

RESOLUTION NO.: 09-012

A RESOLUTION OF
THE PLANNING COMMISSION OF THE CITY OF PASO ROBLES
RECOMMENDING THAT THE CITY COUNCIL APPROVE
GENERAL PLAN AMENDMENT 09-001, REZONE 09-001, PD 08-001, CUP 08-001
AND LOT LINE ADJUSTMENT 07-0293
NORTH END OF GOLDEN HILL ROAD, APN 025-435-005, 006 and 007
APPLICANT – PASO 160, LLC – MCCURDY
PASO ROBLES MOTORCOACH RESORT

WHEREAS, the Paso Robles Motorcoach Project consists of General Plan Amendment 09-001, Rezone 09-001, Planned Development 08-001, Conditional Use Permit 08-001 and Lot Line Adjustment 07-093; and

WHEREAS, the project has been filed by North Coast Engineering on behalf of Paso 160, LLC to construct a 332 space RV resort on the 160 acre site located at the northern terminus of Golden Hill Road, North of Highway 46 East; and

WHEREAS, the 160 acre site is currently comprised of three parcels, the applicants are proposing to reconfigure the three parcels via Lot Line Adjustment 07-093, where Parcel 1 would be 58.8 acres, Parcel 2 would be 68.6 acres and Parcel 3 would be 21.4 acres; and

WHEREAS, General Plan Amendment 09-001 and Rezone 09-001 propose the following changes:

- **Parcels 1:** change the zoning designation from Residential Agriculture (RA) to Agriculture (AG) and retain the current AG land use designation;
- **Parcel 2:** amend the land use designation from Agriculture (AG) to Parks & Open Space (POS) and change the zoning designation from Residential Agriculture (RA) to Parks & Open Space (POS);
- **Parcels 3:** change the zoning designation from Residential Agriculture (RA) to Agriculture with a Planned Development Overlay (AG-PD) and retain the current AG land use designation;

WHEREAS, Planned Development 08-001 & Conditional Use Permit 08-001 proposes the following:

- **Parcel 1:** this parcel would be dedicated to the City for public use as Open Space;
- **Parcel 2:** establish the 332-space Paso Robles Motorcoach Resort;
- **Parcel 3:** use PD Overlay district to limit future uses to agricultural related uses such as winery, wine tasting and vineyards;

WHEREAS, pursuant to the Statutes and Guidelines of the California Environmental Quality Act (CEQA), and the City's Procedures for Implementing CEQA, an Initial Study was prepared and circulated for public review and comment; and

WHEREAS, the Planning Commission held a duly noticed public hearing on February 24, 2009 on this project to accept public testimony on GPA 09-001, RZ 09-001, PD 08-001, CUP 08-001 and LLA 07-093 and associated environmental review; and

WHEREAS, the Planning Commission recommended that the City Council approve GPA 09-001, RZ 09-001, PD 08-001, CUP 08-001 and LLA 07-093; and

WHEREAS, based on the information and analysis contained in the Initial Study, the Planning Commission recommends that the City Council make a determination that the proposed project will not result in significant environmental impacts and it is appropriate for the City Council to adopt a Mitigated Negative Declaration; and

WHEREAS, based upon the facts and analysis presented in the staff report and the attachments thereto, the public testimony received, and subject to the Conditions of Approval listed below, the Planning Commission makes the following findings:

1. The Paso Robles Motorcoach Resort is consistent with the adopted codes, policies, standards and plans of the City; since the project has gone through the development review process including, environmental review and the processing of a Conditional Use Permit as required by Table 21.16.200 for Recreational Parks in the Parks and Open Space zoning districts; and
2. The Paso Robles Motorcoach Resort will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the residents and or businesses in the surrounding area, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City; since the project will be required to comply with the recommended conditions of approval, including any environmental mitigation measures, and comply with any building and fire codes; and
3. The Paso Robles Motorcoach Resort accommodates the aesthetic quality of the City as a whole, especially where development will be visible from the gateways to the City, scenic corridors and the public right-of-way; in this particular case, the project site is not located in a City gateway area or a scenic corridor and has minimal frontage to the public street, however, based on the project being designed to fit the subject site and based on the site plan, architecture and landscaping, the proposed development will accommodate the aesthetic quality of the City as a whole; and
4. The Paso Robles Motorcoach Resort is compatible with, and is not detrimental to, surrounding land uses and improvements, provides an appropriate visual appearance, and contributes to the mitigation of any environmental and social impacts, because the project has been designed to allow for significant buffers, including setbacks, screen walls and landscaping from the residential neighborhoods to the west and additionally as a result of the site planning, building architecture and environmental mitigation.
5. The Paso Robles Motorcoach Resort is compatible with existing scenic and environmental resources such as hillsides, oak trees, vistas, etc. as a result of the project being designed to limit the amount of grading and oak tree impacts by developing in the flatter areas of the site, which allows for the preservation of the existing hillsides and oak trees; and

6. The Paso Robles Motorcoach Resort contributes to the orderly development of the City as a whole, since the project will utilize the existing infrastructure in Golden Hill Road, consisting of sewer water and other utilities; and
7. The Paso Robles Motorcoach Resort as conditioned would meet the intent of the General Plan and Zoning Ordinance by providing a hotel/resort type use in close proximity to golf courses and commercial recreation.
8. The Paso Robles Motorcoach Resort would be consistent with the Economic Strategy, since it would allow for the expansion and diversification of hotel-projects, by providing an end-destination full-service resort.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission recommends that the City Council of the City of El Paso de Robles approve GPA 09-001, RZ 09-001, PD 08-001, CUP 08-001 and LLA 07-093, subject to the following conditions:

PLANNING:

1. To the extent allowable by law, Owner agrees to hold City harmless from costs and expenses, including attorney's fees, incurred by City or held to be the liability of City in connection with City's defense of its actions in any proceeding brought in any State or Federal court challenging the City's actions with respect to the project. Owner understands and acknowledges that City is under no obligation to defend any legal actions challenging the City's actions with respect to the project.
2. Lot Line Adjustment 07-093 allows the reconfiguration of the existing parcels as shown on Exhibit C, where Parcel 1 would be 58.8 acres, Parcel 2 would be 68.6 acres and Parcel 3 would be 21.4 acres.
3. General Plan Amendment 09-001 and Rezone 09-001 would allow the following changes:
 - **Parcels 1:** change the zoning designation from Residential Agriculture (RA) to Agriculture (AG) and retain the current AG land use designation;
 - **Parcel 2:** amend the land use designation from Agriculture (AG) to Parks & Open Space (POS) and change the zoning designation from Residential Agriculture (RA) to Parks & Open Space (POS);
 - **Parcels 3:** change the zoning designation from Residential Agriculture (RA) to Agriculture with a Planned Development Overlay (AG-PD) and retain the current AG land use designation.
4. Planned Development 08-001 & Conditional Use Permit 08-001 would allow the following:
 - **Parcel 1:** dedicate to the City for public use as Open Space;
 - **Parcel 2:** establish the 332-space Paso Robles Motorcoach Resort;

- **Parcel 3:** limit future uses to agricultural related uses such as winery, wine tasting and vineyards;

5. The project shall be constructed in substantial conformance with the Conditions of Approval established by this Resolution and it shall be constructed in substantial conformance with the following Exhibits:

EXHIBIT	DESCRIPTION
A	Standard Conditions
B	Cover Sheet
C	Tentative Lot Line Adjustment
D	Site Plan
E	Phasing Plan
F1-F3	Prelim. Grading/Drainage
G	Grading Concepts
H	Creek Restoration Area
I	Underground Plan
J1-J2	Site Cross Sections
K	Details
L1-L4	Golden Hill Road
M1-M3	Registration Building Details
N1-N3	Pool House Details
O1-O3	Clubhouse Details
P1-P2	Guardhouse Details
Q1-Q2	Misc. Items
R	Outdoor Lighting
S1-S10	Landscape Plans

6. Prior to the issuance of a building permit, staff shall review the following items to insure substantial compliance with the above listed Exhibits:

- a. final site details such as landscaping, decorative paving, benches, exterior lighting and any other site planning details;
- b. Architectural elevations, including final materials, colors and details;
- c. Equipment such as back flow devices, transformers, a/c condensers and appropriate screening methods for both visual and noise. Back flow should not be visible from Golden Hill Road;
- d. Final grading and drainage plans.
- e. signage

7. The project is proposed to be developed in 7 phases (see Exhibit E). In the event that the applicant wishes to change the phasing order, after verification by the City Engineer that there are no concerns, the DRC can approve the phasing change request.

8. Prior to the issuance of a grading permit, the applicants will need to provide an Oak Tree Replacement plan that indicates the location and timing of the planting of the required oak tree replacement trees.

9. Landscape screening shall be reviewed by Planning Staff after two years from the time of installation to insure that landscaping is in good condition and being maintained in an acceptable manner.
10. In the event if in the future there is request to add additional impervious concrete or asphalt to the project, the request will need to be approved by both the Engineering and Planning Divisions to insure the addition of the impervious surface is consistent with the Low Impact Development plan for this project.
11. Prior to or in conjunction with the recordation of LLA 07-093, an Agriculture Conservation Easement shall be placed on Parcel 3. The easement may indicate the intent of future uses to be winery related such as, a wine production facility, vineyards, wine tasting room, and combination of those uses. The proposal for the development of Parcel 3 will need to go through the development plan (PD) process through the Planning Commission.

ENVIRONMENTAL MITIGATION MEASURES

12. All environmental mitigation measures shall be completed as described in the attached Mitigation Summary (Attachment B).

ENGINEERING:

13. Low impact development best management practices shall be incorporated into the project grading plans in accordance with City standards at the time of permitting.
14. The project will be subject to traffic impact and other development impact fees in effect at the time of occupancy of the project. Traffic mitigation will include the deposit of \$1,600,000 towards construction of a bridge over the Huer Huero proportionally applied to the incremental development of the project. When transportation impact fees are updated by council action, the final fee obligation shall be equal to that defined by the new fee structure.
- 15 a. Golden Hill Road shall be constructed in general conformance to the preliminary plans, plans approved by the City Engineer, and in accordance with the phasing plan proposed. The section of Golden Hill Road extending to the project entrance shall be constructed prior to occupancy of the first phase.
 - b. At the time of occupancy of Phase I, the applicant shall enter into an agreement to construct Golden Hill Road from Phase I to the Huer Huero bridge in accordance with the phasing plan. The agreement will provide that the City may, at the discretion of the City, accept a cash deposit, in lieu of construction, based upon a construction cost estimate approved by the City Engineer.
 - c. In consideration of an off-setting cash deposit, the City may limit the construction of Golden Hill Road, from Phase I to the secondary point of access, to standards approved by Emergency Services at the time of development of Phase 4.
 - d. In consideration of an off-setting cash deposit, the City may defer the construction of Golden Hill Road from the secondary access to the Huer Huero bridge to the time of construction of the bridge.

16. A 12-inch water main shall be extended in Golden Hill Road in accordance with plans approved by the City Engineer and in accordance with the phasing plan proposed.

17. Prior to development of phases 5, 6, 7 and 8, the applicant shall provide a floodplain study prepared by a civil engineer demonstrating compliance with the City's floodplain ordinance.

EMERGENCY SERVICES

18. Prior to the start of construction, documentation shall be submitted to Emergency Services showing that required fire flows can be provided to meet all project demands.

19. Provide fire hydrants at not greater than five hundred (500) foot intervals.

20. Provide central station monitored fire sprinkler system for all buildings greater than five thousand (5,000) square feet.

21. Provide fire department connection to the fire sprinkler system on the address side of the building for all buildings with fire sprinklers.

22. Provide exterior fire alarm enunciator panel in weather proof enclosure on the address side of the building for all buildings with fire sprinklers.

23. Provide Knox Box fire department rapid entry device on address side of the building for all buildings that will be accessed by the public and/or that have fire sprinkler systems.

PASSED AND ADOPTED THIS 24th day of February, 2009 by the following Roll Call Vote:

AYES: Nemeth, Holstine, Garcia, Gregory

NOES: Johnson

ABSENT: Peterson

ABSTAIN: Treach



RON JOHNSON, ACTING CHAIRMAN

ATTEST:



RON WHISENAND, PLANNING COMMISSION SECRETARY

EXHIBIT A OF RESOLUTION 09-012

**CITY OF EL PASO DE ROBLES STANDARD DEVELOPMENT CONDITIONS
FOR PLANNED DEVELOPMENTS / CONDITIONAL USE PERMITS**

PROJECT #: PD 08-001 et al

APPROVING BODY: PLANNING COMMISSION

DATE OF APPROVAL: FEBRUARY 24, 2009

APPLICANT: PR MOTORCOACH

LOCATION: NORTH END OF GOLDEN HILL ROAD

The following conditions that have been checked are standard conditions of approval for the above referenced project. The checked conditions shall be complied with in their entirety before the project can be finalized, unless otherwise specifically indicated. In addition, there may be site specific conditions of approval that apply to this project in the resolution.

COMMUNITY DEVELOPMENT DEPARTMENT - The applicant shall contact the Community Development Department, (805) 237-3970, for compliance with the following conditions:

A. GENERAL CONDITIONS:

- 1. This project approval shall expire on February 24, 2012 (See Planned Development Approval Resolution) unless a time extension request is filed with the Community Development Department prior to expiration.
- 2. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Planned Development process shall not waive compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
- 3. Prior to occupancy, all conditions of approval shall be completed to the satisfaction of the City Engineer and Community Developer Director or his designee.
- 4. Any site specific condition imposed by the Planning Commission in approving this project may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the approval of this project. No such modification shall be made unless the Commission finds that such modification is necessary to protect the

public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use for this approval.

- 5. This project is subject to the California Environmental Quality Act (CEQA) which requires the applicant submit a \$_____.00 filing fee for the Notice of Determination payable to "County of San Luis Obispo". The fee should be submitted to the Community Development Department within 24 hours of project approval which is then forwarded to the San Luis Obispo County Clerk. Please note that the project may be subject to court challenge unless the required fee is paid.
- 6. The site shall be kept in a neat manner at all times and the landscaping shall be continuously maintained in a healthy and thriving condition.
- 7. All signs shall be subject to review and approval as required by Municipal Code Section 21.19 and shall require a separate application and approval prior to installation of any sign.
- 8. All outdoor storage shall be screened from public view by landscaping and walls or fences per Section 21.21.110 of the Municipal Code.
- 9. All trash enclosures shall be constructed of decorative masonry block compatible with the main buildings. Gates shall be view obscuring and constructed of durable materials such as painted metal or chain link with plastic slatting.
- 10. All existing and/or new ground-mounted appurtenances such as air-conditioning condensers, electrical transformers, backflow devices etc., shall be screened from public view through the use of decorative walls and/or landscaping subject to approval by the Community Development Director or his designee. Details shall be included in the building plans.
- 11. All existing and/or new roof appurtenances such as air-conditioning units, grease hoods, etc. shall be screened from public view. The screening shall be architecturally integrated with the building design and constructed of compatible materials to the satisfaction of the Community Development Director or his designee. Details shall be included in the building plans.
- 12. All existing and/or new lighting shall be shielded so as to be directed downward in such a manner as to not create off-site glare or adversely impact adjacent properties. The style, location and height of the lighting fixtures shall be submitted with the building plans and shall be subject to approval by the Community Development Director or his designee.

- 13. All existing and/or new landscaping shall be installed with automatic irrigation systems.
- 14. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 15. The following areas shall be placed in the Landscape and Lighting District:

The developer shall install all improvements and landscape areas. City acceptance on behalf of the Landscape and Lighting District shall be subject to the approval of the Public Works Street Department (237-3864).

- 16. All parking lot landscape planters shall have a minimum outside dimension of six feet and shall be separated from parking and driving areas by a six inch high solid concrete curb.
- 17. The following areas shall be permanently maintained by the property owner, Homeowners' Association, or other means acceptable to the City:

- 18. It is the property owner's responsibility to insure that all construction of private property improvements occur on private property. It is the owner's responsibility to identify the property lines and insure compliance by the owner's agents.

B. THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF BUILDING PERMITS:

- 1. Two sets of the revised Planning Commission approved plans incorporating all Conditions of Approval, standard and site specific, shall be submitted to the Community Development Department prior to the issuance of building permits.

- 2. Prior to the issuance of building permits, the
 - Development Review Committee shall approve the following:
 - Planning Division Staff shall approve the following:
 - a. A detailed site plan indicating the location of all structures, parking layout, outdoor storage areas, walls, fences and trash enclosures;
 - b. A detailed landscape plan;
 - c. Detailed building elevations of all structures indicating materials, colors, and architectural treatments;
 - d. Other: See site specific conditions in PD 08-001 Resolution
- 3. The applicant shall meet with the City's Crime Prevention Officer prior to the issuance of building permits for recommendations on security measures to be incorporated into the design of the structures to be constructed. The applicant is encouraged to contact the Police Department at (805) 237-6464 prior to plan check submittal.

C. THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO OCCUPANCY:

- 1. Occupancy of the facility shall not commence until such time as all Uniform Building Code and Uniform Fire Code regulations have been complied with. Prior to occupancy, plans shall be submitted to the Paso Robles Fire Department and the Building Division to show compliance. The building shall be inspected by the appropriate department prior to occupancy.
- 2. All public or private manufactured slopes located adjacent to public right-of-ways on property in excess of six (6) feet in vertical height and of 2.5:1 or greater slope shall be irrigated and landscaped for erosion control and to soften their appearance as follows: one 15-gallon tree per each 250 square feet of slope area, one 1-gallon or larger size shrub per each 100 square feet of slope area, and appropriate ground cover. Trees and shrubs shall be staggered in clusters to soften and vary the slope plane. Slope planting shall include a permanent irrigation system be installed by the developer prior to occupancy. In lieu of the above planting ratio, the applicant may submit a slope planting plan by a licensed landscape architect or contractor providing adequate landscaping, erosion control and slope retention measures; the slope planting plan is subject to approval by the Development Review Committee. Hydroseeding may be considered on lots of 20,000 square feet or greater.

PUBLIC WORKS DEPARTMENT - The applicant shall contact the Engineering Division, (805) 237-3860, for compliance with the following conditions:

APPLICANT: PR RV PREPARED BY: JF

REPRESENTATIVE: NCE CHECKED BY: _____

PROJECT: PD 08-001 TO PLANNING: _____

All conditions marked are applicable to the above referenced project for the phase indicated.

D. PRIOR TO ANY PLAN CHECK:

- 1. The applicant shall enter into an Engineering Plan Check and Inspection Services Agreement with the City.

E. PRIOR TO ISSUANCE OF A GRADING PERMIT:

- 1. Prior to approval of a grading plan, the developer shall apply through the City, to FEMA and receive a Letter of Map Amendment (LOMA) issued from FEMA. The developer's engineer shall provide the required supporting data to justify the application.
- 2. The proposed structures and grading shall not encroach into the 100-year floodway as specified in Municipal Code Chapter 21.14 "Flood Damage Prevention Regulations".
- 3. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No. 553, Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to removal.
- 4. A complete grading and drainage plan prepared by a registered civil engineer shall be included with the improvement plans. Drainage calculations shall be submitted, with provisions made for on-site detention/ retention if adequate disposal facilities are not available, as determined by the City Engineer.

- 5. A Preliminary Soils and/or Geology Report shall be prepared by a registered engineer for the property to determine the presence of expansive soils or other soils problems and shall make recommendations regarding grading of the proposed site.

F. PRIOR TO ANY SITE WORK:

- 1. All off-site public improvement plans shall be prepared by a registered civil engineer and shall be submitted to the City Engineer for review and approval. The improvements shall be designed and placed to the Public Works Department Standards and Specifications.
- 2. The applicant shall submit a composite utility plan signed as approved by a representative of each public utility, together with the improvement plans. The composite utility plan shall also be signed by the Water, Fire, Wastewater, and Street Division heads.
- 3. Any grading anticipated during the rainy season (October 15 to April 15) will require the approval of a Construction Zone Drainage and Erosion Control Plan to prevent damage to adjacent property. Appropriateness of areas shall be subject to City Engineer approval.
- 4. Any construction within an existing street shall require a Traffic Control Plan. The plan shall include any necessary detours, flagging, signing, or road closures requested. Said plan shall be prepared and signed by a registered civil or traffic engineer.
- 5. Landscape and irrigation plans for the public right-of-way shall be incorporated into the improvement plans and shall require a signature of approval by the Department of Public Works, Street Superintendent and the Community Development Department.
- 6. The owner shall offer to dedicate and improve the following street(s) to the standard indicated:

Golden Hill Road	Arterial	A-1
Street Name	City Standard	Standard Drawing No.
- 7. The owner shall offer to dedicate to the City the following easement(s). The location and alignment of the easement(s) shall be to the description and satisfaction of the City Engineer:
 - a. Public Utilities Easement;
 - b. Water Line Easement;

- c. Sewer Facilities Easement;
- d. Landscape Easement;
- e. Storm Drain Easement.

G. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

- 1. A final soils report shall be submitted to the City prior to the final inspection and shall certify that all grading was inspected and approved, and that all work has been done in accordance with the plans, preliminary report, and Chapter 70 of the Uniform Building Code.
- 2. The applicants civil and soils engineer shall submit a certification that the rough grading work has been completed in substantial conformance to the approved plans and permit.
- 3. When retaining walls are shown on the grading plan, said walls shall be completed before approval of the rough grade, and prior to issuance of any building permits, unless waived by the Building Official and the City Engineer.
- 4. All property corners shall be staked for construction control, and shall be promptly replaced if destroyed.
- 5. Building permits shall not be issued until the water system has been completed and approved, and a based access road installed sufficient to support the City's fire trucks per Fire Department recommendation.
- 6. The developer shall annex to the City's Landscape and Lighting District for payment of the operating and maintenance costs of the following:
 - a. Street lights;
 - b. Parkway and open space landscaping;
 - c. Wall maintenance in conjunction with landscaping;
 - d. Graffiti abatement;
 - e. Maintenance of open space areas.
- 7. Prior to the issuance of a Building Permit for a building within Flood Insurance Rate Map (FIRM) - in zones A1-A30, AE, AO, AH, A, V1-V30, VE and V - the developer shall provide an Elevation Certificate in accordance with the National Flood Insurance Program. This form must be completed by a land surveyor, engineer or architect licensed in the State of California.
- 8. Prior to the issuance of a Building Permit for a building within Flood Insurance Rate Map (FIRM) in zones A1-A30, AE, AO, AH, A, V1-V30, VE and V, the developer

shall provide a Flood Proofing Certificate in accordance with the National Insurance Program. This form must be completed by a land surveyor, engineer or architect licensed in the State California.

H. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY:

- 1. The applicant shall pay any current and outstanding fees for Engineering Plan Checking and Construction Inspection services and any outstanding annexation fees.
- 2. No buildings shall be occupied until all public improvements are completed and approved by the City Engineer, and accepted by the City Council.
- 3. All final property corners and street monuments shall be installed before acceptance of the public improvements.
- 4. All top soil removed shall be stockpiled and evenly distributed over the slopes and lots upon completion of rough grading to support hydroseeding and landscaping. All slope areas shall be protected against erosion by hydroseeding or landscaping.
- 5. The applicant shall install all street names, traffic signs and traffic striping as directed by the City Engineer.
- 6. If the adjoining existing City street is inadequate for the traffic generated by the project, or will be severely damaged by the construction, the applicant shall remove the entire roadway and replace it with a minimum full half-width street plus a 12' wide travel lane and 8' wide graded shoulder adequate to provide for two-way traffic. (A finding of "rough proportionality" has been made in the resolution for this condition).
- 7. If the development includes a phased street construction along the project boundary for future completion by the adjacent property owner, the applicant shall provide a minimum half-width street plus a 12' wide travel lane and 4' wide graded shoulder adequate for two-way traffic. (A finding of "rough proportionality" has been made in the resolution for this condition).
- 8. When the project fronts on an existing street, the applicant shall pave-out from the proposed curb to the edge of pavement if the existing pavement section is adequate, and shall feather the new paving out to the centerline for a smooth transition. If the existing pavement is inadequate, the roadway shall be replaced to centerline and the remaining pavement shall be overlaid. (A finding of "rough proportionality" has been made in the resolution for this condition).
- 9. Any utility trenching in existing streets shall be overlaid to restore a smooth riding

surface as required by the City Engineer. Boring and jacking rather than trenching may be required on newly constructed or heavily traveled City streets.

- 10. The applicant shall install all utilities (sewer, water, gas, electricity, cable TV and telephone) underground (as shown on the composite utility plan). Street lights shall be installed at locations as required by the City Engineer. All existing overhead utilities adjacent to or within the project shall be relocated underground except for electrical lines 77 kilovolts or greater. All utilities shall be extended to the boundaries of the project. All underground construction shall be completed and approved by the public utility companies, and the subgrade shall be scarified and compacted, before paving the streets.

- 11. Prior to paving any street the water and sewer systems shall successfully pass a pressure test. The sewer system shall also be tested by a means of a mandrel and video inspection with a copy of the video tape provided to the City. No paving shall occur until the City has reviewed and viewed the sewer video tape and has determined that the sewerline is acceptable. Any repair costs to the pipeline including trench paving restoration shall be at the developer's expense.

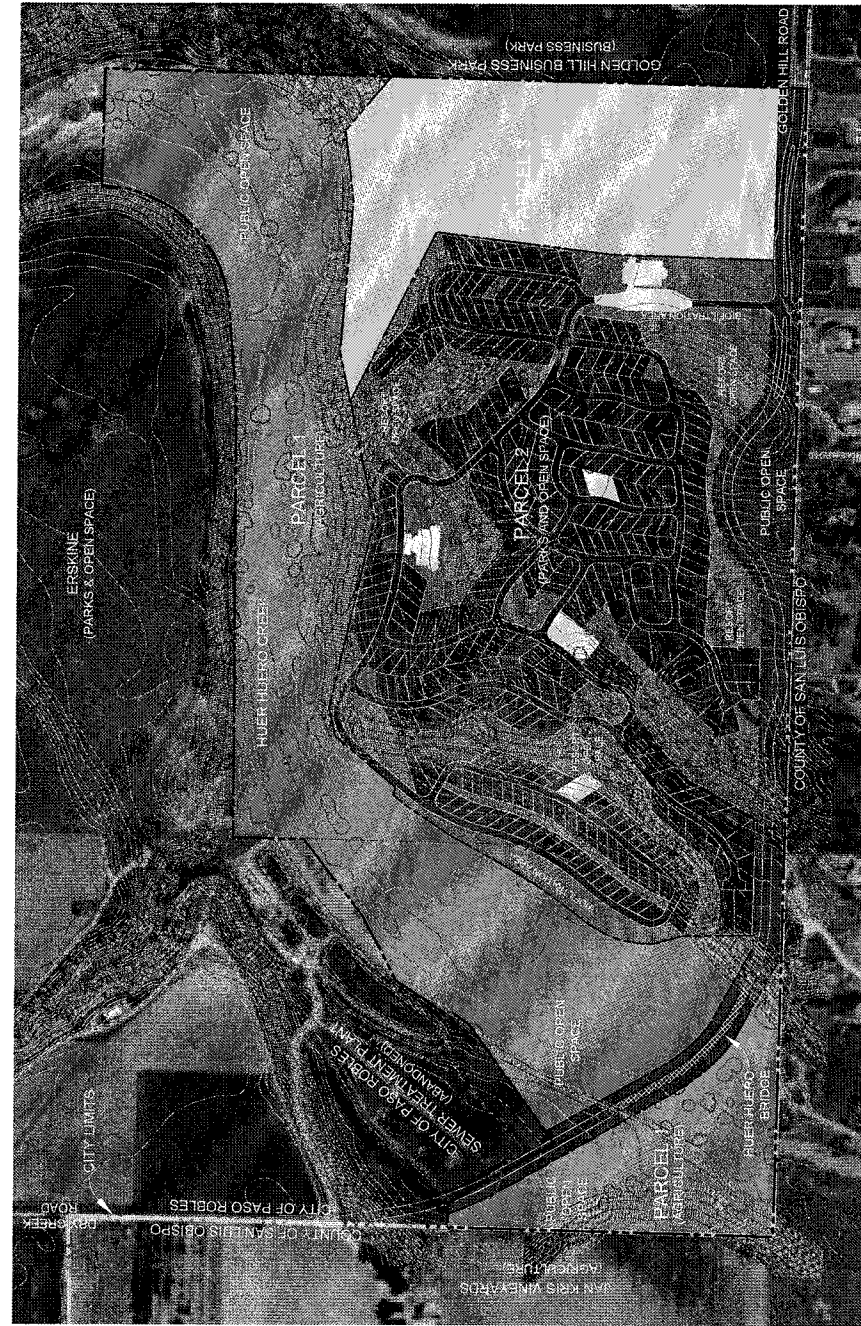
- 12. A blackline clear Mylar (0.4 MIL) copy and a blueline print of as-built improvement plans, signed by the engineer of record, shall be provided to the City Engineer prior to the final inspection. A reduced copy (i.e. 1" = 100') of the composite utility plan shall be provided to update the City's Atlas Map.

- 13. All construction refuse shall be separated (i.e. concrete, asphalt concrete, wood gypsum board, etc.) and removed from the project in accordance with the City's Source Reduction and Recycling Element.

PASO ROBLES FIRE DEPARTMENT - The applicant shall contact the Fire Department, (805) 237-3973, for compliance with the following conditions:

I. GENERAL CONDITIONS

- 1. Fire hydrants shall be installed at intervals as required by the Fire Chief and City Engineer. The maximum spacing for single family residential shall be 500 feet. The maximum spacing for multi-family and commercial/ residential shall be 300 feet. On-site hydrants shall be placed as required by the Fire Chief.
- 2. Building permits shall not be issued until the water system, including hydrants, has been tested and accepted and a based access road installed sufficient to support the City's fire apparatus (HS-20 truck loading). The access road shall be kept clear to a minimum of 24 feet at all times and shall be extended to each lot and shall be maintained to provide all weather driving conditions.
- 3. No buildings shall be occupied until all improvements are completed and accepted by the City for maintenance.
- 4. If the development includes phased street construction, temporary turn-arounds shall be provided for streets that exceed 150 feet in length. The temporary turn around shall meet City requirements as set forth in the Public Works Department Standards and Specifications.
- 5. All open space areas to be dedicated to the City shall be inspected by the Fire Department prior to acceptance. A report shall be submitted recommending action needed for debris, brush and weed removal and tree trimming. The developer shall clean out all debris, dead limbs and trash from areas to be recorded as open space prior to acceptance into a Benefit Maintenance District.
- 6. Any open space included in a private development shall be subject to the approval of a vegetation management plan approved by the Fire Chief.
- 7. Each tract or phase shall provide two sources of water and two points of access unless otherwise determined by the Fire Chief and Public Works Director.
- 8. Provisions shall be made to update the Fire Department Run Book.



SITE STATISTICS - OVERVIEW

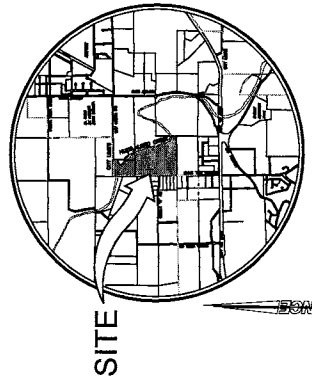
RECORD OWNER
PASO 160, LLC
100 BOX 2522
PASO ROBLES, CA 93447

APPLICANT
DOLG MCCORDY & MENI MUNDIE
PASO ROBLES, CA 93447

ENGINEER
NORTH COAST ENGINEERING, INC.
725 CRESTON RD. STE. B
PASO ROBLES, CA 93446
PHONE: 805-432-1234
R.C.E. 04821
EXP. 6/30/09

EXISTING PARCELS	025-11-005	025-11-006	025-11-007
EXISTING AREA (AC)	30.0	79.9	44.4
EXISTING ZONING	RA-PD	RA-PD	RA-PD
PROPOSED PARCELS	58.8	83.6	21.4
PROPOSED ZONING	OS	RV RESORT	AG
PROPOSED USE	AG	POS	AG
PROPOSED ZONING	3.0	7.3	1.4
PROPOSED USE	23.7	23.7	-
AGRICULTURE (AC)	-	-	21.4

- LEGEND**
- GOLDEN HILL ROAD RIGHT-OF-WAY
 - OFFER OF DEDICATION
 - RESORT OPEN SPACE AREA
 - RECREATION AREAS
 - AGRICULTURAL ZONING, DEDICATED TO THE CITY FOR OPEN SPACE USE
 - AGRICULTURAL ZONING WITH AGRICULTURAL USE ELEMENT



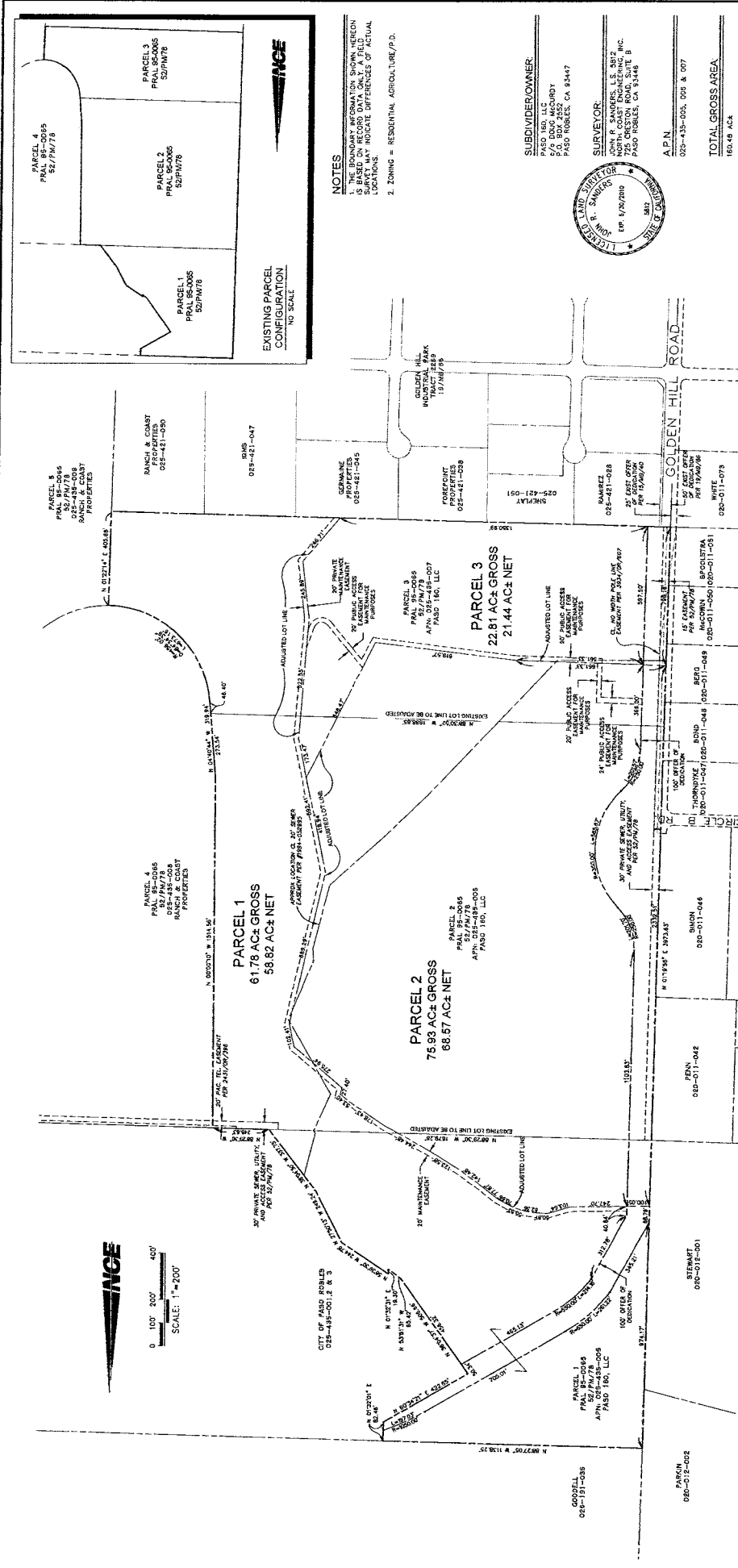
- SHEET INDEX**
1. COVER SHEET
 2. TENTATIVE LOT LINE ADJUSTMENT
 3. PRELIMINARY GRADING & DRAINAGE PLAN - NORTH
 4. PHASING PLAN
 5. PRELIMINARY GRADING & DRAINAGE PLAN - NORTH
 6. PRELIMINARY GRADING & DRAINAGE PLAN - MIDSECTION
 7. PRELIMINARY GRADING & DRAINAGE PLAN - SOUTH
 8. GRADING CONCEPTS
 9. CREEK RESTORATION AREA
 10. SITE CONCEPT PLAN
 11. SITE CROSS SECTIONS
 12. DETAILS
 13. DETAILS
 14. GOLDEN HILL ROAD - 1+00 TO 13+00
 15. GOLDEN HILL ROAD - 13+00 TO 26+00
 16. GOLDEN HILL ROAD - 26+00 TO 28+00
 17. GOLDEN HILL ROAD - 28+00 TO 31+00

Exhibit B
Cover Sheet
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

MOTORCOACH RESORT
LAYOUT PLAN

NCE
NORTH COAST ENGINEERING, INC.
725 CRESTON RD. STE. B
PASO ROBLES, CA 93446
PHONE: 805-432-1234
R.C.E. 04821
EXP. 6/30/09

PAGE 1 OF 17



NCE
 0 100' 200' 400'
 SCALE: 1"=200'

EXISTING PARCEL CONFIGURATION
 NO SCALE

NOTES
 1. THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON THE SURVEY DATA AND SURVEY LOCATIONS. SURVEY DATA MAY INDICATE DIFFERENCES OF ACTUAL LOCATIONS.
 2. ZONING = RESIDENTIAL AGRICULTURE (P.D.)

SUBDIVIDER/OWNER:
 PASO 180, LLC
 P.O. BOX 2352
 PASO ROBLES, CA 93447

SURVEYOR:
 JOHN R. SANDERS, L.S. 502
 NORTH COAST ENGINEERING, INC.
 10000 S. GARDEN AVENUE, SUITE 200
 PASO ROBLES, CA 93448



APN: 025-435-003, 006 & 007
TOTAL GROSS AREA: 160.46 AC±

**PASO ROBLES MOTORCOACH RESORT
 TENTATIVE LOT LINE ADJUSTMENT
 PRAL 07-0293**

IN THE CITY OF PASO ROBLES, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA
 LOT LINE ADJUSTMENT BETWEEN PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52 OF PARCEL MAPS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52 OF THE COUNTY RECORDS OF SAID COUNTY.

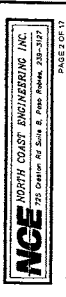
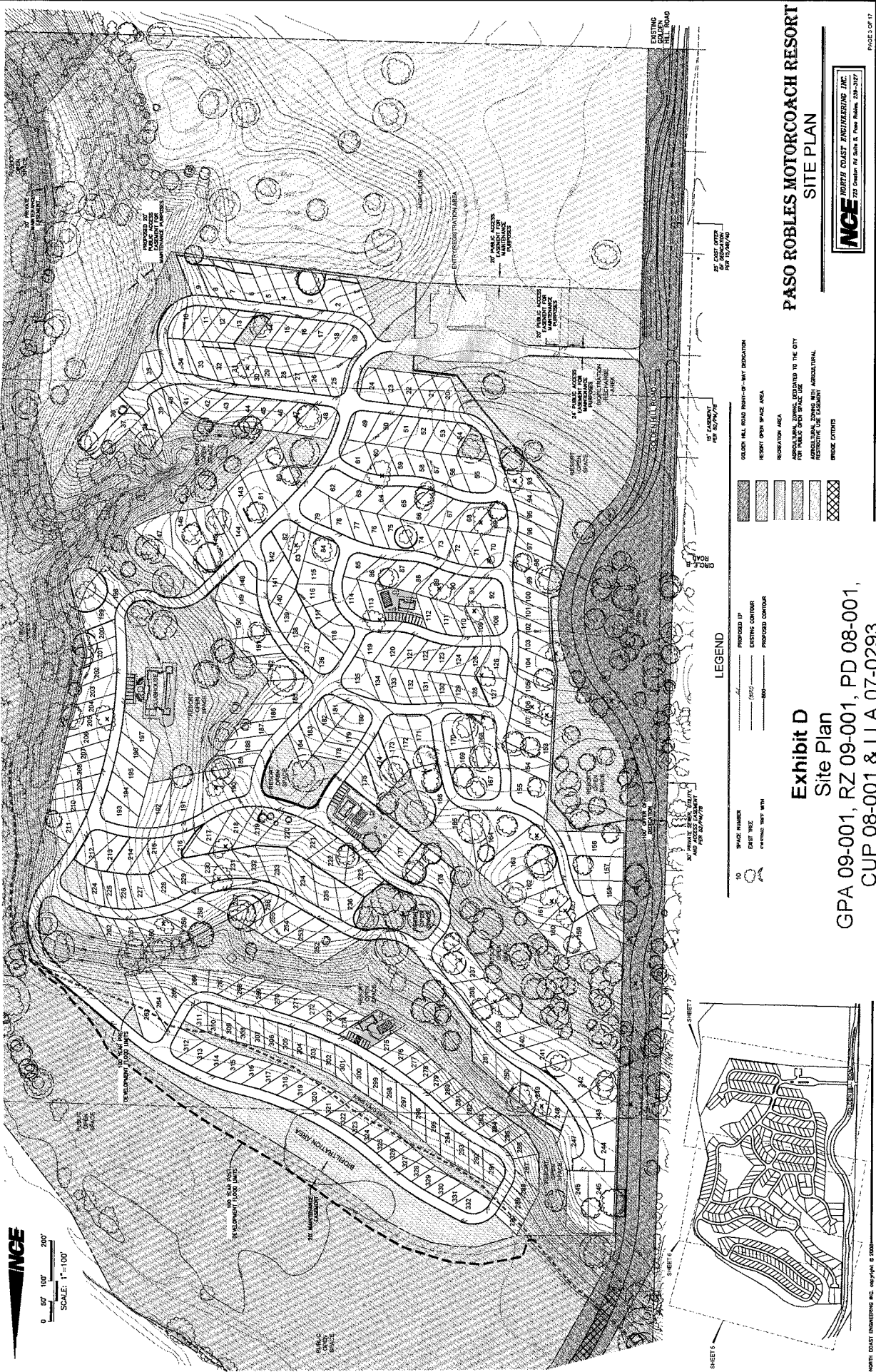


Exhibit C
 Tent. Lot Line Adjustment
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)



NCE
 0 50' 100' 200'
 SCALE: 1"=100'

LEGEND

10 SPACE NUMBER
 20 PRIVATE DRIVE, 20' WIDE
 30 PRIVATE DRIVE, 10' WIDE
 40 PRIVATE DRIVE, 8' WIDE

EXISTING CENTER
 PROPOSED CENTER

EXISTING RIGHT-WAY
 PROPOSED RIGHT-WAY

EXISTING HILL ROAD RIGHT-OF-WAY
 RESORT OPEN SPACE AREA

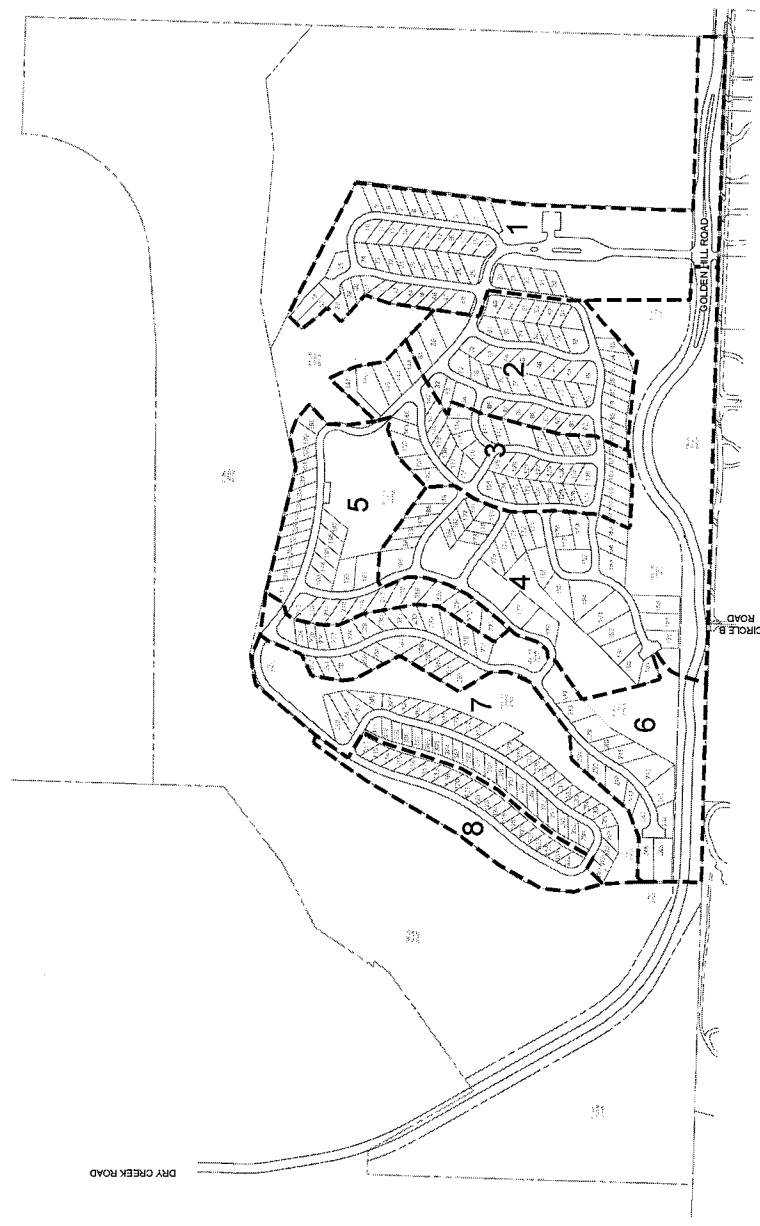
RECREATION AREA
 AGRICULTURAL ZONING, DECLARED TO THE CITY FOR PUBLIC OPEN SPACE USE
 AGRICULTURAL ZONING WITH AGRICULTURAL RESOURCES
 BRIDGE EXTENTS

Exhibit D
Site Plan

GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

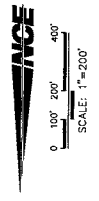
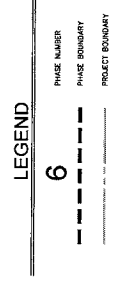
PASO ROBLES MOTORCOACH RESORT
SITE PLAN

NCE NORTH COAST ENGINEERING, INC.
 7222 Ocean Hill Blvd. # 1000 Marina, CA 92037



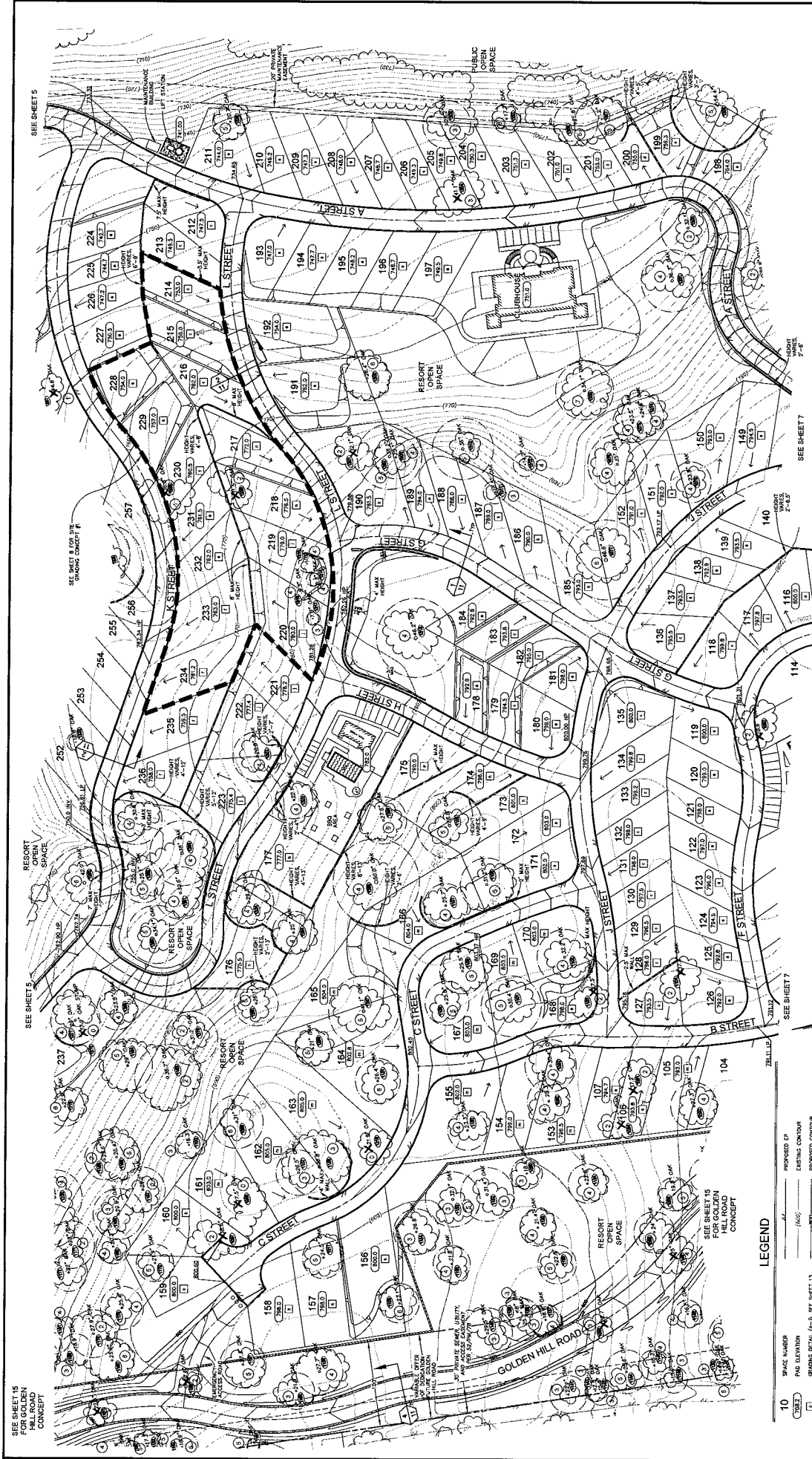
Phase	Space Count	Total
1	48	48
2	53	101
3	51	152
4	38	190
5	33	223
6	39	262
7	49	311
8	21	332

Exhibit E
Phasing Plan
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)



PASO ROBLES MOTORCOACH RESORT
PRELIMINARY PHASING PLAN





**PASO ROBLES MOTORCOACH RESORT
PRELIMINARY GRADING & DRAINAGE
MIDSECTION**

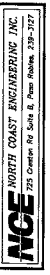


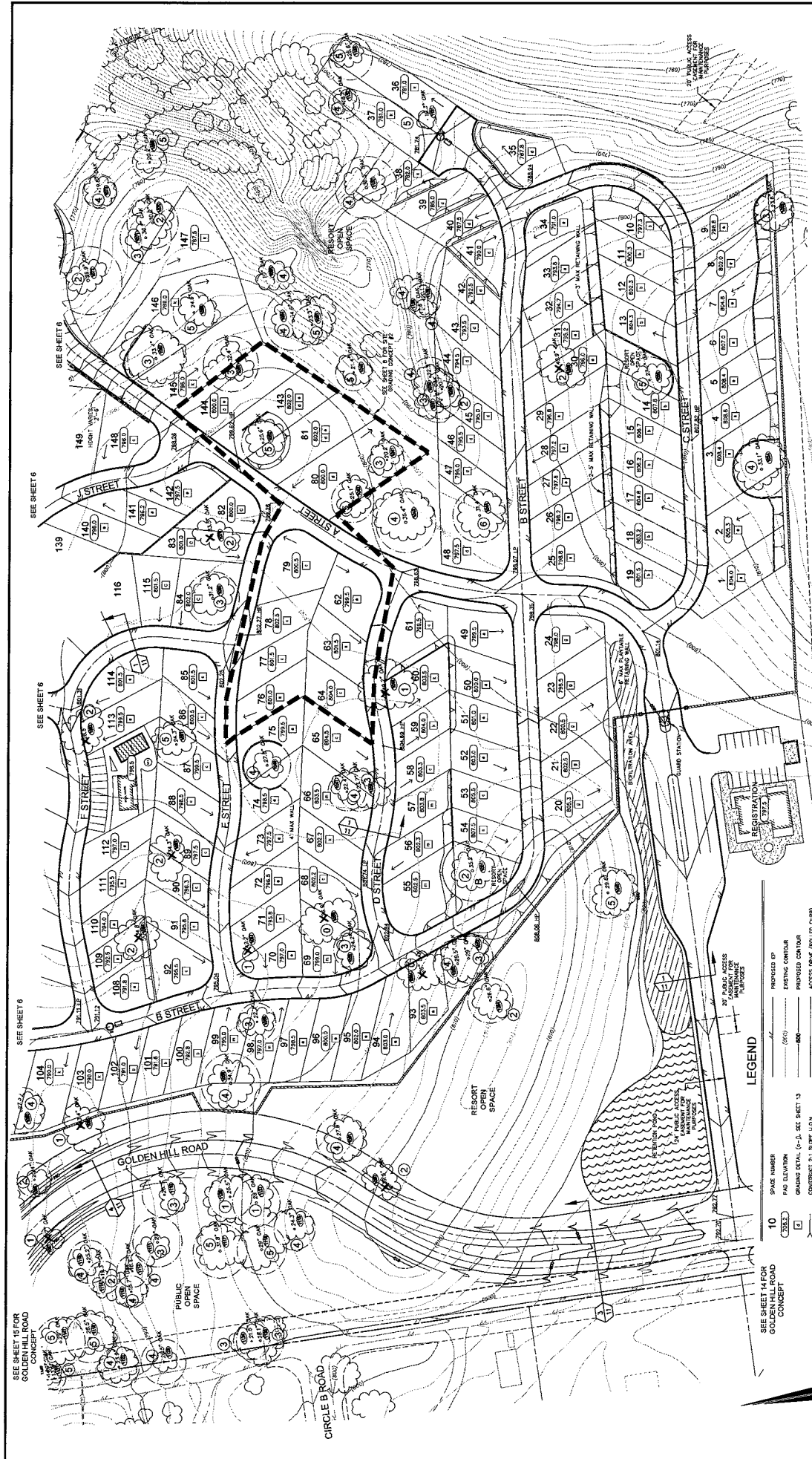
Exhibit F-2
Prelim. Grading & Drainage
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

TREE CONDITION LEGEND*



LEGEND

10	SPACE NUMBER	PROPOSED E.P.
(100)	P.M. ELEVATION	EXISTING CONTOUR
(100)	GRADING DETAIL (4-B, SEE SHEET 13)	PROPOSED CONTOUR
(100)	CONTRACT 2:1 SLOPE (SLOPE 100)	ACCESS DRIVE (ROLLED CURB)
(100)	EXIST TREE	SPACE LIMITS
(100)	FRESH GRADE	SECTION WALL
(100)	EXISTING OAK TREE ROW/SIZE WITH CRITICAL ROOT ZONE (CRZ)	RETAINING WALL - HEIGHT VARIES AS NOTED
(100)	DIRECTION OF SITE DRAINAGE	100-YEAR POST-ENCROACHMENT FLOOD LINE
(100)	90 FILTRATION AREA	100-YEAR PRE-ENCROACHMENT FLOOD LINE
(100)	TREE TO BE REMOVED	DIRECTION OF DRAINAGE
(100)	TREE NUMBER PER PARADISE REPORT	SHEET LIFT STATION
(100)	REPORT DATED APRIL 15, 2007	



PASO ROBLES MOTORCOACH RESORT
PRELIMINARY GRADING & DRAINAGE
SOUTH

NCE NORTH COAST ENGINEERING INC.
 775 Camino del Sur E. Paso Robles, CA 92371

Exhibit F-3
 Prelim. Grading & Drainage
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

TREE CONDITION LEGEND

	PROPOSED EP
	EXISTING CONTOUR
	PROPOSED CONTOUR
	ACCESS DRIVE (KELLER CLUB)
	EXIST TREE
	FINISH GRADE
	EXISTING OAK SIZE TREE/ZONE WITH CRITICAL ROOT ZONE (CRZ)
	DIRECTION OF SITE DRAINAGE
	100-YEAR FLOOD LINE
	100-YEAR REC. SCARCITY FLOOD LINE
	SECTION OF DRAINAGE
	RETENTION/RETENTION POND
	TREE TO BE RETAINED
	TREE TO BE REMOVED
	SEWER LIFT STATION

SEE SHEET 15 FOR GOLDEN HILL ROAD CONCEPT

SEE SHEET 14 FOR GOLDEN HILL ROAD CONCEPT

LEGEND

10 SPACE NUMBER

PAID ELEVATION

GRADING DETAIL (S-1, SEE SHEET 13)

CONSTRAINT 2:1 SLOPE (S.O.N.)

FINISH GRADE

EXISTING OAK SIZE TREE/ZONE WITH CRITICAL ROOT ZONE (CRZ)

DIRECTION OF SITE DRAINAGE

100-YEAR FLOOD LINE

100-YEAR REC. SCARCITY FLOOD LINE

SECTION OF DRAINAGE

RETENTION/RETENTION POND

TREE TO BE RETAINED

TREE TO BE REMOVED

SEWER LIFT STATION

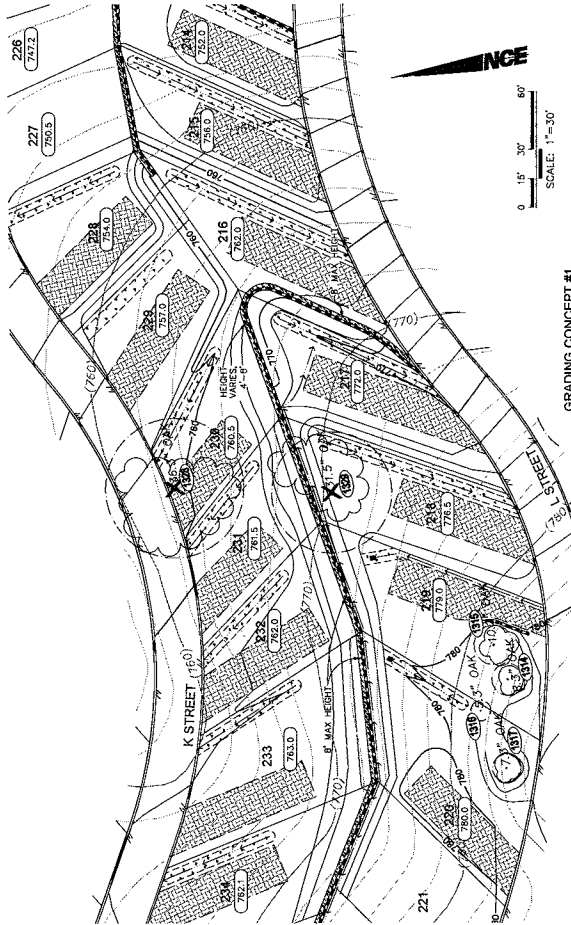
REPORT DATED APRIL 18, 2007

SCALE: 1"=50'

0 25 50 100'

NORTH COAST ENGINEERING INC. copyright © 2008

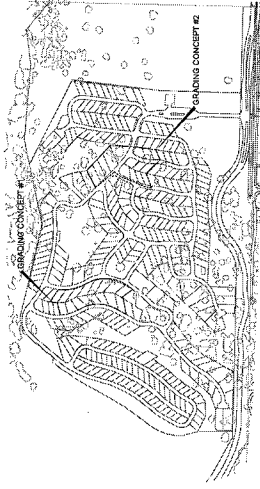
PAGE 1 OF 17



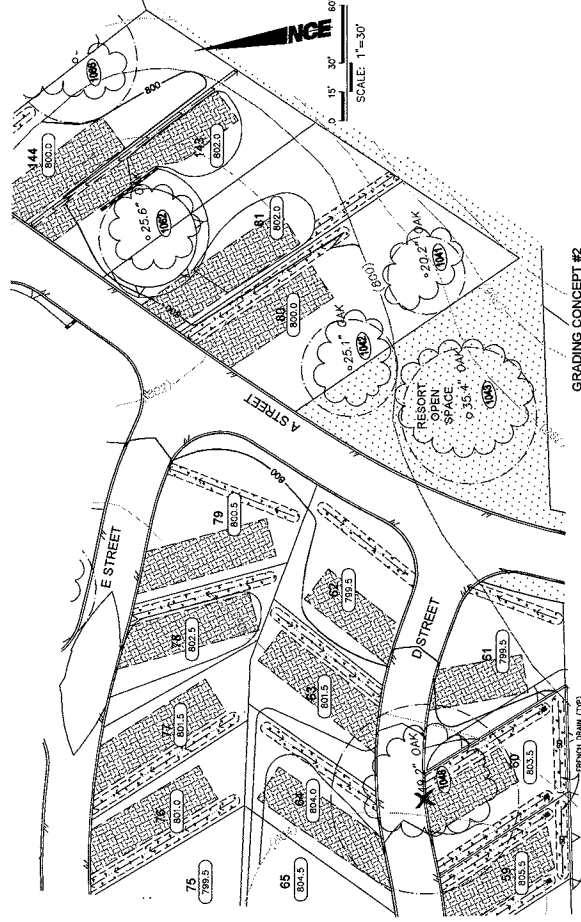
GRADING CONCEPT #1

- LEGEND**
- BLOCK RETAINING WALL
 - PLANTABLE WALL
 - CONCRETE FINISH
 - LANDSCAPED/POD-SWALE
 - DRAINAGE SWALE
 - 100 SITE NUMBER
 - (800.0) PAD ELEVATION
 - (300) TREE NUMBER
 - EAST GRADE CONTOURS
 - FINISH GRADE CONTOURS

- NOTES:**
1. THESE EXHIBITS REPRESENT A GRADING CONCEPT FOR EACH SAMPLE AREA OF THE PROJECT. FINAL DESIGN MAY MODIFY GRADING PROPOSED.
 2. REFER TO SHEETS L-7 AND L-8 FOR LANDSCAPE CONCEPTS FOR THESE SAME SAMPLE AREAS.



DETAIL INDEX

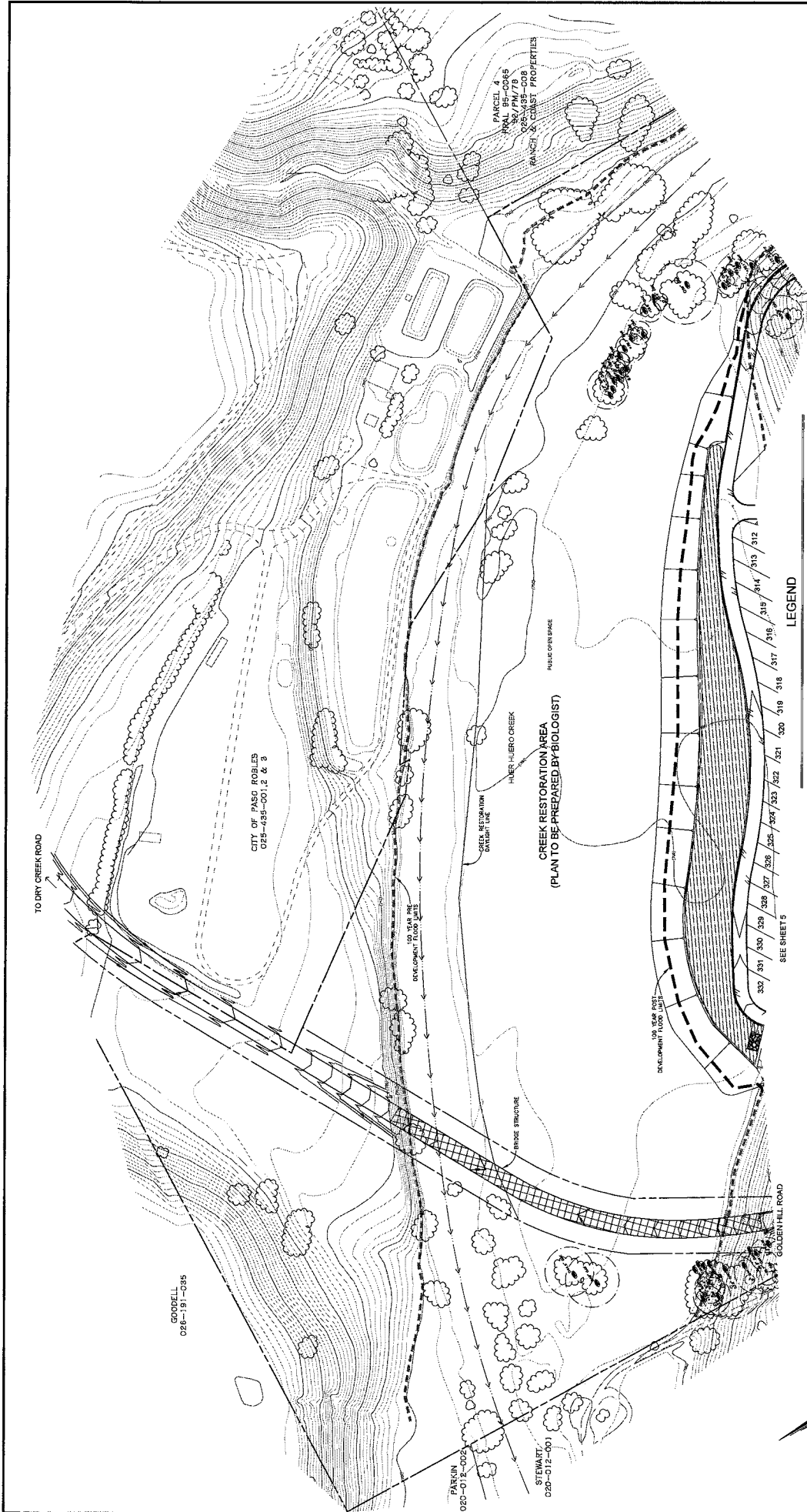


GRADING CONCEPT #2

**PASO ROBLES MOTORCOACH RESORT
GRADING CONCEPTS**

NGE
NORTH COAST ENGINEERING, INC.
755 OAKWOOD RD. SUITE 8, PASO ROBLES, CA 93227

Exhibit G
Grading Concepts
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)



NOTE: GRADING PROPOSED WITHIN NIJER NIJERO CREEK RESTORATION AREA. ALL WORK MAY REQUIRE PERMITS FROM ARMY CORPS OF ENGINEERS AND CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE.

10 SPACE NUMBER
 100' YEAR POST DEVELOPMENT FLOOD LINE
 100' YEAR PRE DEVELOPMENT FLOOD LINE
 100' YEAR POST DEVELOPMENT FLOOD LINE
 100' YEAR PRE DEVELOPMENT FLOOD LINE
 APPROXIMATE LOCATION OF BENTH CHANNEL
 TREE TO BE REMOVED
 SEWER LIFT STATION

LEGEND

PROPOSED 10' GRADING
 EXISTING CONTOUR
 PROPOSED CONTOUR
 100' YEAR POST DEVELOPMENT FLOOD LINE
 100' YEAR PRE DEVELOPMENT FLOOD LINE
 ACCESS DRIVE (ROLLED GRASS)
 SPACE UNITS
 SCREEN WALL
 RETAINING WALL, RIGHT-WAY AS NOTED
 100' YEAR POST DEVELOPMENT FLOOD LINE
 100' YEAR PRE DEVELOPMENT FLOOD LINE
 APPROXIMATE LOCATION OF BENTH CHANNEL
 TREE TO BE REMOVED
 SEWER LIFT STATION

10 SPACE NUMBER
 100' YEAR POST DEVELOPMENT FLOOD LINE
 100' YEAR PRE DEVELOPMENT FLOOD LINE
 APPROXIMATE LOCATION OF BENTH CHANNEL
 TREE TO BE REMOVED
 SEWER LIFT STATION

10 SPACE NUMBER
 100' YEAR POST DEVELOPMENT FLOOD LINE
 100' YEAR PRE DEVELOPMENT FLOOD LINE
 APPROXIMATE LOCATION OF BENTH CHANNEL
 TREE TO BE REMOVED
 SEWER LIFT STATION

10 SPACE NUMBER
 100' YEAR POST DEVELOPMENT FLOOD LINE
 100' YEAR PRE DEVELOPMENT FLOOD LINE
 APPROXIMATE LOCATION OF BENTH CHANNEL
 TREE TO BE REMOVED
 SEWER LIFT STATION

10 SPACE NUMBER
 100' YEAR POST DEVELOPMENT FLOOD LINE
 100' YEAR PRE DEVELOPMENT FLOOD LINE
 APPROXIMATE LOCATION OF BENTH CHANNEL
 TREE TO BE REMOVED
 SEWER LIFT STATION

10 SPACE NUMBER
 100' YEAR POST DEVELOPMENT FLOOD LINE
 100' YEAR PRE DEVELOPMENT FLOOD LINE
 APPROXIMATE LOCATION OF BENTH CHANNEL
 TREE TO BE REMOVED
 SEWER LIFT STATION

10 SPACE NUMBER
 100' YEAR POST DEVELOPMENT FLOOD LINE
 100' YEAR PRE DEVELOPMENT FLOOD LINE
 APPROXIMATE LOCATION OF BENTH CHANNEL
 TREE TO BE REMOVED
 SEWER LIFT STATION

**PASO ROBLES MOTORCOACH RESORT
 CREEK RESTORATION AREA**

NCE NORTH COAST ENGINEERING, INC.
 122 CHERRY, OFF SHORE & PARK, PASO ROBLES, CA 93427

Exhibit H
 Creek Restoration Area

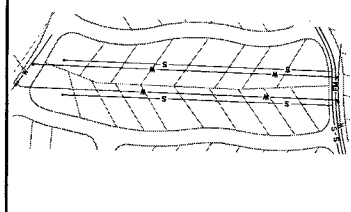
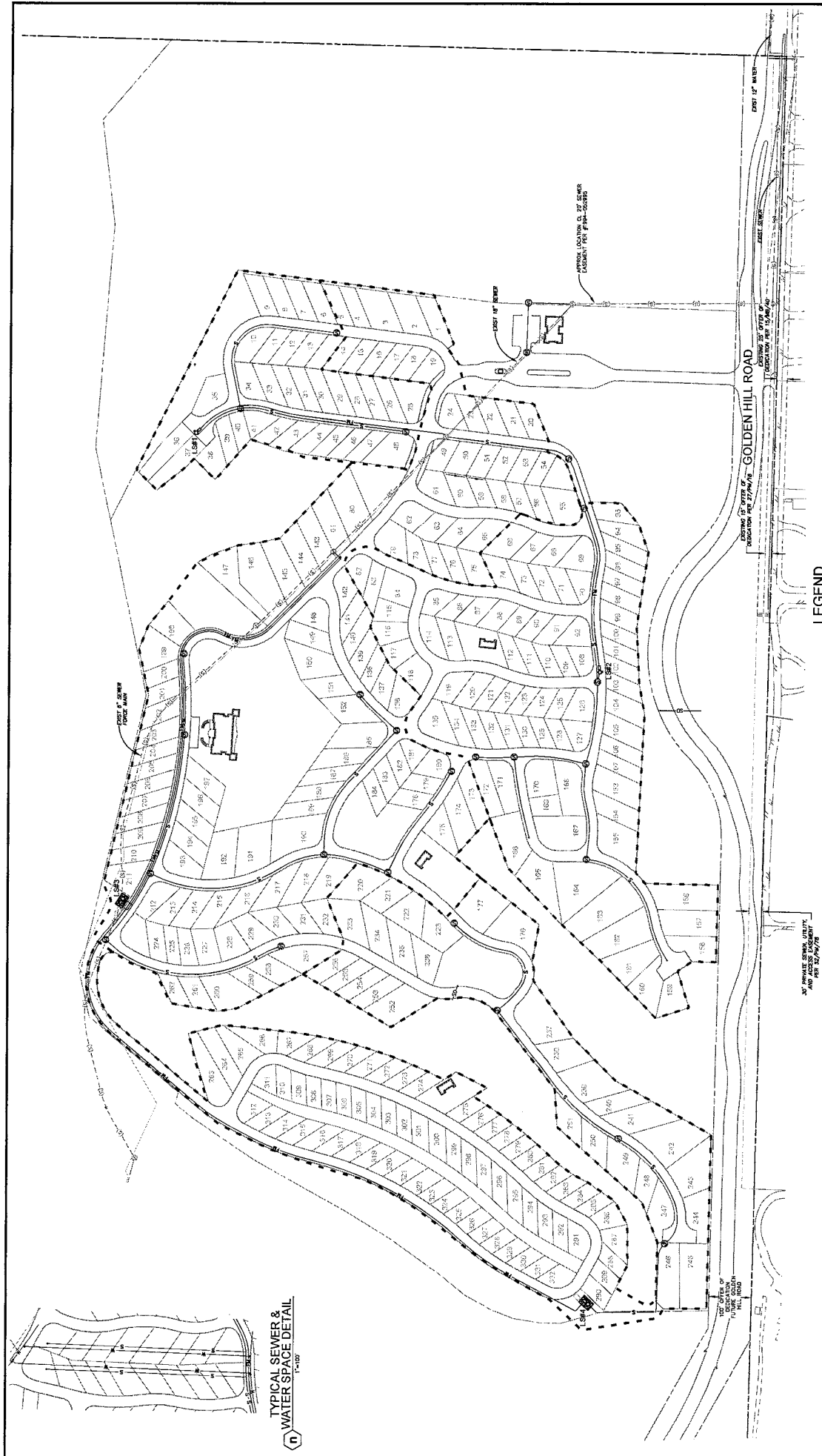
GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

SCALE: 1"=80'
 0 40' 80' 160'

SEE SHEETS 5
 337 331 330 329 328 327 326 325 324 323 322 321 320 319 318 317 316 315 314 313 312

TO DRY CREEK ROAD
 CITY OF PASO ROBLES
 026-495-001, 2 & 9
 NIJER NIJERO CREEK
 CREEK RESTORATION
 DRAINAGE LINE
 CREEK RESTORATION AREA
 (PLAN TO BE PREPARED BY BIOLOGIST)
 PUBLIC OPEN SPACE
 NIJER NIJERO CREEK
 BRIDGE STRUCTURE
 PARKIN
 020-012-002
 STEWART,
 020-012-001
 GOLDEN HILL ROAD

GOODELL
 026-191-085
 PARCEL 4
 95-008
 96/PM/79
 NORTH COAST PROPERTIES
 NORTH COAST ENGINEERING, INC. 6977/041 © 2008
 PAGES 9 OF 17



TYPICAL SEWER & WATER SPACE DETAIL
1"=10'

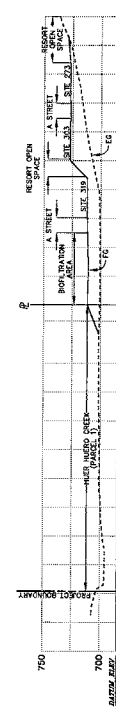
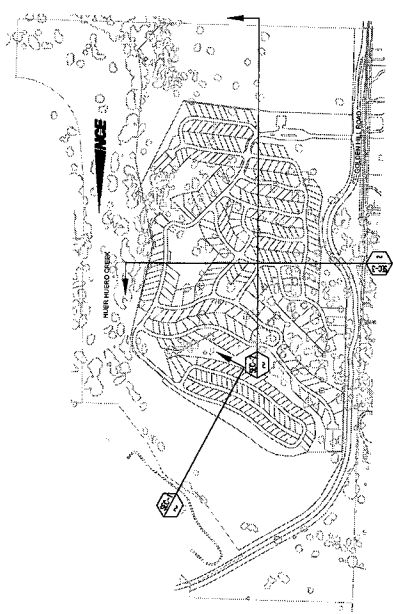
NOTE:
1. ALL SEWER LINES TO BE CONSTRUCTED AS A LINED
PIPE WITH 12" DIA. MANHOLE
2. ONLY SEWER LINES ARE TO BE INSTALLED
AT EACH HOME. WATER LINES WILL BE INSTALLED
AT EACH HOME. WATER LINES SHALL BE 1/2" DIA.
SITE DATA: SEE (A)
3. LOCAL STORM DRAINAGE NOT SHOWN FOR CLARITY

LEGEND

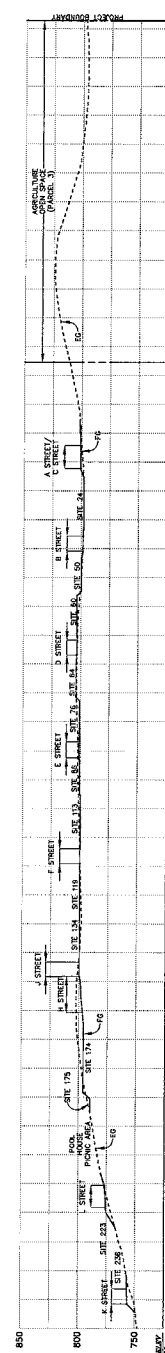
PASO ROBLES MOTORCOACH RESORT
PRELIMINARY UNDERGROUND PLAN



Exhibit I
Underground Plan
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)



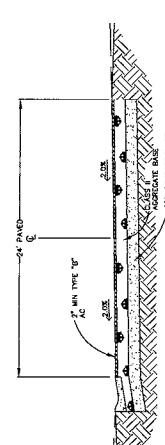
SITE CROSS SECTION 1
 VERTICAL 1" = 20'
 HORIZONTAL 1" = 100'
 NOTE: THIS PROFILE IS VERTICALLY ENLARGED BY A FACTOR OF TWO



SITE CROSS SECTION 2
 VERTICAL 1" = 20'
 HORIZONTAL 1" = 100'
 NOTE: THIS PROFILE IS VERTICALLY ENLARGED BY A FACTOR OF TWO

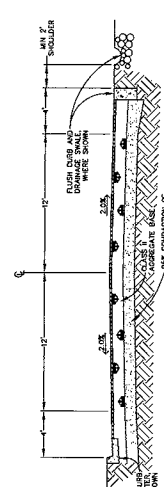
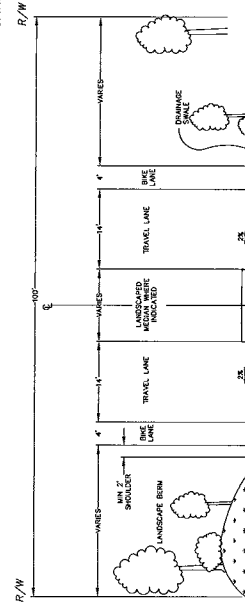


TYPICAL STREET SECTION
 1" = 5'



STREET SECTION
 1" = 5'

SITE CROSS SECTION 3
 VERTICAL 1" = 20'
 HORIZONTAL 1" = 100'
 NOTE: THIS PROFILE IS VERTICALLY ENLARGED BY A FACTOR OF TWO



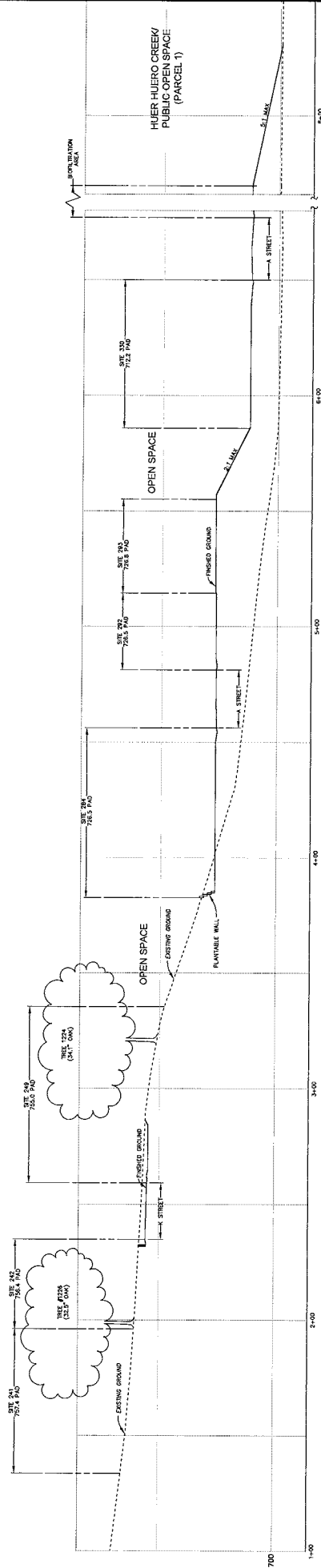
GOLDEN HILL ROAD
 1" = 5'

Exhibit J1
Site Cross Sections
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

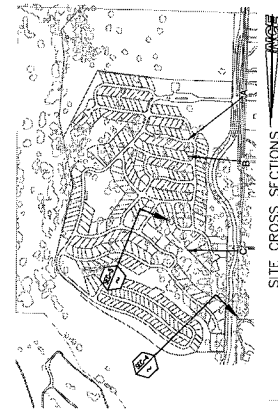
GOLDEN HILL ROAD
 1" = 10'

NOTES:

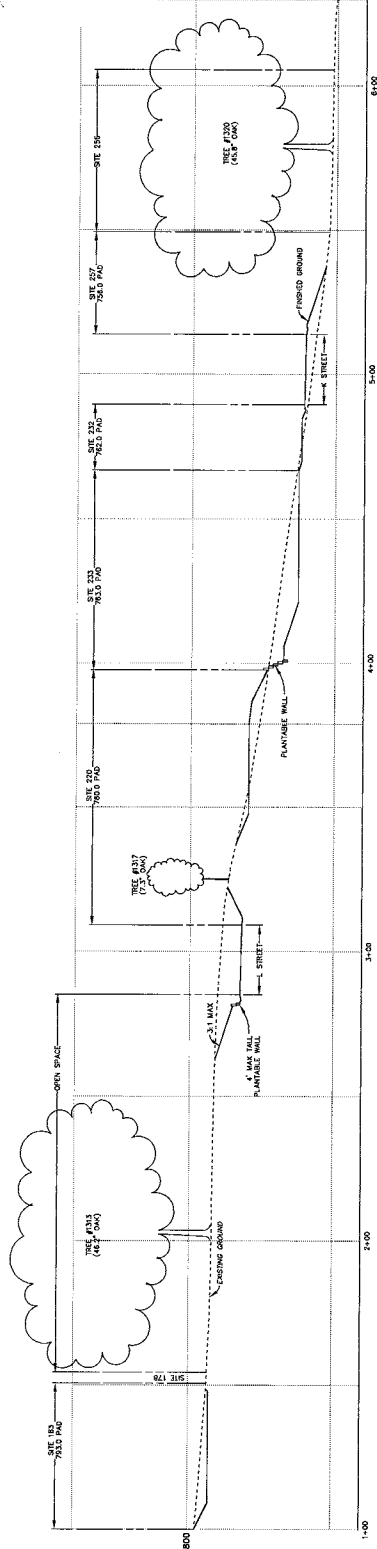
1. THESE SECTIONS HAVE BEEN PREPARED TO DEMONSTRATE THE PROPOSED GRADING.
2. THE DIMENSIONS SHOWN MAY NOT BE IN LINE WITH THE CROSS SECTION LINE DIMENSIONS IN THE PARAGRAPHS OR BACKGROUND AND ARE SHOWN FOR REFERENCE.
3. A, B & C ARE LINE OF SITE SECTIONS - SEE SHEETS L-9 AND L-10 FOR SECTIONS AND PERSPECTIVE VIEWS.



CROSS SECTION
 VERTICAL 1" = 20'
 HORIZONTAL 1" = 20'



SITE CROSS SECTIONS



CROSS SECT
 VERTICAL 1" = 20'
 HORIZONTAL 1" = 20'

PASO ROBLES MOTORCOACH ESTATES
SITE CROSS SECTIONS

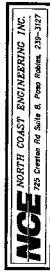
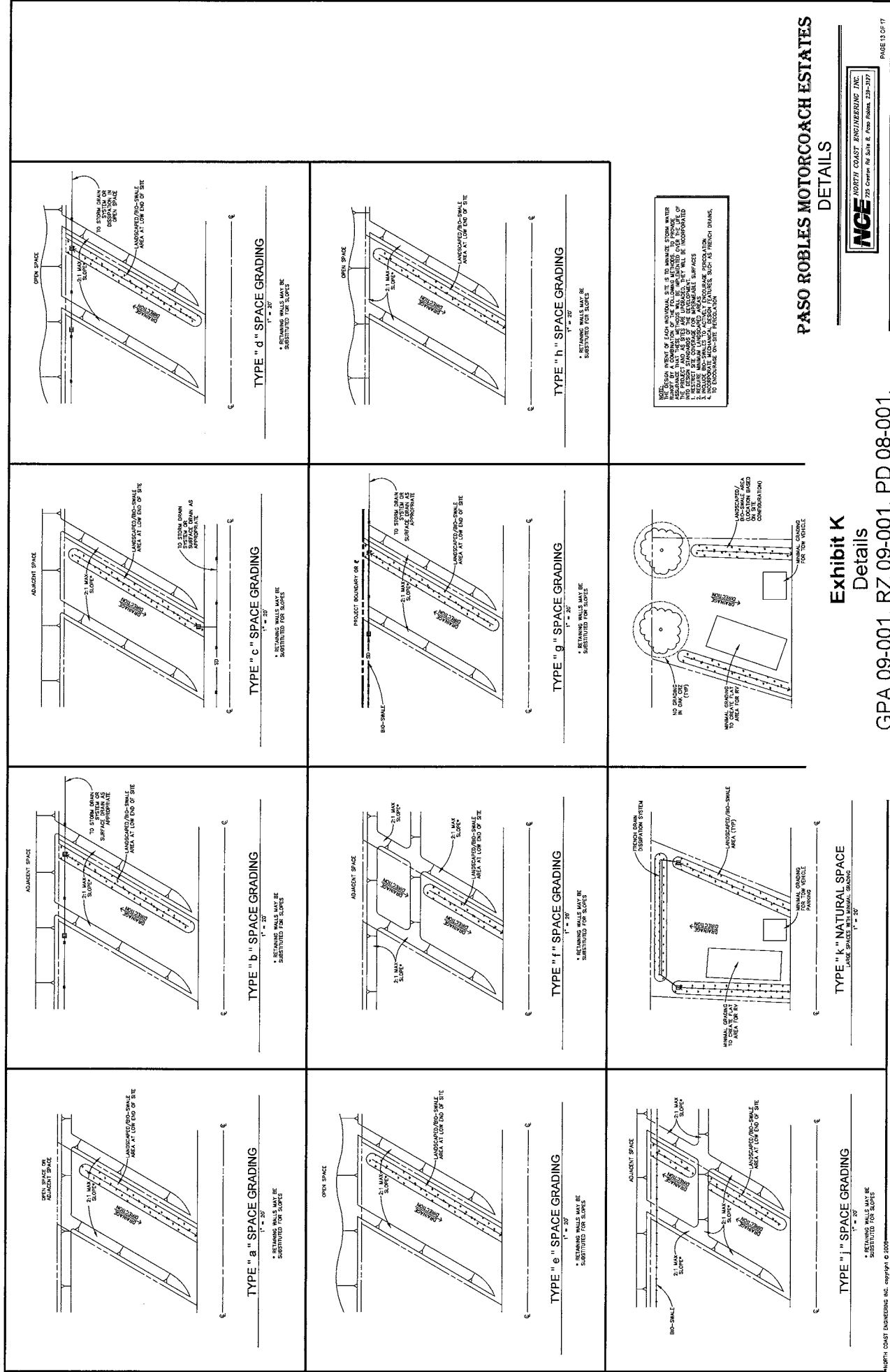


Exhibit J2
 Site Cross Sections
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)



NOTE: DESIGN AREA OF EACH INDIVIDUAL SITE IS TO MANAGE STORM WATER ASPECTS OF A DEVELOPMENT. NOT ALL DEVELOPMENT ARE TO BE ADAPTED TO THIS DESIGN. THE DESIGN AREA IS TO BE DETERMINED BY THE DESIGNER. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SLOPE AND THE DESIGN OF THE SLOPE SURFACES. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SLOPE SURFACES. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SLOPE SURFACES. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF THE SLOPE SURFACES.

PASO ROBLES MOTORCOACH ESTATES

DETAILS

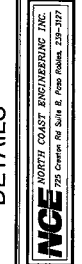
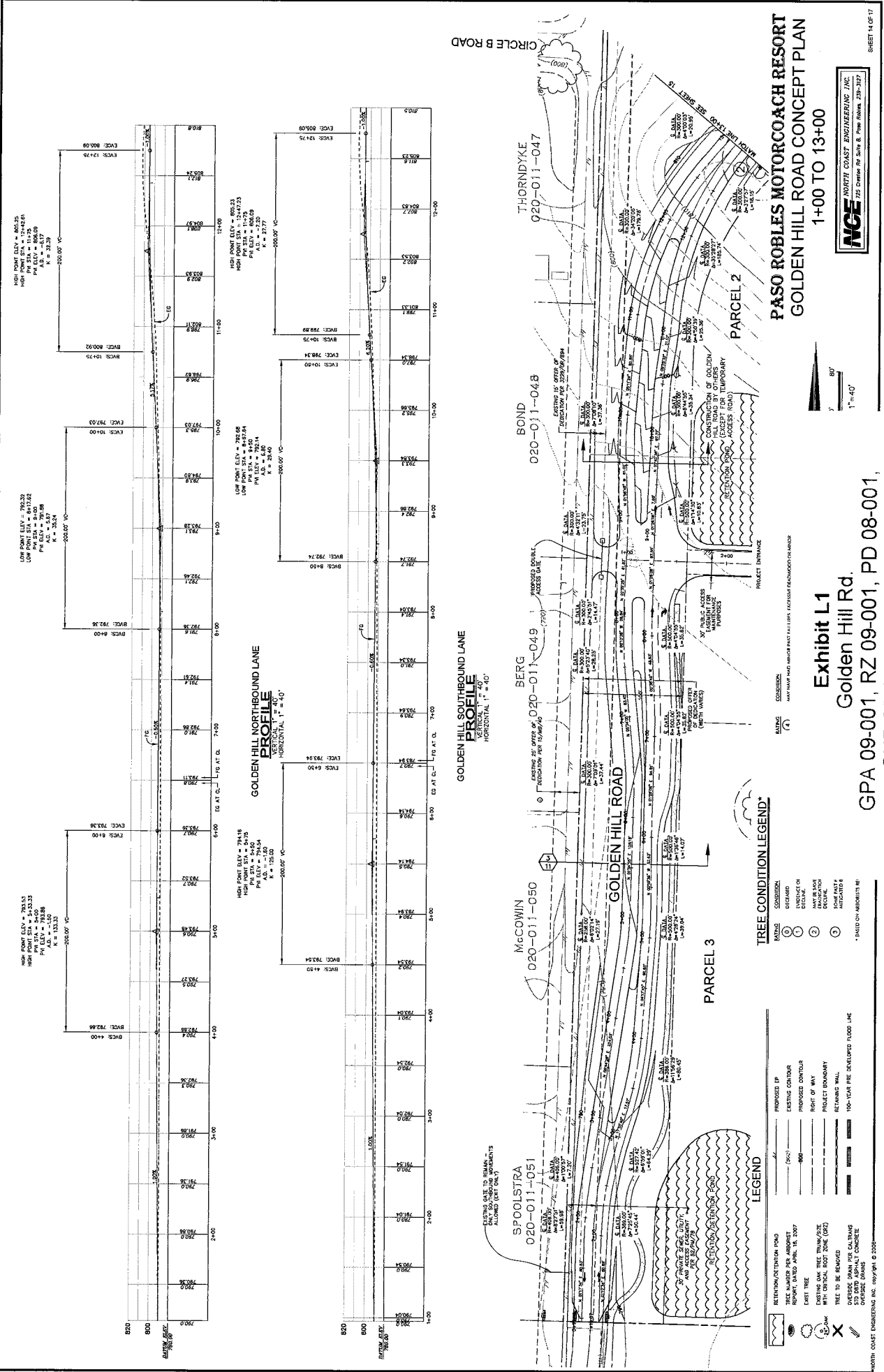


Exhibit K

Details

GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)



**PASO ROBLES MOTORCOACH RESORT
GOLDEN HILL ROAD CONCEPT PLAN
1+00 TO 13+00**

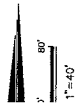


Exhibit L1
Golden Hill Rd.
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

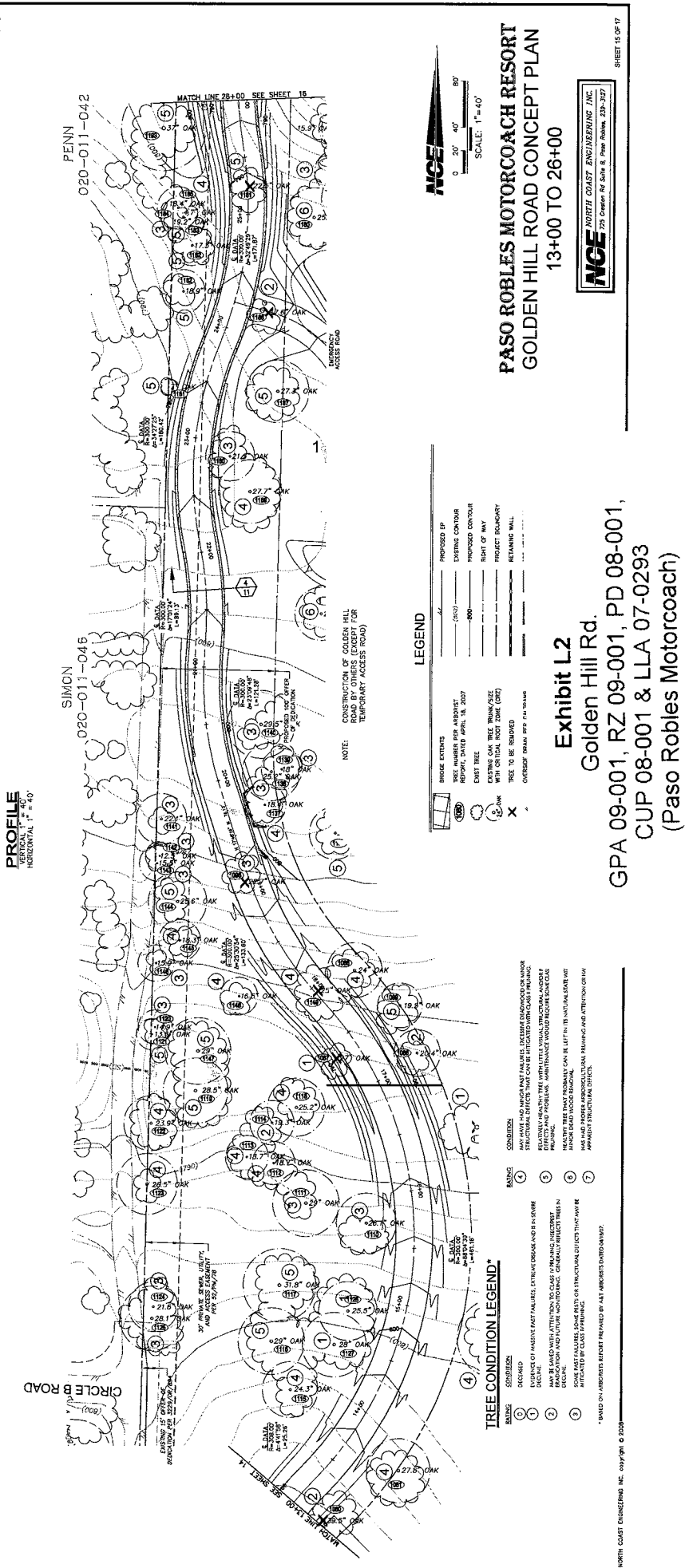
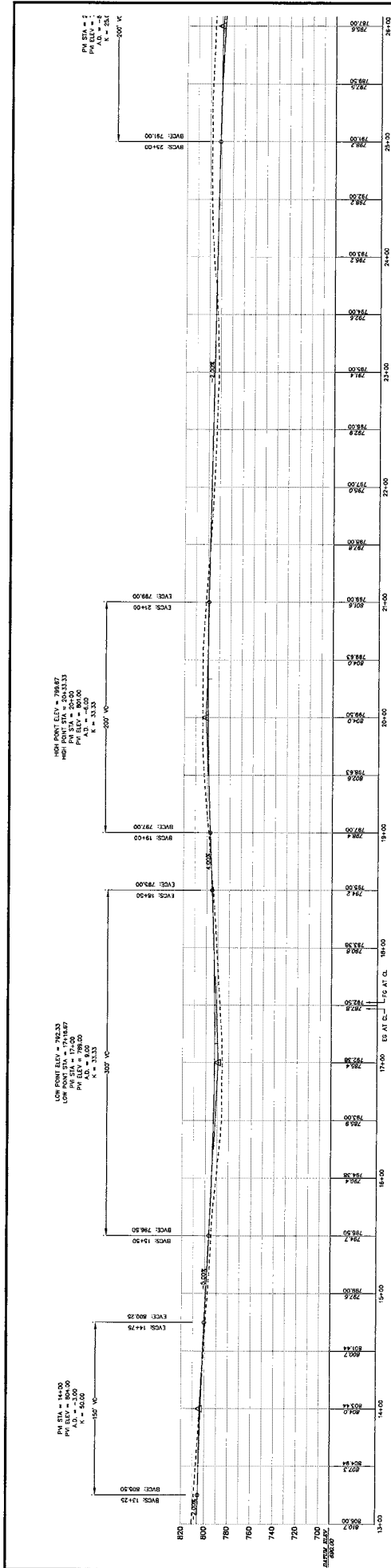
TREE CONDITION LEGEND

RATING	CONDITION
1	DECEASED
2	EMERGENCY
3	DIAGNOSIS
4	POOR
5	FAIR
6	GOOD
7	BEST

LEGEND

	RETENTION/RETENTION POND
	TREE NUMBER PER APPROX
	EXISTING CENTERLINE
	PROPOSED CENTERLINE
	RIGHT OF WAY
	PROJECT BOUNDARY
	RETAINING WALL
	100-YEAR FLOOD DEVELOPED FLOOD USE
	EXISTING OAK TREE TRUNK/SIZE WITH CRITICAL ROOT ZONE (CRZ)
	TREE TO BE REMOVED
	EXISTING DRAIN PER CALTRANS OVERSIC DRAWING
	PROPOSED DRAIN

NORTH COAST ENGINEERING, INC. 2007



PASO ROBLES MOTORCOACH RESORT
GOLDEN HILL ROAD CONCEPT PLAN
13+00 TO 26+00

NCE NORTH COAST ENGINEERING INC.
 775 Central Rd. Suite B, Paso Robles, CA 93426

SHEET 15 OF 17

Exhibit L2
Golden Hill Rd.
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

TREE CONDITION LEGEND*

NUMBER	CONDITION
1	DECAYED
2	EVIDENCE OF INSECT ACTIVITY (TERMINAL DIEBACK AND/OR EXPOSED WOOD)
3	MAJOR DECAY (TERMINAL DIEBACK AND/OR EXPOSED WOOD)
4	STRUCTURAL DEFECTS (CRACKS, HOLLOW ROT, OR OTHER DEFECTS)
5	STRUCTURAL DEFECTS (CRACKS, HOLLOW ROT, OR OTHER DEFECTS)
6	STRUCTURAL DEFECTS (CRACKS, HOLLOW ROT, OR OTHER DEFECTS)
7	STRUCTURAL DEFECTS (CRACKS, HOLLOW ROT, OR OTHER DEFECTS)

*BASED ON ARBORIST REPORT PREPARED BY AAS ARBORIST-DANIEL DAVIS

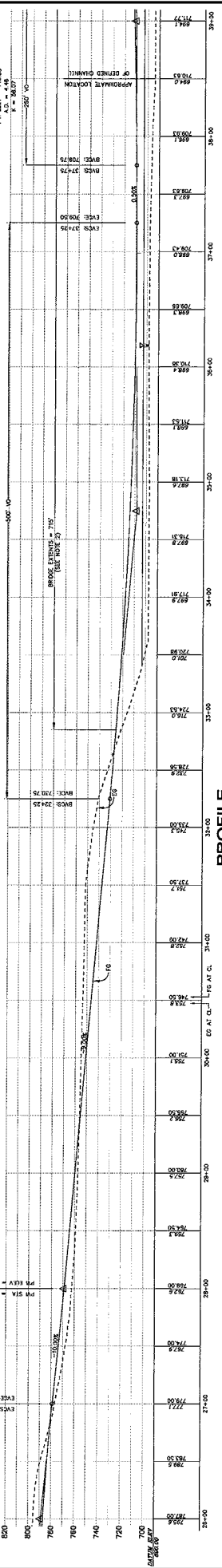
PM STA = 264+00
 PI ELEV = 780.00
 PV ELEV = 780.00
 P = 25.00

LOW POINT ELEV = 780.00
 LOW POINT STA = 264+00
 PM STA = 264+00
 PV ELEV = 780.00
 P = 25.00

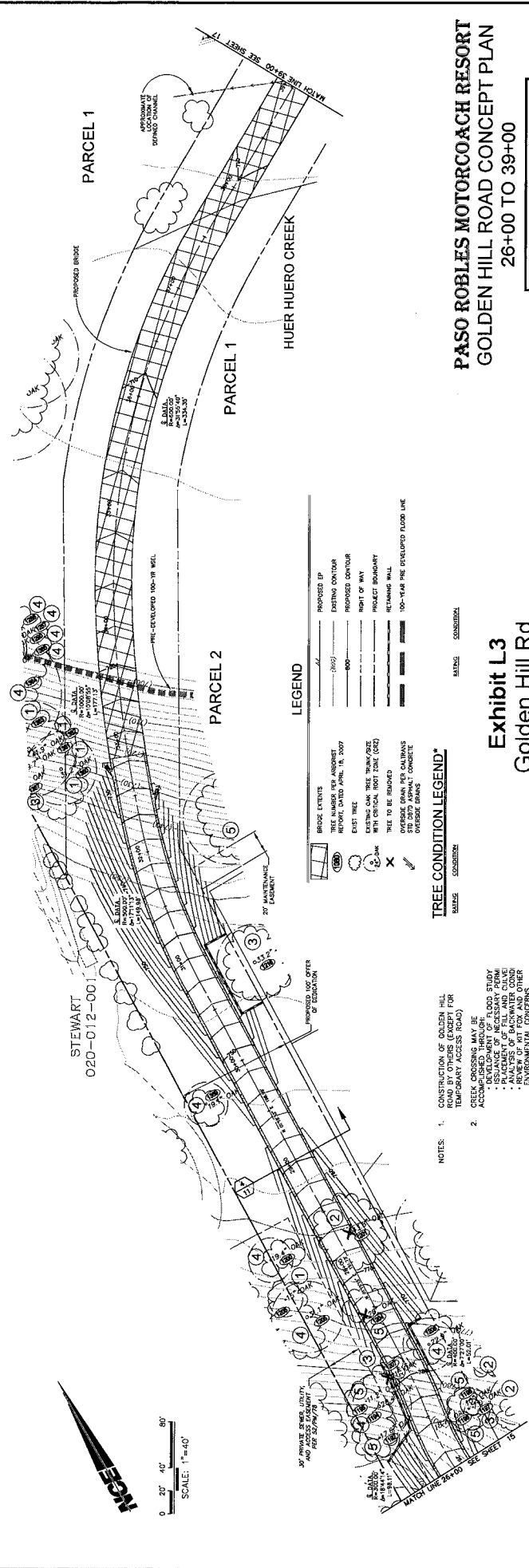
LOW POINT ELEV = 780.00
 LOW POINT STA = 264+00
 PM STA = 264+00
 PV ELEV = 780.00
 P = 25.00

PM STA = 39+00
 PI ELEV = 710.38
 PV ELEV = 710.38
 P = 26.07

APPROXIMATE LOCATION OF OPENED CHANNEL



PROFILE
 VERTICAL $T = 40'$
 HORIZONTAL $T = 40'$



- LEGEND**
- PROPOSED BY: [Symbol] ENGINEERING
 - EXISTING CONTOUR: [Symbol] 200'
 - PROPOSED CONTOUR: [Symbol] 100'
 - RIGHT OF WAY: [Symbol]
 - PROJECT BOUNDARY: [Symbol]
 - RETAINING WALL: [Symbol]
 - 100-YEAR FLOOD DEVELOPED FLOOD LINE: [Symbol]
 - BRIDGE EXTENTS: [Symbol]
 - TREE INVENTORY PER ARBORIST REPORT, DATED APRIL 18, 2007: [Symbol]
 - EXISTING TREE: [Symbol]
 - EXISTING OAK TREE TRUNK/STEM WITH CRITICAL ROOT ZONE (CRZ): [Symbol]
 - TREE TO BE REMOVED: [Symbol]
 - OVERSIDE DRAIN PER CALTRANS STANDARD PRACTICE: [Symbol]
 - OVERSIDE DRAIN: [Symbol]
 - 30' PRIVATE DRAINAGE UTILITY: [Symbol]
 - 30' MAINTENANCE EASEMENT: [Symbol]
 - APPROXIMATE LOCATION OF OPENED CHANNEL: [Symbol]

TREE CONDITION LEGEND*

- BARKING CONDITION: [Symbol] HEALTHY, [Symbol] DAMAGED, [Symbol] DEAD
 TREE CONDITION: [Symbol] HEALTHY, [Symbol] DAMAGED, [Symbol] DEAD

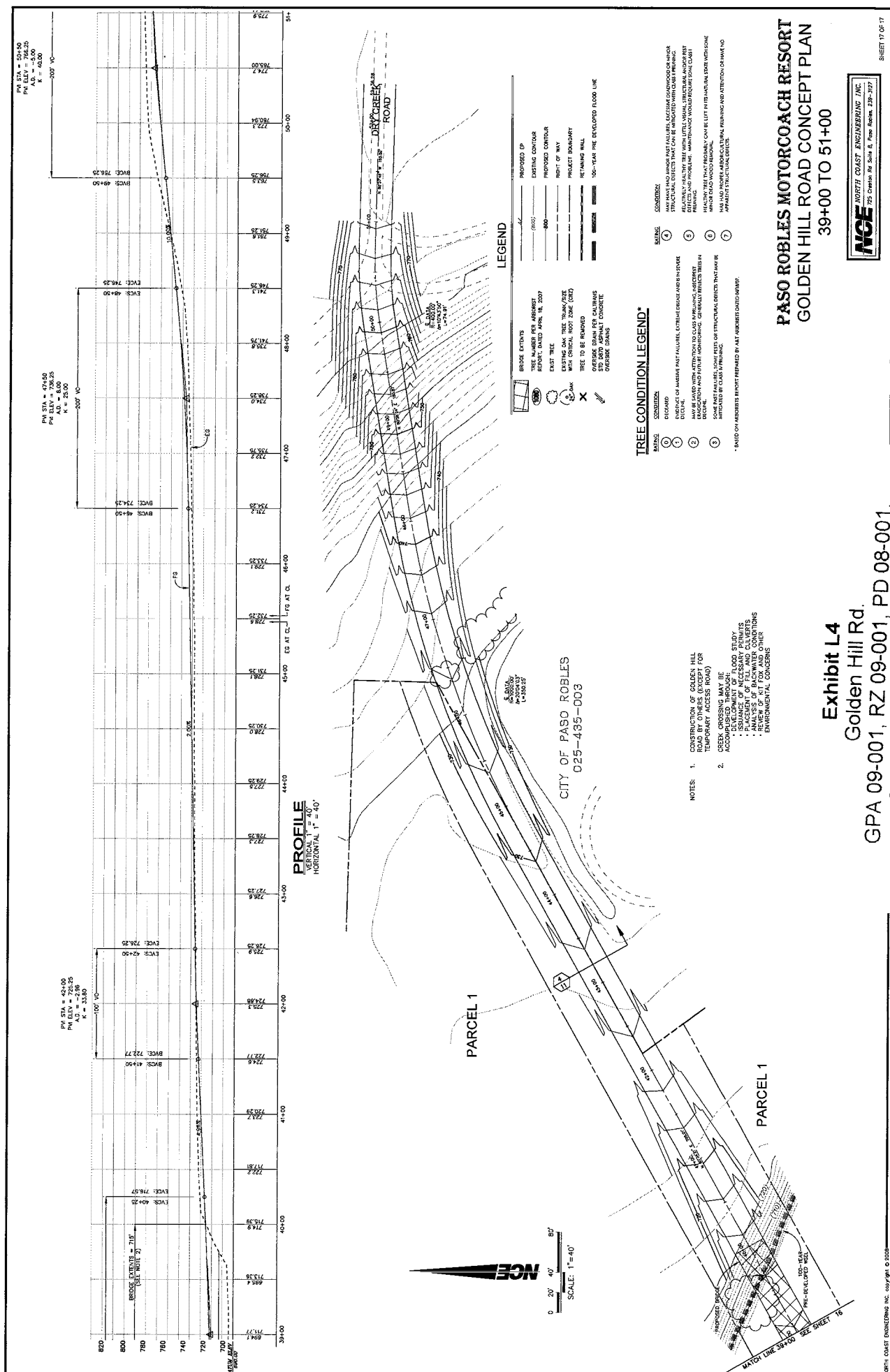
- NOTES:**
 1. CONSTRUCTION OF GOLDEN HILL ROAD SHALL BE ACCOMPLISHED THROUGH THE TEMPORARY ACCESS ROAD.
 2. CREEK CROSSING MAY BE ACCOMPLISHED THROUGH THE TEMPORARY ACCESS ROAD.

- PLACEMENT OF FILL AND GRAVEL
- ISSUANCE OF NECESSARY PERMITS
- REVIEW OF K12 FOX AND OTHER ENVIRONMENTAL CONCERNS

PASO ROBLES MOTORCOACH RESORT
GOLDEN HILL ROAD CONCEPT PLAN
 26+00 TO 39+00



Exhibit L3
 Golden Hill Rd.
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)



PASO ROBLES MOTORCOACH RESORT
GOLDEN HILL ROAD CONCEPT PLAN
 39+00 TO 51+00



Exhibit L4
 Golden Hill Rd.
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

PASO ROBLES
MOTORCOACH
RESORT

GOLDEN HILL RD
PASO ROBLES, CA 93446

(805) 239-4560
FAX (805) 239-9912

CONTRACT NO. _____
DATE _____
PROJECT NO. _____
SHEET NO. _____
SHEET TOTAL _____

NO. _____ DATE _____
BY _____
CHECKED BY _____

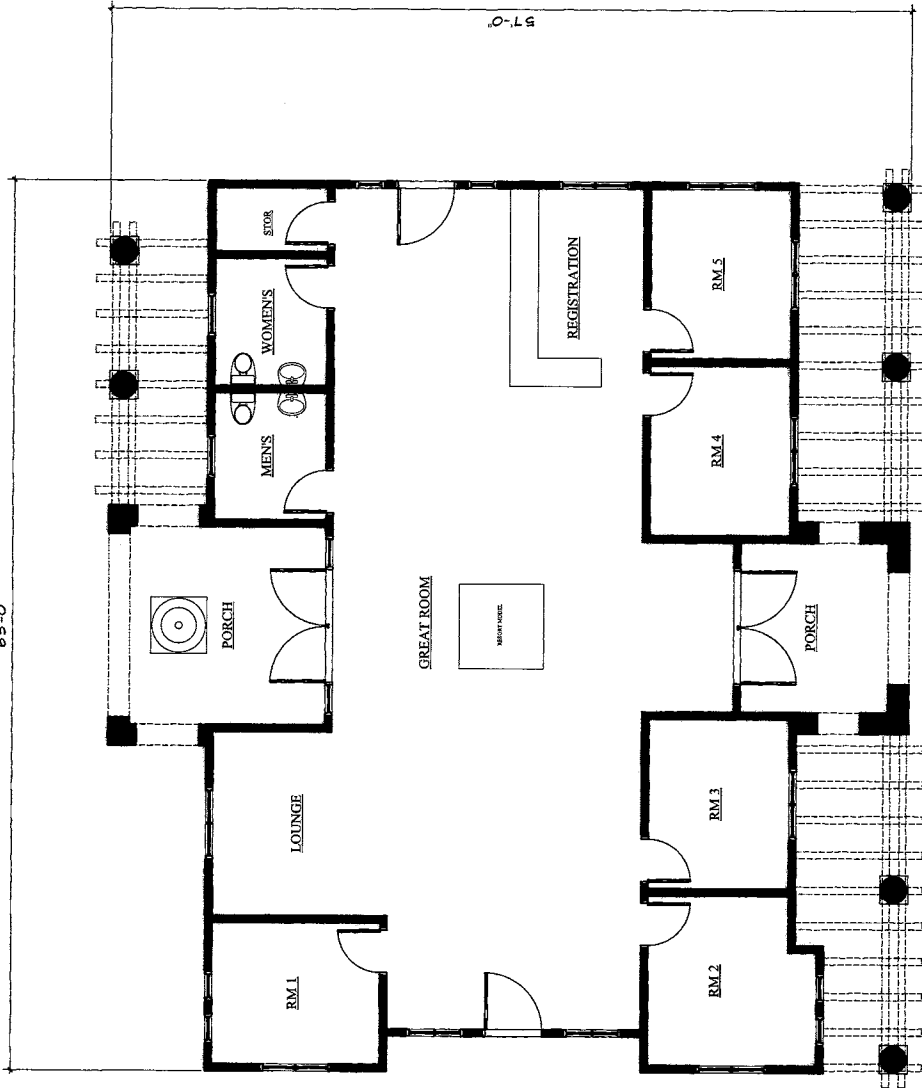
REVISIONS

NO. _____ DATE _____
BY _____
CHECKED BY _____

REGISTRATION
FLOOR PLAN

04-107
FEB 7, 2007

A2



SCALE: 1/4" = 1'-0"

FLOOR PLAN

AREA CALC.	
PERM. AREA	2442 SQ. FT.
TOTAL AREA	2442 SQ. FT.
GOVERNMENTAL TOTAL STRUCTURE	2442 SQ. FT.

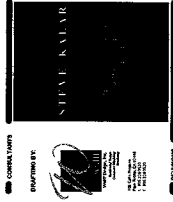
Exhibit M2
Registration Building Details
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

PASO ROBLES
MOTORCOACH
RESORT

GOLDEN HILL RD
PASO ROBLES, CA 93446

(805) 239-4560

FAX (805) 239-9912

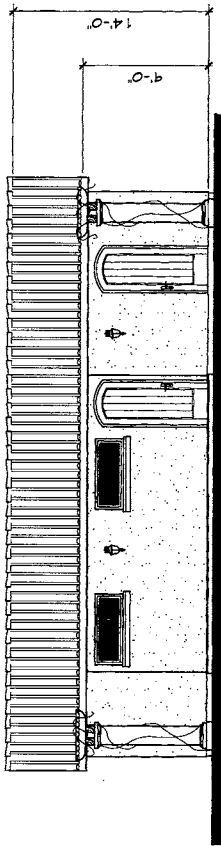


NO.	DATE	REVISION

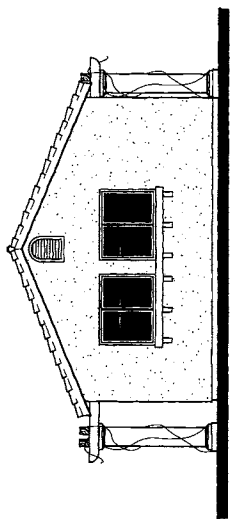
PROJECT TITLE: **POOLHOUSE ELEVATIONS**

DATE: FEB 7, 2007

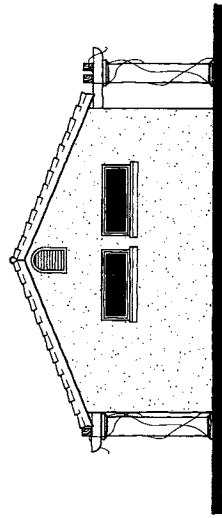
SHEET NO. **A6**



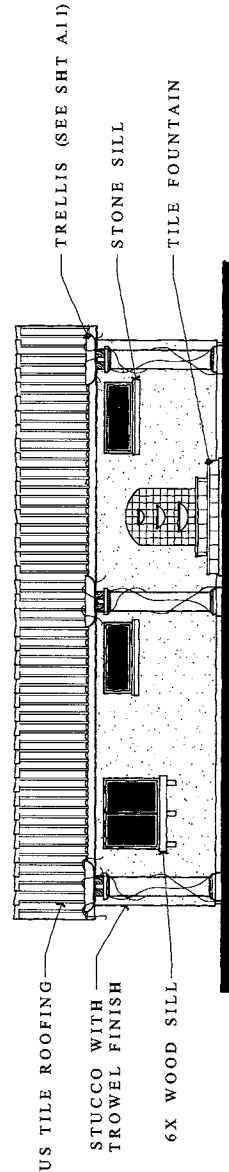
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

Exhibit N3
Pool House Details
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

PASO ROBLES
MOTORCOACH
RESORT

GOLDEN HILL RD
PASO ROBLES, CA 93446

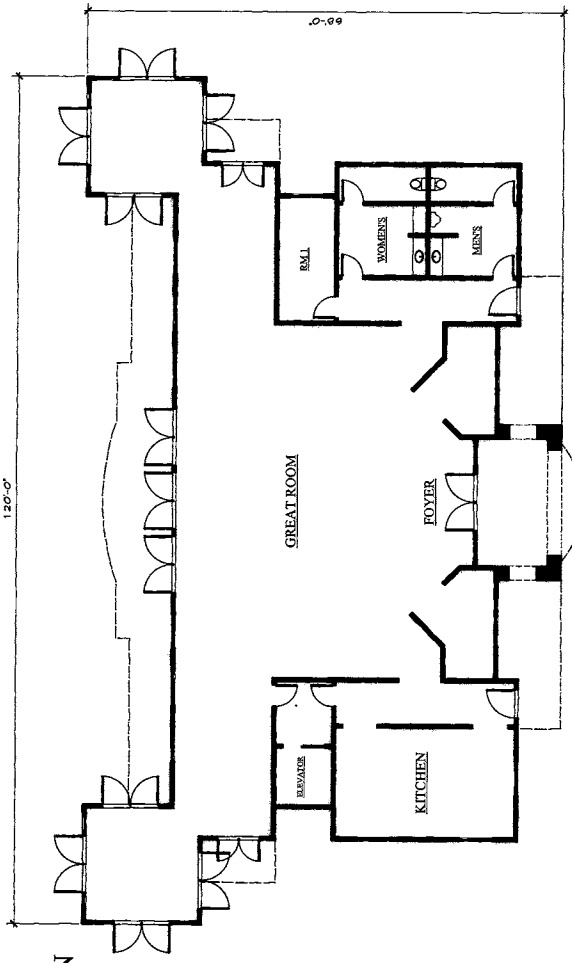
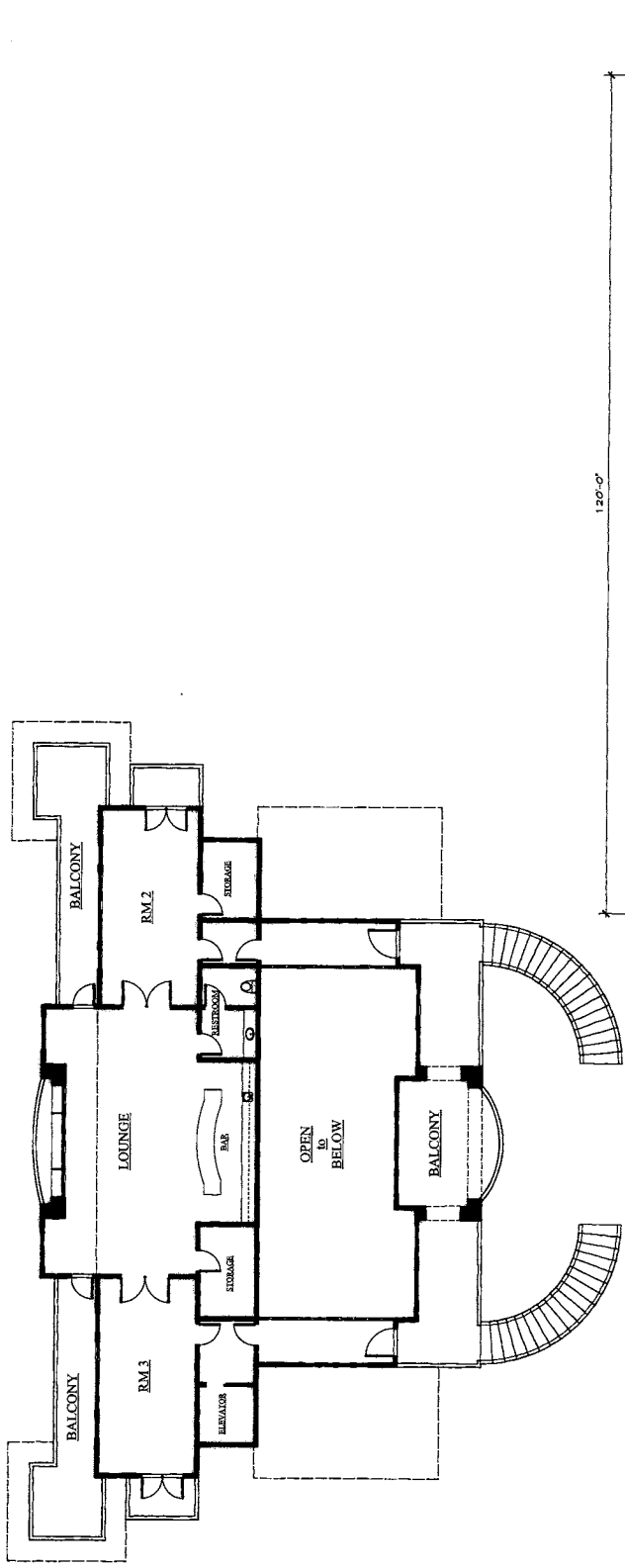
(805) 239-4560
FAX (805) 239-9912

CONTRACT NO. _____
 SHEET NO. _____
 DATE _____
 DRAWN BY _____
 CHECKED BY _____
 APPROVED BY _____

PROJECT TITLE
**CLUBHOUSE
FLOOR PLANS**

DATE
FEB 7, 2007

A8



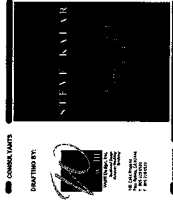
SCALE: 1/8" = 1'-0"

AREA CALC.	
FIRST LEVEL AREA	5014 SQ. FT.
SECOND LEVEL AREA	1114 SQ. FT.
TOTAL AREA	6128 SQ. FT.
GROUND COVER	3258 SQ. FT.
TOTAL PERIMETER	4588 FEET

Exhibit O2
 Clubhouse Details
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

**PASO ROBLES
MOTORCOACH
RESORT**
GOLDEN HILL RD
PASO ROBLES, CA 93446

(805) 239-4560
FAX (805) 239-9912

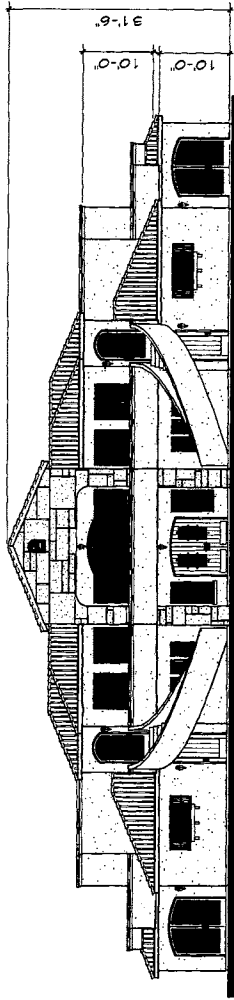


NO.	DATE	BY	REVISIONS

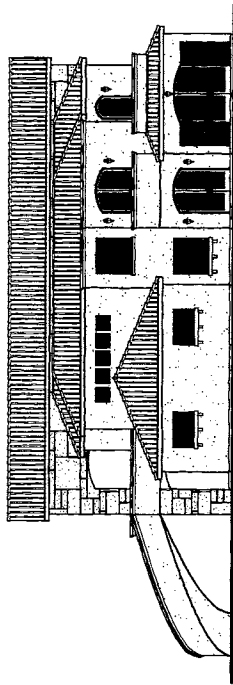
PROJECT
**CLUBHOUSE
ELEVATIONS**

94-037
DATE
FEB 7, 2007

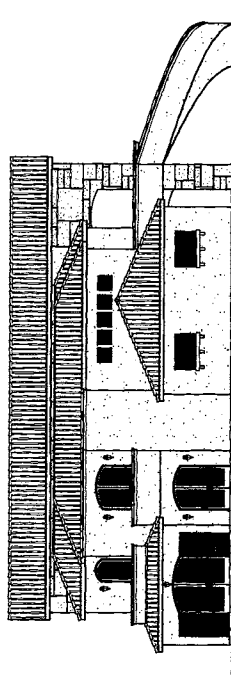
ARCHITECT
A9



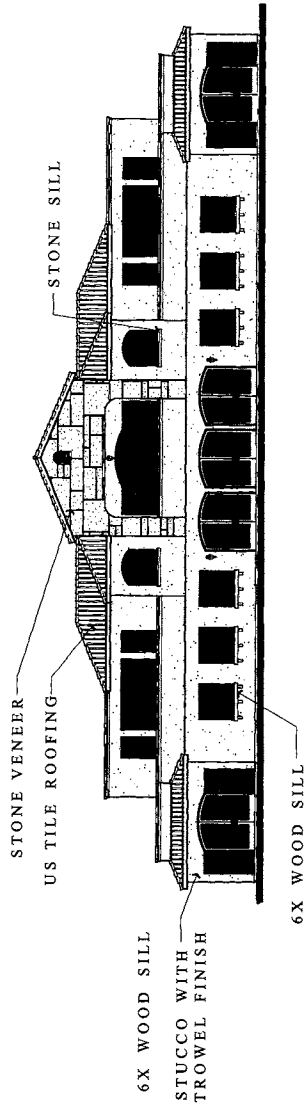
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION

SCALE: 1/8" = 1'-0"

Exhibit O3
Clubhouse Details
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

PASO ROBLES
MOTORCOACH
RESORT

GOLDEN HILL RD
PASO ROBLES, CA 93446

(805) 239-4560

FAX (805) 239-9912

CONTROL TAPE

GRAPHIC BY



DATE: _____

BY: _____

NO. _____

DATE _____

BY _____

NO. _____

DATE _____

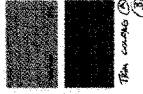
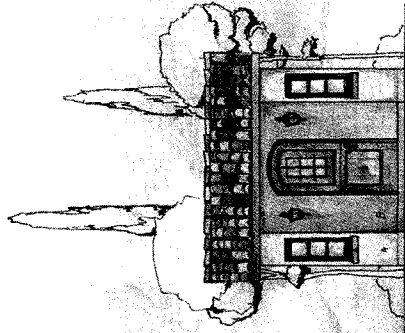
BY _____

NO. _____

DATE _____

BY _____

NO. _____



Dry concrete ①

Thin concrete ② ③

GUARDHOUSE

Exhibit P1
Guardhouse Details
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

SHEET TITLE

GUARDHOUSE
COLOR &
MATERIALS
SCHEDULE

DATE

01-107

FEB 7, 2007

PROJECT NO.

A10

PASO ROBLES
MOTORCOACH
RESORT

GOLDEN HILL RD
PASO ROBLES, CA 93446

(805) 239-4560

FAX (805) 239-9912



CONTRACT NO.

DRAWN BY

CHECKED BY

DATE

SCALE

PROJECT NO.

SHEET NO.

TOTAL SHEETS

DATE

SCALE

PROJECT NO.

SHEET NO.

TOTAL SHEETS

DATE

SCALE

PROJECT NO.

SHEET NO.

TOTAL SHEETS

DATE

SCALE

PROJECT NO.

SHEET NO.

TOTAL SHEETS

PROJECT TITLE

GUARDHOUSE
FLOOR PLAN &
ELEVATIONS

DATE

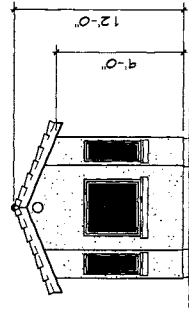
01-107

FEB 7, 2007

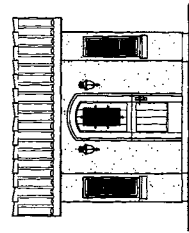
PROJECT NO.

A11

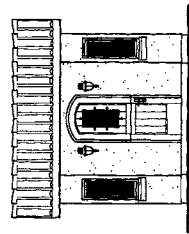
US TILE ROOFING
CLAY PIPE VENT
STUCCO WITH
TROWEL FINISH
STONE SILL



SOUTH

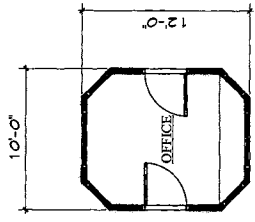


WEST



EAST

ELEVATIONS



FLOOR PLAN



SCALE: 1/4" = 1'-0"
9 3 4

AREA CALC.	
FIRST LEVEL AREA	113.8677
TOTAL AREA	113.8677
TOTAL STRUCTURE	113.8677

Exhibit P2
Guardhouse Details
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

PASO ROBLES
MOTORCOACH
RESORT

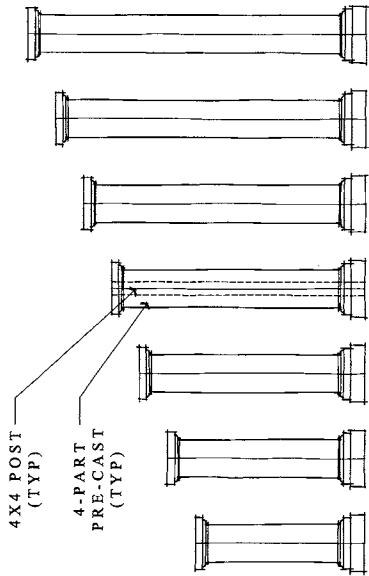
GOLDEN HILL RD
PASO ROBLES, CA 93446

(805) 239-4560

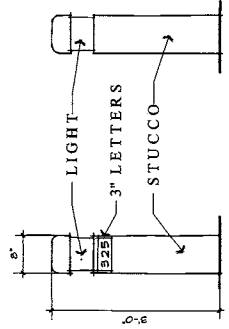
FAX (805) 239-9912



NO.	DATE	REVISION



COLUMNS



SITE BOLLARD

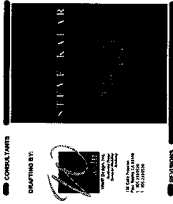
NOTE:
FOR ALL STRUCTURES ALL HVAC
EQUIPMENT TO BE AT GRADE AND
SCREENED FROM VIEW WITH
LANDSCAPING

MISC ITEMS

94-107 FEB 7, 2007
PROJECT No. DATE

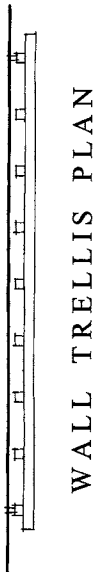
A12

Exhibit Q1
Misc. Items
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

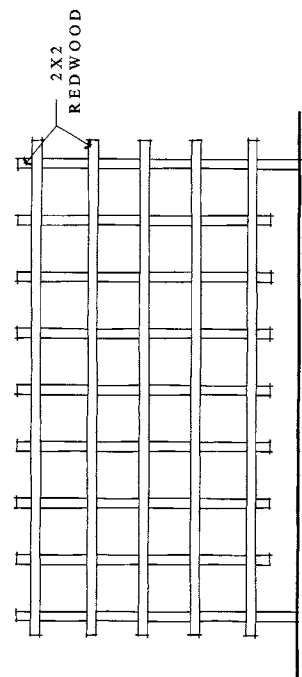


NO.	DATE	DESCRIPTION

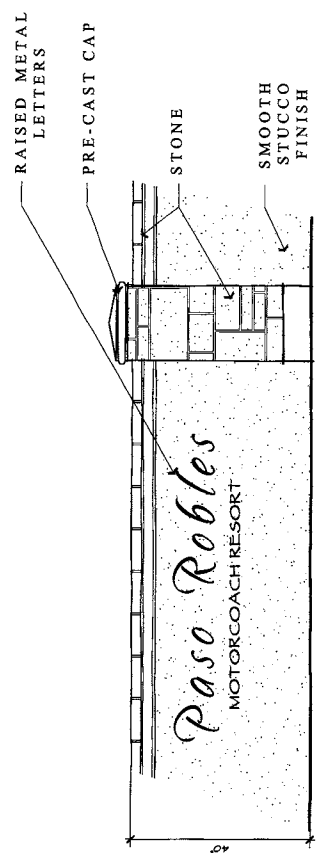
PROJECT NO.	DATE	SHEET NO.
04-087	FEB 7, 2007	A13



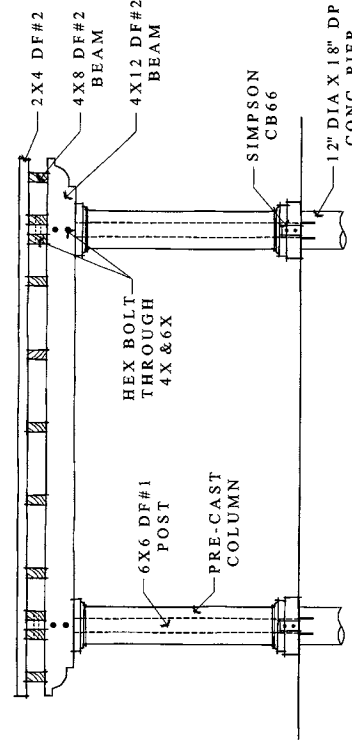
WALL TRELLIS PLAN



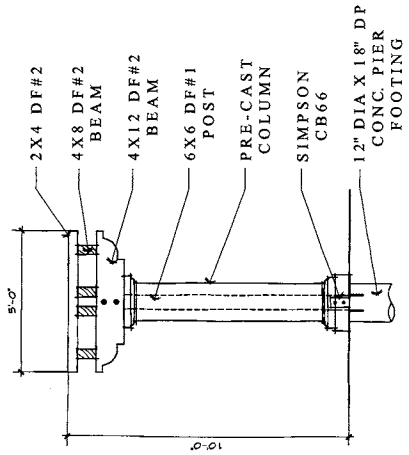
WALL TRELLIS ELEVATION



ENTRY SIGNAGE@TYPICAL WALL



TRELLIS FRONT ELEVATION



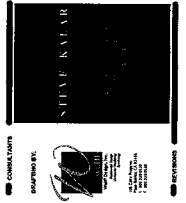
TRELLIS SIDE ELEVATION

Exhibit Q2
 Misc. Items
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

PASO ROBLES
MOTORCOACH
RESORT

GOLDEN HILL RD
PASO ROBLES, CA 93446

(805) 239-4560
FAX (805) 239-9912



NO. _____ DATE _____

BY _____

PROJECT TITLE
OUTDOOR LIGHTING

01-487
PROJECT NO.
FEB 7, 2007
DATE

A14
SHEET NO.

ACCESSORIES

PRODUCT FEATURES

• The fixture is made of die-cast aluminum with a powder-coated finish.

• The fixture is available in three sizes: Small, Medium, and Large.

• The fixture is available in three finishes: White, Bronze, and Black.

• The fixture is available in three styles: Traditional, Modern, and Contemporary.

• The fixture is available in three mounting options: Pole Mount, Wall Mount, and Deck Mount.

• The fixture is available in three light sources: Incandescent, CFL, and LED.

3400 SERIES MEDIUM

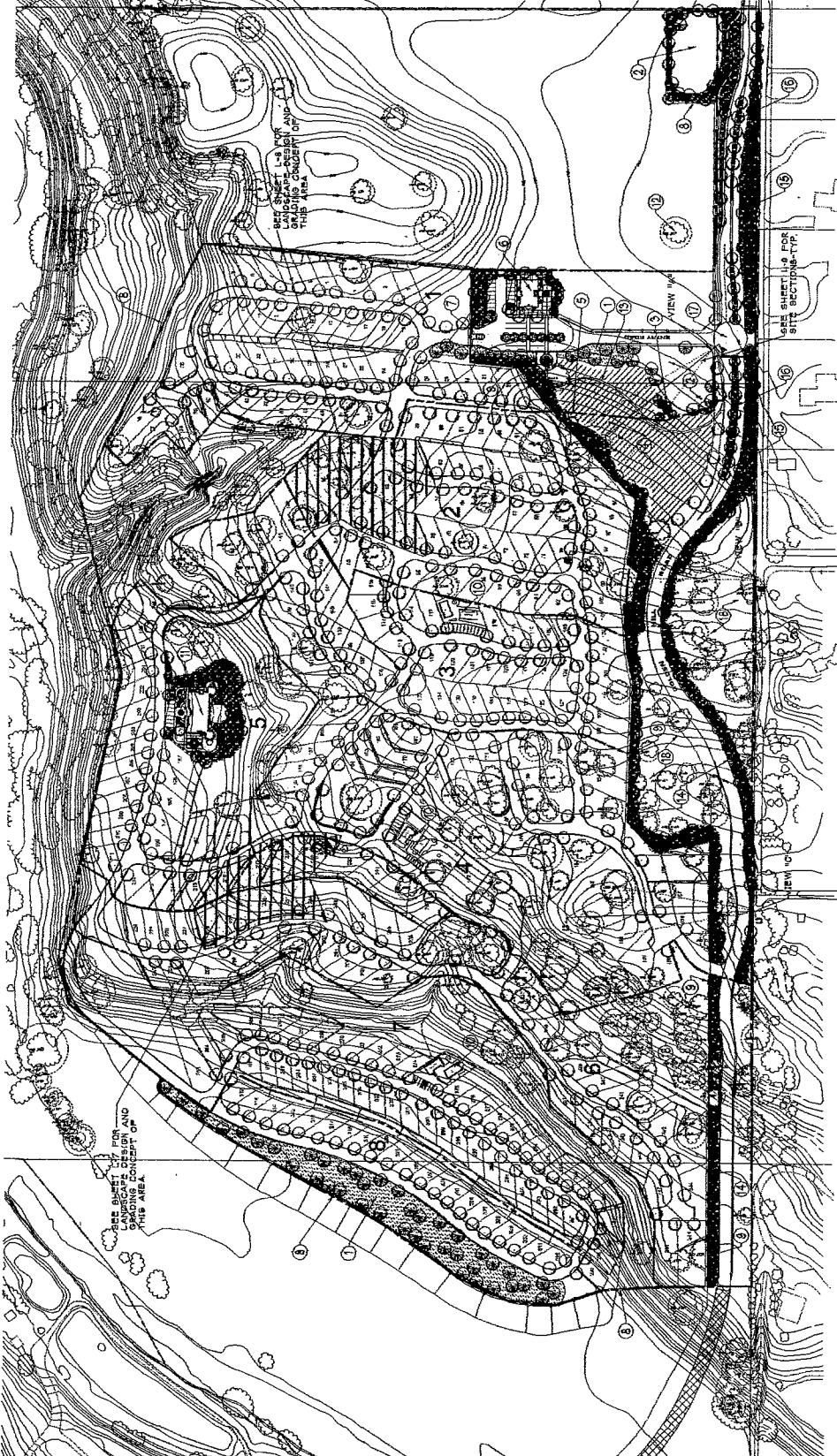
3400 SERIES LARGER

3400 SERIES

Exhibit R
Outdoor Lighting
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)





OVERALL LANDSCAPE PLAN
 1/4" = 100'-0"
 L-1

- CALL-OUT NOTES**
- 1. CUSHION BUILDING, SEE SHEET L-4.
 - 2. POND RESTRICTION BASIN.
 - 3. MONUMENT SIGN LOCATION.
 - 4. PHASE LINE.
 - 5. RESTRICTION BUILDING, SEE SHEET L-3.
 - 6. WOOD POLE AND WIRE FENCE, SEE SHEET L-3.
 - 7. HIGH MASONRY WALL DETAIL FINISH, SEE SHEET L-4.
 - 8. POOL COMPLEX, SEE SHEET L-3 FOR PHYSICAL DESIGN.
 - 9. CUSHION BUILDING, SEE SHEET L-4.
 - 10. POND RESTRICTION BASIN.
 - 11. MONUMENT SIGN LOCATION.
 - 12. PHASE LINE.
 - 13. RESTRICTION BUILDING, SEE SHEET L-3.
 - 14. WOOD POLE AND WIRE FENCE, SEE SHEET L-3.
 - 15. HIGH MASONRY WALL DETAIL FINISH, SEE SHEET L-4.
 - 16. POOL COMPLEX, SEE SHEET L-3 FOR PHYSICAL DESIGN.

- TREE SYMBOL LEGEND**
- 1" TREE SYMBOL
 - 2" TREE SYMBOL
 - 3" TREE SYMBOL
 - 4" TREE SYMBOL
 - 5" TREE SYMBOL
 - 6" TREE SYMBOL
 - 7" TREE SYMBOL
 - 8" TREE SYMBOL
 - 9" TREE SYMBOL
 - 10" TREE SYMBOL
 - 11" TREE SYMBOL
 - 12" TREE SYMBOL
 - 13" TREE SYMBOL
 - 14" TREE SYMBOL
 - 15" TREE SYMBOL
 - 16" TREE SYMBOL
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 - 91" TREE SYMBOL
 - 92" TREE SYMBOL
 - 93" TREE SYMBOL
 - 94" TREE SYMBOL
 - 95" TREE SYMBOL
 - 96" TREE SYMBOL
 - 97" TREE SYMBOL
 - 98" TREE SYMBOL
 - 99" TREE SYMBOL
 - 100" TREE SYMBOL

Exhibit S1
 Landscape Plans
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

KEY	DESCRIPTION
□	
□	
□	
□	
□	



CJP PRODUCTIONS INC.
LANDSCAPE ARCHITECTURE
805 498 7828

TITLE
LANDSCAPE PLAN (PHASE 1)
& LIGHTING PLAN
PROJECT
PASO ROBLES GOLF AND COUNTRY CLUB
GOLDEN HILL RD.
PASO ROBLES, CA.

SCALE 1"=60'-0"
DATE 10/21/04
JOB NO.
SHEET NO. L-2

PLANTING SYMBOL LEGEND

- 1. 8" DIO-SWALE AREA
- 2. 12" DIO-SWALE AREA
- 3. 18" DIO-SWALE AREA
- 4. 24" DIO-SWALE AREA
- 5. 30" DIO-SWALE AREA
- 6. 36" DIO-SWALE AREA
- 7. 42" DIO-SWALE AREA
- 8. 48" DIO-SWALE AREA
- 9. 54" DIO-SWALE AREA
- 10. 60" DIO-SWALE AREA
- 11. 66" DIO-SWALE AREA
- 12. 72" DIO-SWALE AREA
- 13. 78" DIO-SWALE AREA
- 14. 84" DIO-SWALE AREA
- 15. 90" DIO-SWALE AREA
- 16. 96" DIO-SWALE AREA
- 17. 102" DIO-SWALE AREA
- 18. 108" DIO-SWALE AREA
- 19. 114" DIO-SWALE AREA
- 20. 120" DIO-SWALE AREA
- 21. 126" DIO-SWALE AREA
- 22. 132" DIO-SWALE AREA
- 23. 138" DIO-SWALE AREA
- 24. 144" DIO-SWALE AREA
- 25. 150" DIO-SWALE AREA
- 26. 156" DIO-SWALE AREA
- 27. 162" DIO-SWALE AREA
- 28. 168" DIO-SWALE AREA
- 29. 174" DIO-SWALE AREA
- 30. 180" DIO-SWALE AREA
- 31. 186" DIO-SWALE AREA
- 32. 192" DIO-SWALE AREA
- 33. 198" DIO-SWALE AREA
- 34. 204" DIO-SWALE AREA
- 35. 210" DIO-SWALE AREA
- 36. 216" DIO-SWALE AREA
- 37. 222" DIO-SWALE AREA
- 38. 228" DIO-SWALE AREA
- 39. 234" DIO-SWALE AREA
- 40. 240" DIO-SWALE AREA
- 41. 246" DIO-SWALE AREA
- 42. 252" DIO-SWALE AREA
- 43. 258" DIO-SWALE AREA
- 44. 264" DIO-SWALE AREA
- 45. 270" DIO-SWALE AREA
- 46. 276" DIO-SWALE AREA
- 47. 282" DIO-SWALE AREA
- 48. 288" DIO-SWALE AREA
- 49. 294" DIO-SWALE AREA
- 50. 300" DIO-SWALE AREA
- 51. 306" DIO-SWALE AREA
- 52. 312" DIO-SWALE AREA
- 53. 318" DIO-SWALE AREA
- 54. 324" DIO-SWALE AREA
- 55. 330" DIO-SWALE AREA
- 56. 336" DIO-SWALE AREA
- 57. 342" DIO-SWALE AREA
- 58. 348" DIO-SWALE AREA
- 59. 354" DIO-SWALE AREA
- 60. 360" DIO-SWALE AREA
- 61. 366" DIO-SWALE AREA
- 62. 372" DIO-SWALE AREA
- 63. 378" DIO-SWALE AREA
- 64. 384" DIO-SWALE AREA
- 65. 390" DIO-SWALE AREA
- 66. 396" DIO-SWALE AREA
- 67. 402" DIO-SWALE AREA
- 68. 408" DIO-SWALE AREA
- 69. 414" DIO-SWALE AREA
- 70. 420" DIO-SWALE AREA
- 71. 426" DIO-SWALE AREA
- 72. 432" DIO-SWALE AREA
- 73. 438" DIO-SWALE AREA
- 74. 444" DIO-SWALE AREA
- 75. 450" DIO-SWALE AREA
- 76. 456" DIO-SWALE AREA
- 77. 462" DIO-SWALE AREA
- 78. 468" DIO-SWALE AREA
- 79. 474" DIO-SWALE AREA
- 80. 480" DIO-SWALE AREA
- 81. 486" DIO-SWALE AREA
- 82. 492" DIO-SWALE AREA
- 83. 498" DIO-SWALE AREA
- 84. 504" DIO-SWALE AREA
- 85. 510" DIO-SWALE AREA
- 86. 516" DIO-SWALE AREA
- 87. 522" DIO-SWALE AREA
- 88. 528" DIO-SWALE AREA
- 89. 534" DIO-SWALE AREA
- 90. 540" DIO-SWALE AREA
- 91. 546" DIO-SWALE AREA
- 92. 552" DIO-SWALE AREA
- 93. 558" DIO-SWALE AREA
- 94. 564" DIO-SWALE AREA
- 95. 570" DIO-SWALE AREA
- 96. 576" DIO-SWALE AREA
- 97. 582" DIO-SWALE AREA
- 98. 588" DIO-SWALE AREA
- 99. 594" DIO-SWALE AREA
- 100. 600" DIO-SWALE AREA

CALL-OUT NOTES

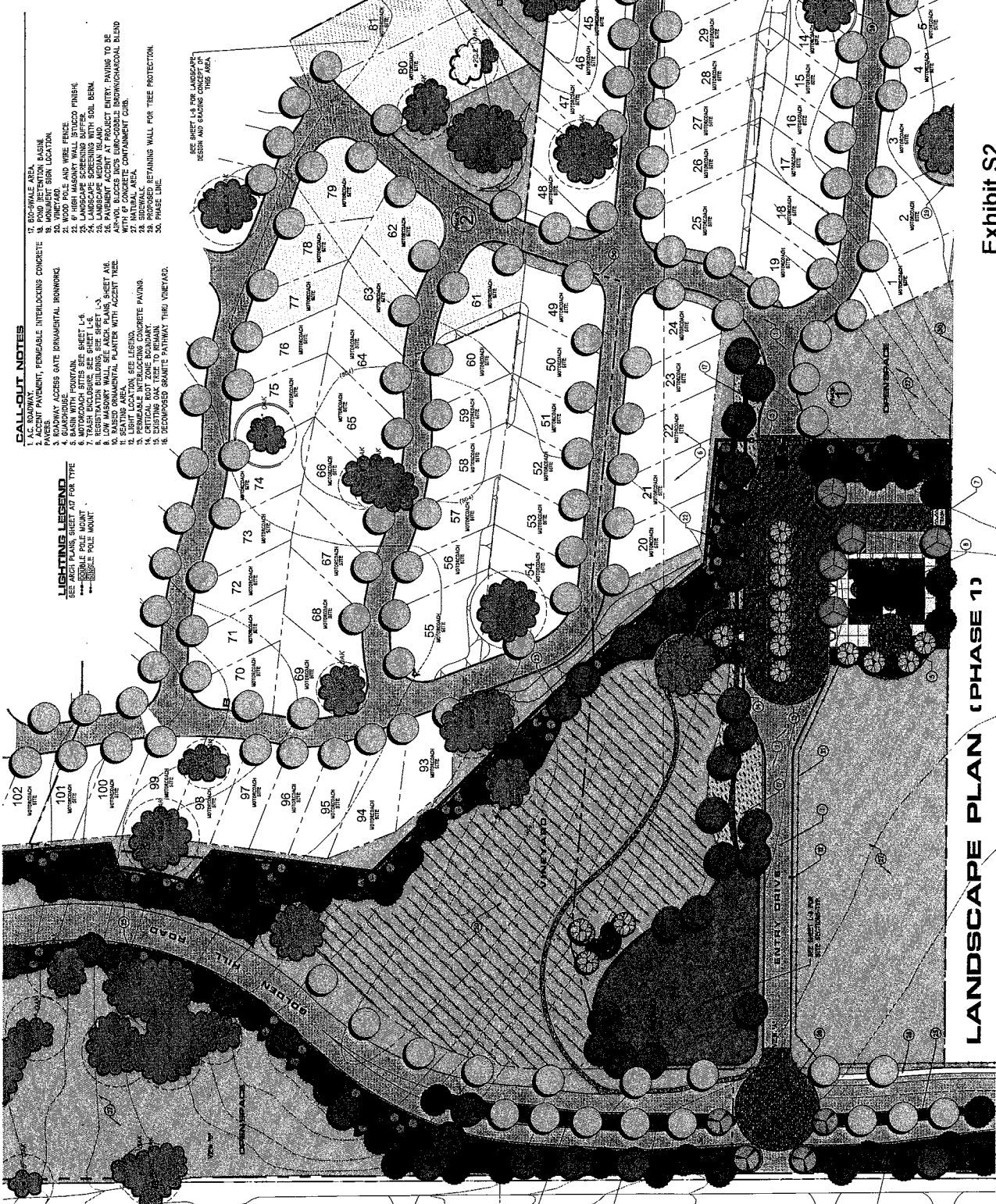
1. A.C. ROADWAY.
2. PAVEMENT.
3. PAVEMENT INTERLOCKING CONCRETE.
4. POND RETENTION BASIN.
5. VINEYARD.
6. VINEYARD ACCESS GATE.
7. WOOD POLE AND WIRE FENCE.
8. LANDSCAPE SCREENING BUFFER.
9. LANDSCAPE SCREENING BUFFER.
10. AP-WAL SLOPES BENEATH CONCRETE.
11. AP-WAL SLOPES BENEATH CONCRETE.
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39. AP-WAL SLOPES BENEATH CONCRETE.
40. AP-WAL SLOPES BENEATH CONCRETE.

LIGHTING LEGEND

- 1. 1" SQUARE LIGHT FIXTURE
- 2. 2" SQUARE LIGHT FIXTURE
- 3. 3" SQUARE LIGHT FIXTURE
- 4. 4" SQUARE LIGHT FIXTURE
- 5. 6" SQUARE LIGHT FIXTURE
- 6. 8" SQUARE LIGHT FIXTURE
- 7. 10" SQUARE LIGHT FIXTURE
- 8. 12" SQUARE LIGHT FIXTURE
- 9. 14" SQUARE LIGHT FIXTURE
- 10. 16" SQUARE LIGHT FIXTURE
- 11. 18" SQUARE LIGHT FIXTURE
- 12. 20" SQUARE LIGHT FIXTURE
- 13. 22" SQUARE LIGHT FIXTURE
- 14. 24" SQUARE LIGHT FIXTURE
- 15. 26" SQUARE LIGHT FIXTURE
- 16. 28" SQUARE LIGHT FIXTURE
- 17. 30" SQUARE LIGHT FIXTURE
- 18. 32" SQUARE LIGHT FIXTURE
- 19. 34" SQUARE LIGHT FIXTURE
- 20. 36" SQUARE LIGHT FIXTURE
- 21. 38" SQUARE LIGHT FIXTURE
- 22. 40" SQUARE LIGHT FIXTURE
- 23. 42" SQUARE LIGHT FIXTURE
- 24. 44" SQUARE LIGHT FIXTURE
- 25. 46" SQUARE LIGHT FIXTURE
- 26. 48" SQUARE LIGHT FIXTURE
- 27. 50" SQUARE LIGHT FIXTURE
- 28. 52" SQUARE LIGHT FIXTURE
- 29. 54" SQUARE LIGHT FIXTURE
- 30. 56" SQUARE LIGHT FIXTURE
- 31. 58" SQUARE LIGHT FIXTURE
- 32. 60" SQUARE LIGHT FIXTURE
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- 34. 64" SQUARE LIGHT FIXTURE
- 35. 66" SQUARE LIGHT FIXTURE
- 36. 68" SQUARE LIGHT FIXTURE
- 37. 70" SQUARE LIGHT FIXTURE
- 38. 72" SQUARE LIGHT FIXTURE
- 39. 74" SQUARE LIGHT FIXTURE
- 40. 76" SQUARE LIGHT FIXTURE
- 41. 78" SQUARE LIGHT FIXTURE
- 42. 80" SQUARE LIGHT FIXTURE
- 43. 82" SQUARE LIGHT FIXTURE
- 44. 84" SQUARE LIGHT FIXTURE
- 45. 86" SQUARE LIGHT FIXTURE
- 46. 88" SQUARE LIGHT FIXTURE
- 47. 90" SQUARE LIGHT FIXTURE
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- 55. 106" SQUARE LIGHT FIXTURE
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- 59. 114" SQUARE LIGHT FIXTURE
- 60. 116" SQUARE LIGHT FIXTURE
- 61. 118" SQUARE LIGHT FIXTURE
- 62. 120" SQUARE LIGHT FIXTURE
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- 93. 182" SQUARE LIGHT FIXTURE
- 94. 184" SQUARE LIGHT FIXTURE
- 95. 186" SQUARE LIGHT FIXTURE
- 96. 188" SQUARE LIGHT FIXTURE
- 97. 190" SQUARE LIGHT FIXTURE
- 98. 192" SQUARE LIGHT FIXTURE
- 99. 194" SQUARE LIGHT FIXTURE
- 100. 196" SQUARE LIGHT FIXTURE
- 101. 198" SQUARE LIGHT FIXTURE
- 102. 200" SQUARE LIGHT FIXTURE

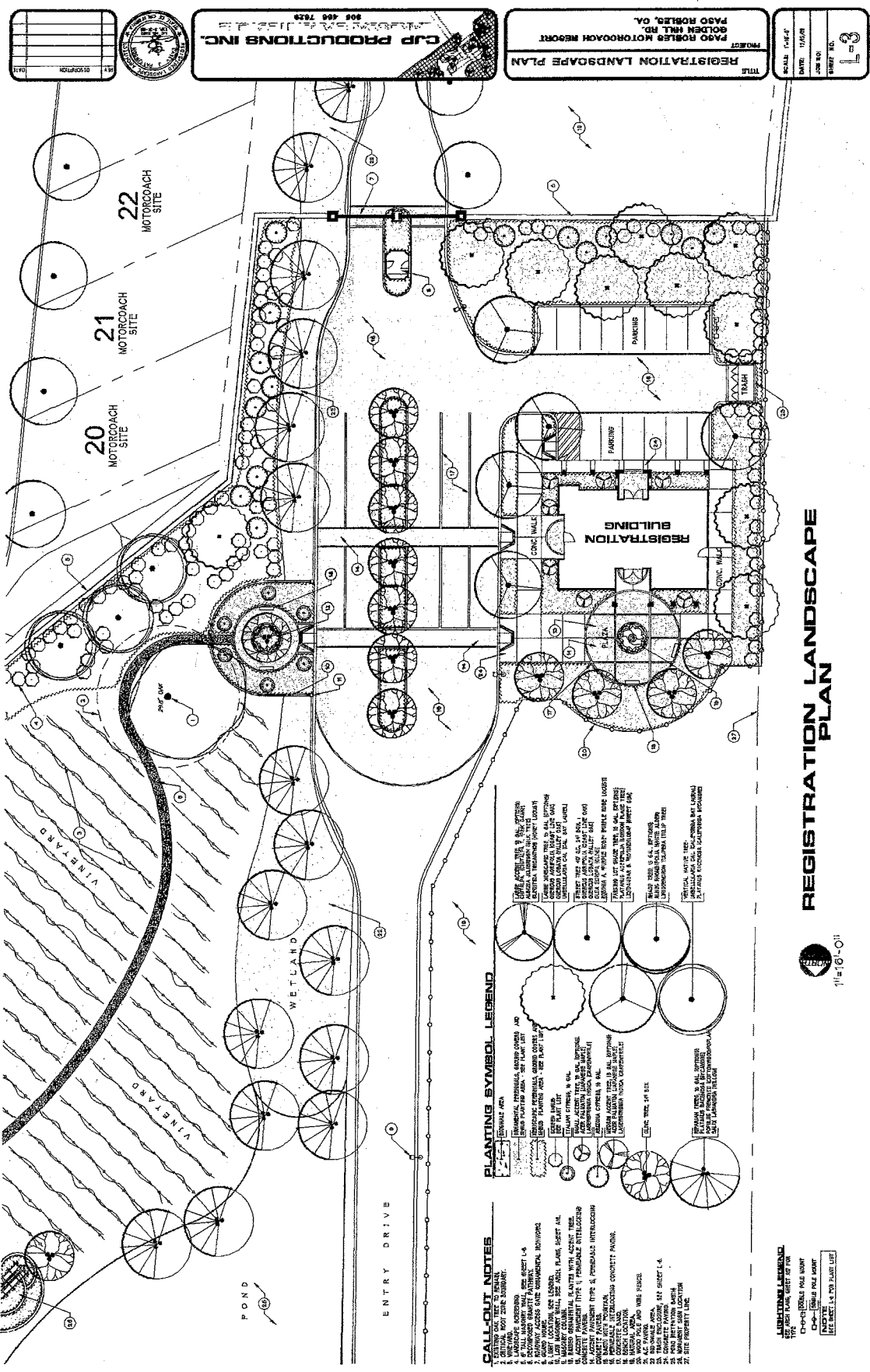
NOTE

SEE SHEET L-5 FOR TREE PLANT LIST.
SEE SHEET L-6 FOR TREE PLANT LIST.
SEE SHEET L-7 FOR TREE PLANT LIST.
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SEE SHEET L-100 FOR TREE PLANT LIST.



LANDSCAPE PLAN (PHASE 1)

Exhibit S2
Landscape Plans
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)



DATE	DESCRIPTION



CJP PRODUCTIONS INC.
 808 450 7028

REGISTRATION LANDSCAPE PLAN
 PROJECT: PASO ROBLES MOTORCOACH RESORT
 GOLDEN HILL RD.
 PASO ROBLES, CA

SCALE: 1/8" = 1'-0"
 DATE: 11/2/01
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SHEET NO. 1-3

- CALL-OUT NOTES**
1. VINEYARD, 200' X 200' SUBMIT.
 2. VINEYARD, 200' X 200' SUBMIT.
 3. VINEYARD, 200' X 200' SUBMIT.
 4. VINEYARD, 200' X 200' SUBMIT.
 5. VINEYARD, 200' X 200' SUBMIT.
 6. VINEYARD, 200' X 200' SUBMIT.
 7. VINEYARD, 200' X 200' SUBMIT.
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 25. VINEYARD, 200' X 200' SUBMIT.
 26. VINEYARD, 200' X 200' SUBMIT.
 27. VINEYARD, 200' X 200' SUBMIT.
- PLANTING SYMBOL LEGEND**
- 1. [Symbol] - [Plant Name]
 - 2. [Symbol] - [Plant Name]
 - 3. [Symbol] - [Plant Name]
 - 4. [Symbol] - [Plant Name]
 - 5. [Symbol] - [Plant Name]
 - 6. [Symbol] - [Plant Name]
 - 7. [Symbol] - [Plant Name]
 - 8. [Symbol] - [Plant Name]
 - 9. [Symbol] - [Plant Name]
 - 10. [Symbol] - [Plant Name]
 - 11. [Symbol] - [Plant Name]
 - 12. [Symbol] - [Plant Name]
 - 13. [Symbol] - [Plant Name]
 - 14. [Symbol] - [Plant Name]
 - 15. [Symbol] - [Plant Name]
 - 16. [Symbol] - [Plant Name]
 - 17. [Symbol] - [Plant Name]
 - 18. [Symbol] - [Plant Name]
 - 19. [Symbol] - [Plant Name]
 - 20. [Symbol] - [Plant Name]
 - 21. [Symbol] - [Plant Name]
 - 22. [Symbol] - [Plant Name]
 - 23. [Symbol] - [Plant Name]
 - 24. [Symbol] - [Plant Name]
 - 25. [Symbol] - [Plant Name]
 - 26. [Symbol] - [Plant Name]
 - 27. [Symbol] - [Plant Name]

REGISTRATION LANDSCAPE PLAN

Exhibit S3
 Landscape Plans
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)



1/4" = 1'-0"

LEGEND
 [Symbol] - [Plant Name]
 [Symbol] - [Plant Name]
 [Symbol] - [Plant Name]
 [Symbol] - [Plant Name]
 [Symbol] - [Plant Name]

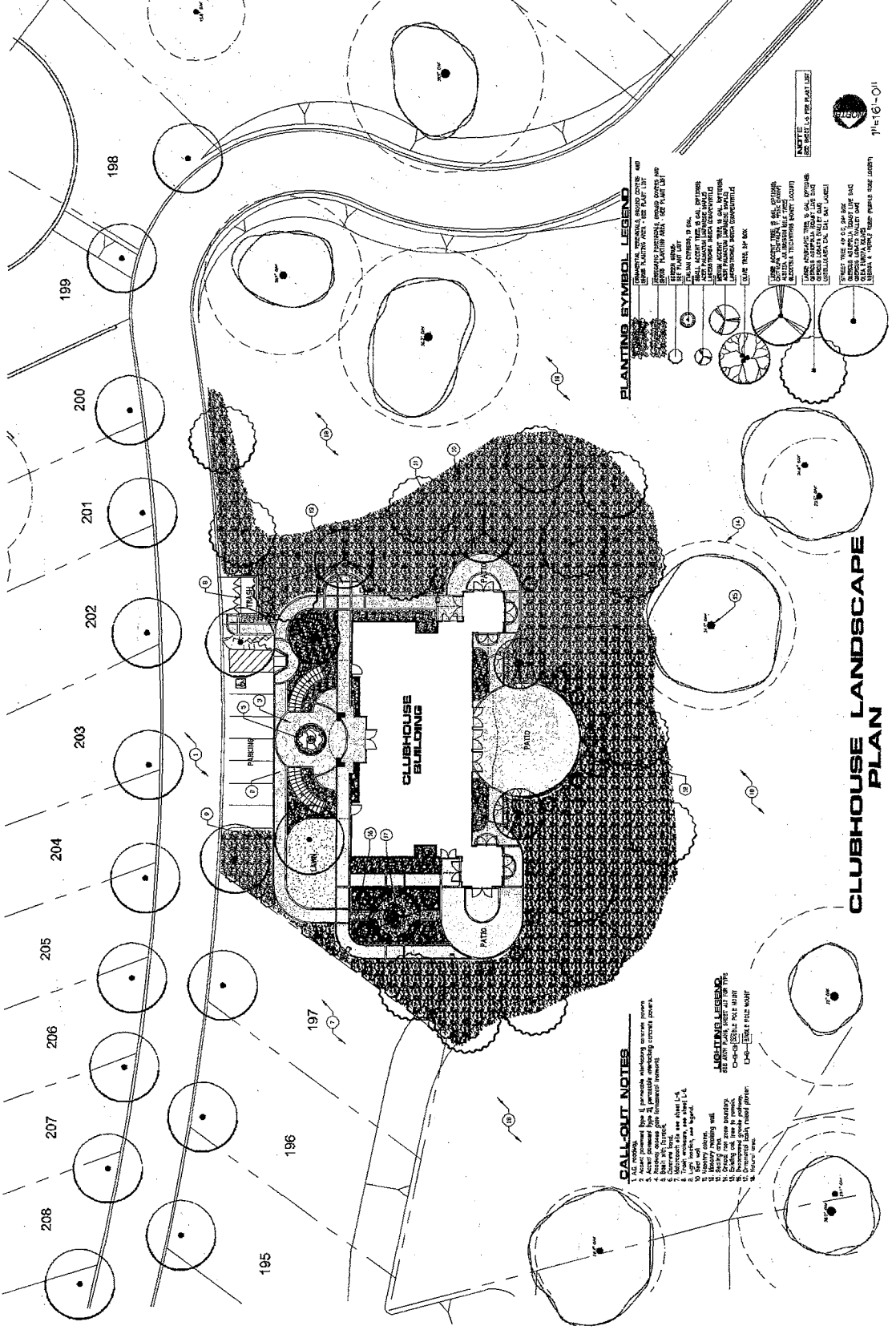
DATE	
BY	
REV	



CJP PRODUCTIONS INC.
 208 488 7829
 208 488 7829

CLUBHOUSE LANDSCAPE PLAN
 PASO ROBLES MOTORCOACH RESORT
 GOLDEN HILL RD.
 PASO ROBLES, CA

SCALE: 1/4" = 1'-0"
 DATE: 10/20/03
 SHEET NO.:
 TOTAL SHEETS: 4
L=4



PLANTING SYMBOL LEGEND

1. 1/2" CAL. OAK
 2. 1/2" CAL. PALM
 3. 1/2" CAL. PINE
 4. 1/2" CAL. CEDAR
 5. 1/2" CAL. JUNIPER
 6. 1/2" CAL. YUCCA
 7. 1/2" CAL. AGAVE
 8. 1/2" CAL. SAGO PALM
 9. 1/2" CAL. OLIVE
 10. 1/2" CAL. ACACIA
 11. 1/2" CAL. EUCALYPTUS
 12. 1/2" CAL. MYRTLE
 13. 1/2" CAL. LAVENDER
 14. 1/2" CAL. ROSEMARY
 15. 1/2" CAL. THYME
 16. 1/2" CAL. BASIL
 17. 1/2" CAL. MINT
 18. 1/2" CAL. PARSLEY
 19. 1/2" CAL. DILL
 20. 1/2" CAL. CHIVES
 21. 1/2" CAL. GARLIC
 22. 1/2" CAL. ONION
 23. 1/2" CAL. PEPPER
 24. 1/2" CAL. TOMATO
 25. 1/2" CAL. CUCUMBER
 26. 1/2" CAL. ZUCCHINI
 27. 1/2" CAL. SQUASH
 28. 1/2" CAL. MELON
 29. 1/2" CAL. WATERMELON
 30. 1/2" CAL. CANTALOUPE

CALL-OUT NOTES

1. ALL NOTES
 2. SEE PLANTING LEGEND FOR TREE SYMBOLS
 3. SEE PLANTING LEGEND FOR TREE SYMBOLS
 4. SEE PLANTING LEGEND FOR TREE SYMBOLS
 5. SEE PLANTING LEGEND FOR TREE SYMBOLS
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 30. SEE PLANTING LEGEND FOR TREE SYMBOLS

CLUBHOUSE LANDSCAPE PLAN

Exhibit S4
 Landscape Plans
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

NO.	DESCRIPTION	DATE



CJP PRODUCTIONS INC.
 908 466 7828
 908 466 7828

PROJECT: PASO ROBLES MOTORCOACH RESORT
TITLE: TRASH ENCL. & SIGN
EXAMPLE SITE PLANS

SCALE:	DATE:	DRAWN:

EXAMPLE DESIGN
 for a
MOTORCOACH SITE
 BACK-IN SITE

1/4" = 10'-0"

- CALL-OUT NOTES**
1. SITE PLANS FOR SITE MARKERS AND ARCH PLANS, SEE TAB.
 2. CONCRETE CONTAINMENT CURB FOR PARKING.
 3. UTILITY CENTER FOR TEL, CABLE TV, ELEC, WATER, AND WASTE.
 4. PERIMETER AND INTERLOCKING CONCRETE PATIOS.
 5. FURNITURE, VEHICLE PARKERS.

NOTE: SEE SHEET S-1 FOR SPECIAL GRADING AND
 INTERLOCKING CURB FOR MOTORCOACH SITE.

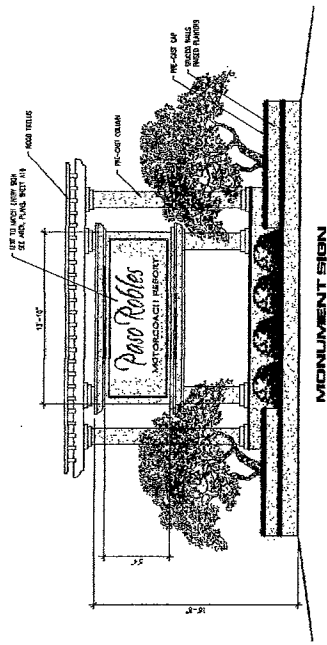
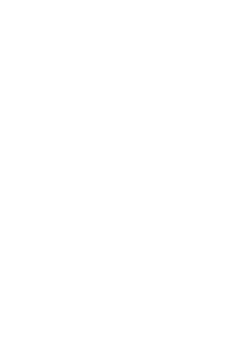
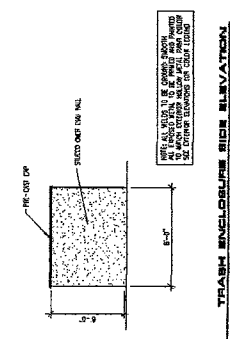
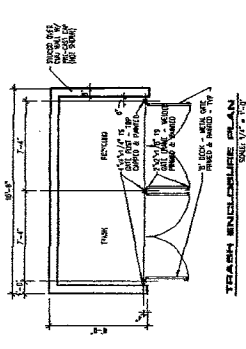
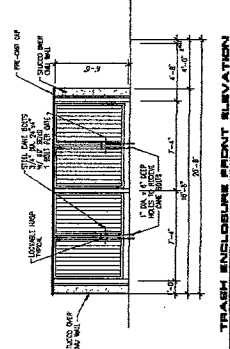
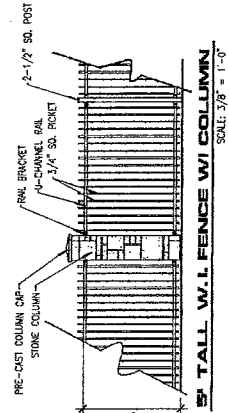
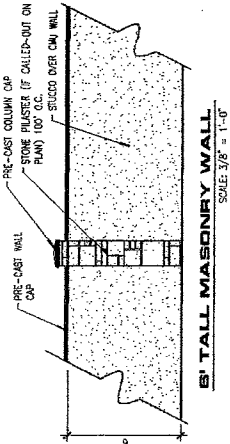
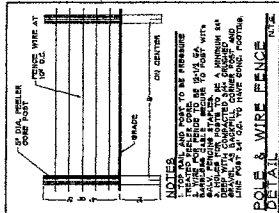
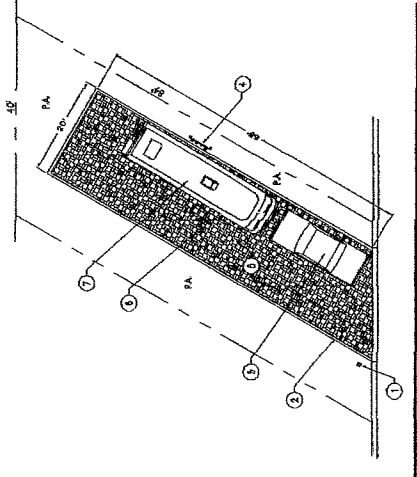


Exhibit S6
 Landscape Plans
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

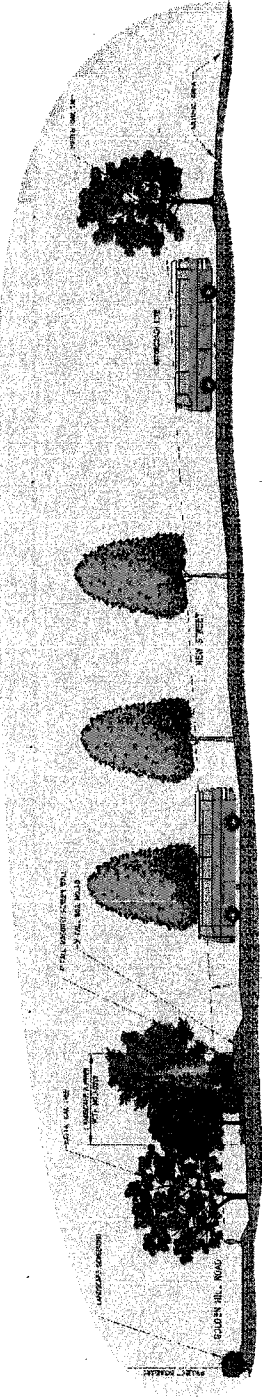
DATE	12/08/07
BY	12/08/07



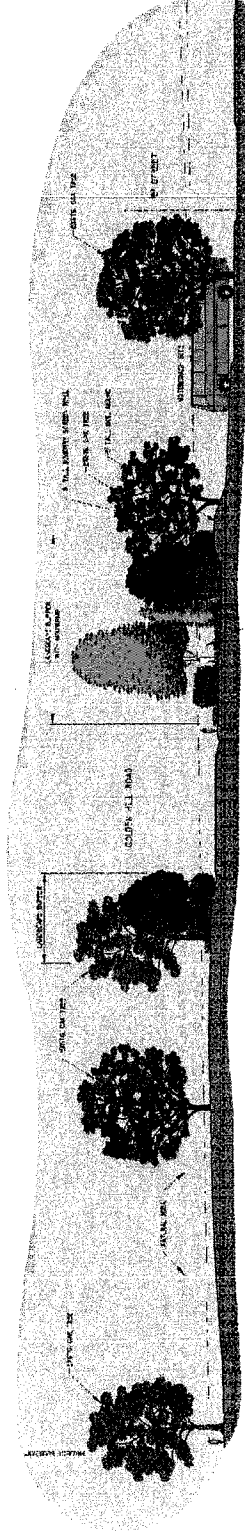
CUP PRODUCTIONS INC.
 LANDSCAPE ARCHITECTS
 905-498-7888
 7888

SITE SECTIONS
 PROJECT: PASO ROBLES MOTORCOACH RESORT
 GOLDEN HILLS RD
 PASO ROBLES, TX

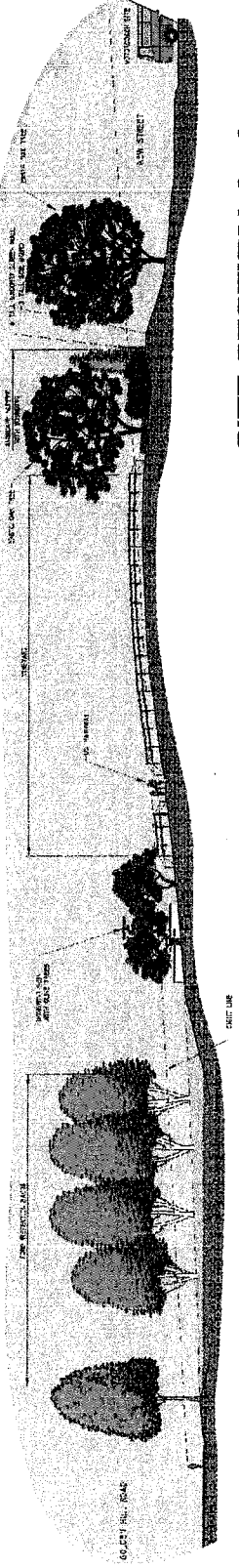
1
 SHEET NO.
 DATE: 12/08/07
 SCALE: 1"=16'-0"



SITE SECTION C-C
 1"=16'-0"



SITE SECTION B-B
 1"=16'-0"



SITE SECTION A-A
 1"=16'-0"

Exhibit S9
 Landscape Plans
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

