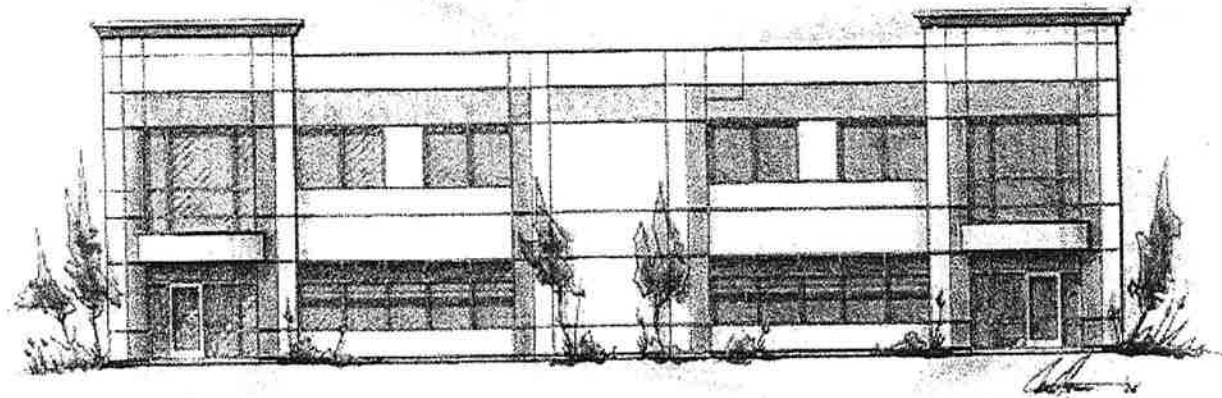


covers are highly encouraged in lieu of grass. Annuals and other non-draught tolerant plant material shall be used minimally and shall be used in high visibility areas.

- A12. Street trees shall be combined with on-site trees to create a double row of trees.
- A13. Liberal use of landscape berms shall be used whenever possible in the street frontage area of the site.
- A14. Landscape should be integrated with hardscape such as textured pavings, water features, trellises and walkways or art work to enhance the overall design of the site.
- A15. When parking lots are adjacent to public right of way, parking shall be screened by combining berms, shrubs and trees.
- A16. When landscape areas are provided between parking spaces facing each other, a minimum width of island shall be 6 feet. Landscape pockets shall be provided for every 7 parking spaces and at the end of each row of parking spaces.
- A17. When tree wells are provided, they shall be a minimum size of 5 feet square.
- A18. Buildings shall be separated from parking areas by landscaping and walkways.
- A19. All parking and landscape areas shall be separated by a 6 inch wide, poured in place, concrete curb.
- A20. Different color or textured material shall be used to define primary pedestrian access ways on site.
- A21. Lighting shall be of a type that is a "shielded" lighting type for both buildings and parking lot areas. Standard for the development is the KAD soft square lens cutoff" light with a dark bronze finish and square pole by Lithonia Lighting (see appendix for details)







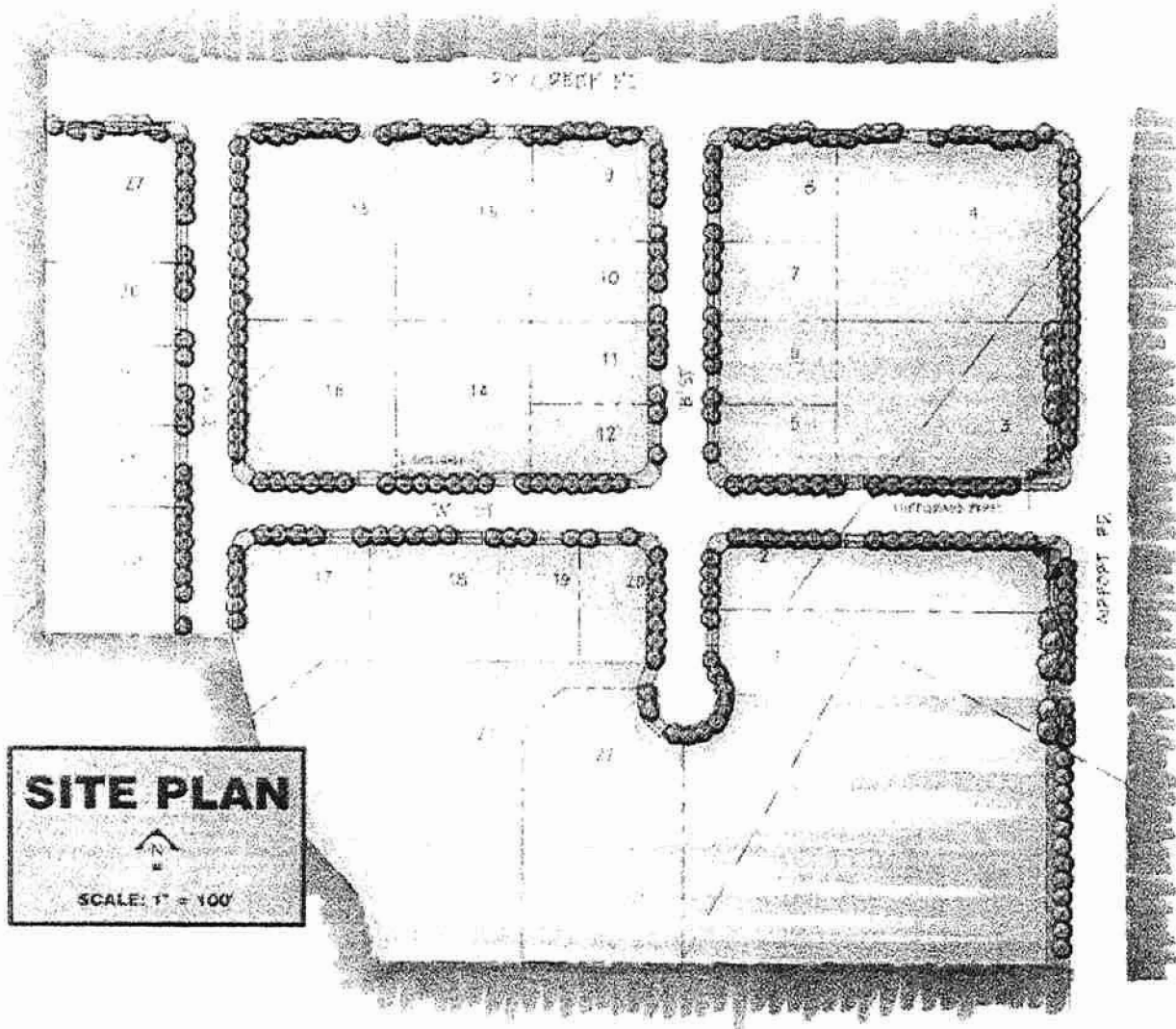
## V. APPENDIX



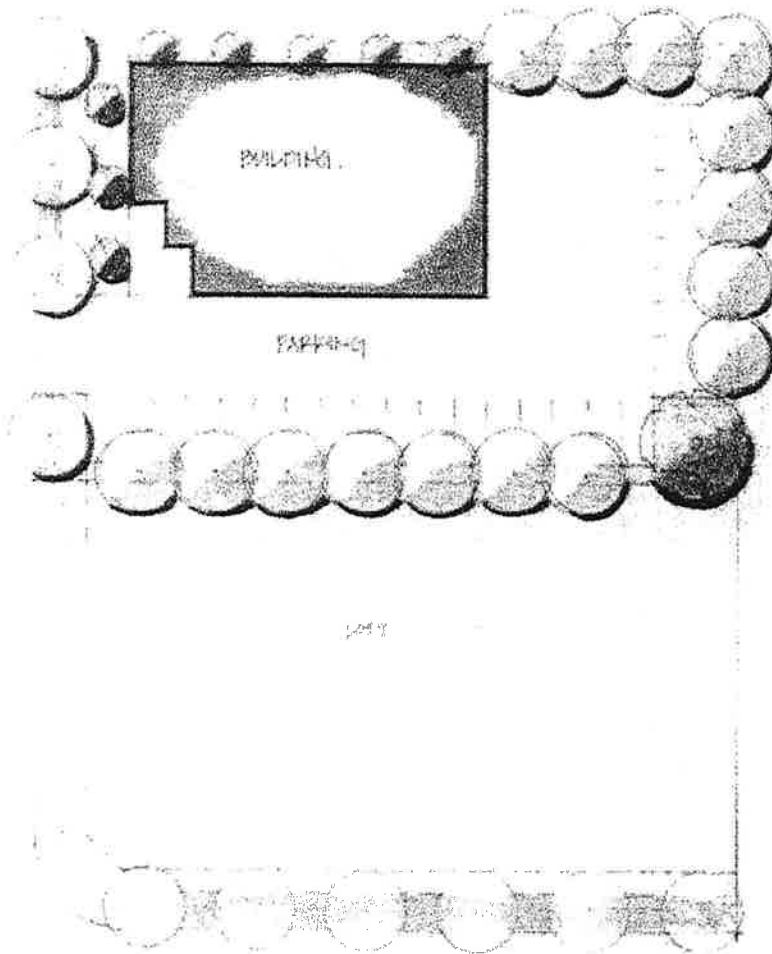
### ***Typical Proposed Building Elevation***

#### **Color Schedule - Elevations**

<i>Trim</i>	<i>Accent</i>	<i>Main</i>
		
		
		



# Lot # 6 Detail



## Plant List

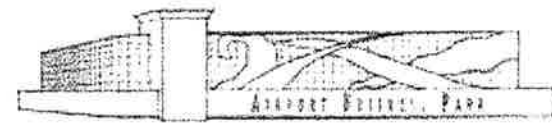
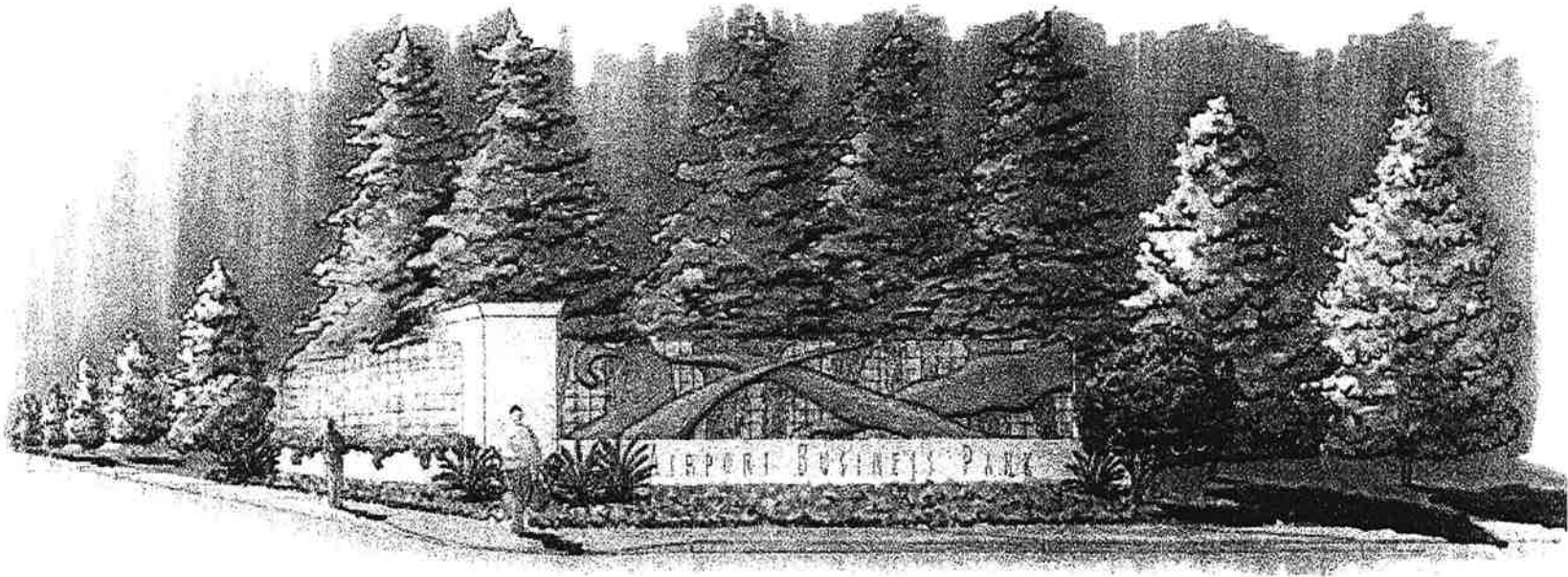
### Trees

Botanical Name	Common Name
<i>Arbutus menziesii</i>	Madrone
<i>Cedrus deodara</i>	Deodar Cedar
<i>Fraxinus angustifolia</i> 'Raywood'	Raywood Ash
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Pistacia chinensis</i>	Chinese Pistache
<i>Platanus acerifolia</i> 'Bloodgood'	London Plane Tree
<i>Pyrus calleryana</i>	Fruitless Pear
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Quercus lobata</i>	White Oak

### Shrubs

Botanical Name	Common Name
<i>Arctostaphylos densiflora</i> 'Howard McMinn'	McMinn's manzanita
<i>Arctostaphylos emerald carpet</i>	Emerald Carpet manzanita
<i>Baccharis pilularis</i> (twin peaks)	Dwarf Coyote Bush
<i>Carpenteria californica</i>	Bush Anemone
<i>Ceanothus cuneata</i>	Wild Lilac
<i>Ceanothus griseus horizontalis</i> 'Carmel Creeper'	Carmel Creeper
<i>Hemerocallis</i>	Day-lily
<i>Heteromeles arbutifolia</i>	Toyon
<i>Heuchera</i>	Coral Bells
<i>Penstemon</i>	Beardtongue
<i>Rhamnus californica</i>	California Collesberry
<i>Ribes speciosum</i>	Current
<i>Rosmarinus officinalis</i> 'Collingwood Ingram'	Rosemary

# Airport Road Entrance





HOME COMPANY PRODUCTS RESOURCES SALES INFO TRAINING LIGHT\*LINK CONTACT  SEARCH >

OUTDOOR LIGHTING

Expand All Folders

AREA LIGHTING

- Architectural
- Dusk-to-Dawn Security Area Lighting
- General Purpose
  - KAD: Contour Soft Square, Drop or Flat Lens Cutoff
  - KADT: Contour® Soft Square Suspend, Drop or Flat Lens Cutoff
  - KAC: Contour Soft Square, Drop or Flat Lens Cutoff
  - KC: Contour Die Cast Cutoff with Pole
  - KT: Low Pressure Sodium Cutoff
  - KVS: Square Cutoff
  - KAR: Centriform Cutoff
  - KQS: Open Square Post-Top Cutoff

Security

BUILDING-MOUNTED

- Architectural Wall Packs
- Cast Micro Wall Packs, Polycarbonate Refractor
- Cast Wall Packs, Polycarbonate Refractor
- Cutoff Mini Wall Packs, Polycarbonate Refractor - Contour Series
- Decorative Wall Packs
- Die-Cast Wall Packs, Glass Refractor
- Mini Wall Packs, Polycarbonate Refractor - Contour Series
- Polycarbonate Wall Packs

FLOODLIGHTING

- Architectural
- General Purpose
- Hazardous
- High-Performance
- Large Floodlight - Contour Series
- Medium Floodlight - Contour Series
- Micro Floodlight
- Mini Floodlight - Contour Series
- Motion Sensors
- Quartz Floodlight

PARKING GARAGE-CANOPY

- Canopy
- Parking Garage

# KAD: CONTOUR SOFT SQUARE, DROP OR FLAT LENS CUTOFF

(NO EXPOSED LENS)

Product Catalog > Lithonia Lighting > Outdoor Lighting > Area Lighting > KAD

**Intended Use:** For parking areas, street lighting, walkways and car lots.

**Features:** Housing – Rugged, die-cast, soft-corner aluminum housing with 0.12" nominal wall thickness. Extruded 4" soft corner arm for pole or wall mounting is standard.

**Door Frame –** KAD die-cast door frame has impact-resistant, tempered glass lens which is fully gasketed with one-piece bonded tubular silicone. KAC die-cast aluminum door frame has prismatic, impact-resistant, tempered glass, drop dish acrylic lens or drop dish polycarbonate lens. Door frame is fully gasketed with one-piece tubular silicone.

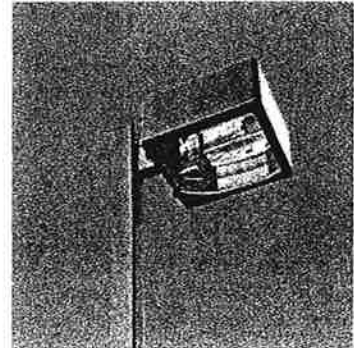
**Optics –** KAD reflectors are anodized hydroformed and segmented aluminum. Four cutoff distributions available: R2 (Roadway), R3 (Asymmetric), R4 (Forward Throw) and R5 (Symmetric). Segmented reflectors are rotatable and field-interchangeable. KAC reflector is optical-quality aluminum that works in tandem with a light-diffusing prismatic lens.

**Electrical –** Ballast is high-reactance, high power factor (70-150W HPS, 100M & 150M) or high power factor constant-wattage autotransformer (175-400W MH & HPS). Ballast is copper wound and 100% factory tested.

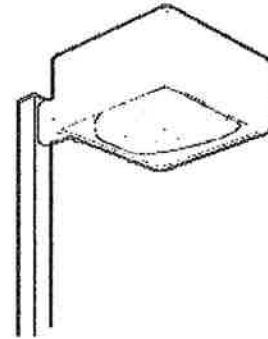
**Finish –** Dark bronze (DDB) corrosion-resistant polyester powder finish (DDB), with other architectural colors available.

**Socket –** Porcelain, horizontally (position) oriented mogul-base socket (100M & 150M are medium-base) with copper alloy, nickel-plated screw shell and center contact. UL listed 1500W-600V. 4KV pulse rated.

**Listings:** Listings – UL Listed (standard). CSA Certified or NOM Certified (with option suffix). UL listed for wet locations. IP65 certified.



Additional Images



Product Catalog Page

Specification Sheets

Photometric Data

Questions about this product?



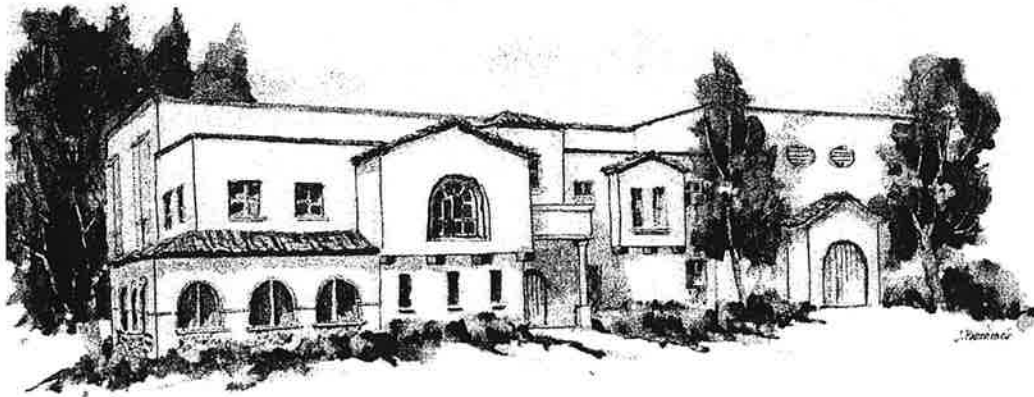
**SECTION VI.**

Paso Robles

JUN 23 2009

Planning Division

**DEVELOPMENT DESIGN  
GUIDELINES**



**WINERY ROW** *Paso*

Dry Creek Road  
Paso Robles, California

JUNE 22, 2009

PREPARED BY:

**LARRY GABRIEL, ARCHITECT**

362 EL CAMINITO ROAD  
CARMEL VALLEY, CA 93924  
831-659-0525  
LG@LARRYGABRIEL.COM

**NOTE: DEVELOPMENT OF LOTS 2-15 SHALL COMPLY WITH THE ORIGINAL GUIDELINES EXCEPT FOR GUIDELINES WITHIN THIS SECTION FOR WINERY ROW.**

## ***II.1 BUILDING AND ARCHITECTURAL DESIGN***

### ***For DRY CREEK ROAD – LOTS 2 – 15***

The lots facing Dry Creek Road are to be developed as Winery Facilities consisting of a Crush Area, a Tasting Room, a Barrel Storage Area, and required support areas. Each lot shall be developed to reflect specific architectural styles and incorporate material to distinguish these features.

#### **SCALE AND CHARACTER**

Design for each building shall be of classical architectural styles incorporating various design features, roof lines, and window treatments to reflect the specific design style.

#### **ACCESSORY UTILITY BUILDINGS AND TRASH ENCLOSURES**

- B1. The design of the trash enclosures shall be compatible with the design of the main buildings on the site, and shall be of cement plaster faced block or equivalent masonry construction with a solid steel gate.

#### **FENCES AND WALLS**

- C1. Fencing facing the street shall be designed to incorporate decorative qualities to reflect the style of the architectural style of the building. The fencing shall have a cement plaster finish.
- C2. Rear fencing should be solid non-wood material or small grid (+/- 1" square) chain link with a vinyl colored coating.

#### **ROOF**

The roof line shall reflect the architectural style of each lot.

- D1. The material and color of the roof shall be in keeping with the proposed architectural styles and can include:
- Built-up asphalt roofing
  - Single ply "cool" roof
  - Metal panel roofing, flat panel or arched panels
  - Clay, concrete flat or mission style roof
  - Architectural grade Asphalt shingles

## MATERIAL AND COLOR

- E1. Design shall be of classical architectural styles incorporating various design features, roof lines, and window treatments to reflect the specific design style. Material and color variations in multi-building complexes shall be complementary and compatible among structures.
- E2. Materials and colors shall be in keeping with the specific architectural style and may incorporate colored accent areas and or materials.
- E.3 Materials shall be in keeping with the developed architectural styles and shall be allowed to incorporate:
- Cement Plaster with smooth and textured finishes
  - Masonry and stone veneer
  - Metal panels as accents and design features
  - Wood (wood-like) siding of Board & Batt and shingles
  - Heavy wood corbels and trims
- E4. Street front site signs are to be consistent in size and materials for each lot 2 -15.

## ***III. PARKING AND CIRCULATION***

No additional sections added.

## ***IV. LANDSCAPING***

- A1. The landscape design approach for the Lots facing Dry Creek Road shall incorporate specific unifying materials to reflect the “Winery Row” image. The specific unifying materials needed to reflect the “Winery” image shall be grape vines, ground cover and specific species of trees. The adjoining landscape areas between each lot shall also incorporate specific unifying landscape. Each lot will be allowed to incorporate a specific landscape language to reflect the specific architectural style of the buildings.