

RESOLUTION NO. 08-046

A RESOLUTION OF
THE PLANNING COMMISSION OF THE CITY OF PASO ROBLES
RECOMMEND THAT THE CITY COUNCIL APPROVE
GENERAL PLAN AMENDMENT 07-003, REZONE 07-003, PD 07-014, CUP 07-020
AND TENTATIVE PARCEL MAP PR 06-0272
1450 GOLDEN HILL ROAD, APN 025-366-012 & 018
APPLICANT – JON BASILA, GOLDEN HILL ROAD DEVELOPMENT, LLC

WHEREAS, the project (Planned Development 07-014 et al) has been filed by North Coast Engineering on behalf of Jon Basila of Golden Hill Retirement Community, to construct a 125 unit, retirement community; and

WHEREAS, the project is located on the 11.8 acre site at 1450 Golden Hill Road; and

WHEREAS, in conjunction with PD 07-014, the applicant has submitted General Plan Amendment 07-003 and Rezone 07-003, changing the land use designation of the site from RSF-2 to RMF-12 and changing the zoning designation from R1,B3 to R3-PD; and

WHEREAS, also submitted with the project is Conditional Use Permit 07-020, for the residential care facility use, as required by Table 21.16.200; and

WHEREAS, Tentative Parcel Map PR 06-0272 has also been submitted, which would subdivide the 13.9 acre site into two parcels, where Parcel 1 would be 2.1 acres and Parcel 2 would be 11.8 acres; and

WHEREAS, pursuant to the Statutes and Guidelines of the California Environmental Quality Act (CEQA), and the City's Procedures for Implementing CEQA, an Initial Study was prepared and circulated for public review and comment; and

WHEREAS, the Planning Commission held a duly noticed public hearing on October 14, 2008 on this project to accept public testimony on the Planned Development application PD 07-014 and associated environmental review; and

WHEREAS, the Planning Commission recommended that the City Council approve PD 07-014 et al; and

WHEREAS, based on the information and analysis contained in the Initial Study, the Planning Commission recommends that the City Council make a determination that the proposed project will not result in significant environmental impacts and it is appropriate for the City Council to adopt a Mitigated Negative Declaration; and

WHEREAS, based upon the facts and analysis presented in the staff report and the attachments thereto, the public testimony received, and subject to the Conditions of Approval listed below, the Planning Commission makes the following findings:

1. The project is consistent with the adopted codes, policies, standards and plans of the City; since the project has gone through the development review process including,

environmental review and the processing of a Conditional Use Permit as required by Table 21.16.200 for residential care facilities in the R1/R3 zoning districts; and

2. The proposed development plan will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the residents and or businesses in the surrounding area, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City; since the project will be required to comply with the recommended conditions of approval, including any environmental mitigation measures, and comply with any building and fire codes; and
3. The proposed development plan accommodates the aesthetic quality of the City as a whole, especially where development will be visible from the gateways to the City, scenic corridors and the public right-of-way; in this particular case, the project site is not located in a City gateway area or a scenic corridor and has minimal frontage to the public street, however, based on the project being designed to fit the subject site and based on the site plan, architecture and landscaping, the proposed development will accommodate the aesthetic quality of the City as a whole; and
4. The proposed development plan is compatible with, and is not detrimental to, surrounding land uses and improvements, provides an appropriate visual appearance, and contributes to the mitigation of any environmental and social impacts, because the project use is similar to other non single family residential uses in the neighborhood such as churches and pre-schools, and as a result of the site planning, building architecture and environmental mitigation.
5. The proposed development plan is compatible with existing scenic and environmental resources such as hillsides, oak trees, vistas, etc. as a result of the project be constructed within the lower areas of the site, which allows for the preservation of the existing hillsides and oak tree located at the top of the hill; and
6. The proposed development plan contributes to the orderly development of the City as a whole, since the project will utilize the existing infrastructure in Golden Hill Road, consisting of sewer water and other utilities; and
7. The proposed development plan as conditioned would meet the intent of the General Plan and Zoning Ordinance by providing for a mix of housing types in the multi-family districts.
8. The proposed expansion would be consistent with the Zoning, General Plan and Economic Strategy by providing for a range of housing types, densities, and affordability levels to meet the diverse needs of the community.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission recommends that the City Council of the City of El Paso de Robles approve Planned Development 07-014 et al, subject to the following conditions:

STANDARD CONDITIONS:

1. This resolution will not take effect until 31 days after the adoption of Ord.No.XXX N. S.

2. The applicant/developer shall comply with those standard conditions which are indicated as applicable in "Exhibit A" to this resolution.
3. The applicant shall comply with all those standard and site specific conditions which are contained in the Resolution and its exhibits approving CUP 07-020, PR 06-0272 and associated Mitigated Negative Declaration.
4. To the extent allowable by law, Owner agrees to hold City harmless from costs and expenses, including attorney's fees, incurred by City or held to be the liability of City in connection with City's defense of its actions in any proceeding brought in any State or Federal court challenging the City's actions with respect to the project. Owner understands and acknowledges that City is under no obligation to defend any legal actions challenging the City's actions with respect to the project.

SITE SPECIFIC CONDITIONS:

NOTE: In the event of conflict or duplication between standard and site-specific conditions, the site-specific condition shall supersede the standard condition.

5. The project shall be constructed in substantial conformance with the Conditions of Approval established by this Resolution and it shall be constructed in substantial conformance with the following Exhibits:

EXHIBIT	DESCRIPTION
A	Standard Conditions
B	Cover Sheet
C	Overall Site Plan
D	Compliance Summary
E1-E6	Floor Plans
F1-F4	Architectural Elevations
G	Site Sections
H	Site Furnishings
I	Landscape Concept Plan
J	NCE Title Sheet
K	Tentative Parcel Map PR 06-0272
L1-L4	Preliminary Grading Plans
M	Preliminary Underground Plan
N	Site Cross Sections

6. This PD 07-014 along with Conditional Use Permit 07-020 allows for development of a 140,000 square foot, 125-unit senior retirement community/residential care facility on the 11.8 acre site (Parcel 2 of PR 06-0272).
7. The project shall be designed and constructed to be in substantial conformance with Exhibits A-M approved with this resolution.
8. Prior to the issuance of a building permit, the DRC shall review the following items:

- a. final site details such as landscaping, decorative paving, benches, exterior lighting and any other site planning details;
 - b. Architectural elevations, including final materials, colors and details;
 - c. Equipment such as back flow devices, transformers, a/c condensers and appropriate screening methods for both visual and noise. Back flow should not be visible from Golden Hill Road;
 - d. Review site plan to verify that any noise making operations of the facility such as but not limited to kitchens, equipment rooms and auditoriums are located in a manner, or designed so that noise from these areas are not directed towards neighboring residential uses.
 - e. Final grading and drainage plans.
9. Deliveries products and services to and from the site shall be limited to 8:00am to 7:00pm, in order to reduce the amount of noise on the residents within the community and in the adjacent neighborhoods. Additionally any delivery vehicles parked on the site, shall not be allowed to leave the motor running (idle).
10. The applicant shall take the steps necessary to annex to or form a City Community Facilities District (CFD) in order to provide funding for City services for each new parcel or dwelling unit in the proposed development. The agreement to form or annex to a CFD shall be in a manner to be approved by the City Attorney. Participation in a City CFD for services is intended to fully mitigate the incremental impact of new residential development on City services and maintain such services at the standards established in the General Plan.

If for any reason, applicant does not take the necessary steps to have the development included within a CFD, applicant shall, in a manner subject to approval by the City Council and City Attorney, provide for alternative means of fiscal mitigation at a level equal to the special taxes established in the Rate and Method of Apportionment applicable to CFD 2005-1, as they may be adjusted from time to time.

For any project resulting in the development of five (5) or more residential units on separate parcels, applicant shall also prepare and record the necessary documents to form a homeowners association (the "HOA") for such development, which HOA shall become active only if and when the CFD is terminated. The HOA documents shall provide that the HOA shall be required to fund the services provided by the CFD, and at the same level established in the Rate and Method of Apportionment for the CFD.

11. APCD MITIGATIONS:

APCD-1 Prior to any grading on the site, the project proponent shall ensure that a geologic evaluation is conducted to determine if Naturally Occurring Asbestos (NOA) is present within the area that will be disturbed. If NOA is not present, as exemption form must be filed with the District. If NOA is found at the site the applicant must comply with all requirements outlined in the Asbestos (Air Toxics Control Measure) ACTM.

APCD-2 If utility pipelines are scheduled for removal or relocation; or building are removed or renovated this project may be subject to various regulatory jurisdictions, including the requirements stipulated in the National Emission

Standard for Hazardous Air Pollutants (40CFR61,Subpart M – asbestos NESHAP).

APCD-3 The project shall be conditioned to comply with all applicable District regulations pertaining to the control of fugitive dust (PM-10) as contained in section 6.5 of the Air Quality Handbook. All site grading and demolition plans noted shall list the following regulations:

- a. Reduce the amount of the disturbed area where possible.
- b. Use of water trucks or sprinkler systems in sufficient quantities to prevent airborne dust from leaving the site. Increased watering frequency would be required whenever wind speeds exceed 15 mph. Reclaimed (nonpotable) water should be used whenever possible.
- c. All dirt stockpile areas should be sprayed daily as needed.
- d. Permanent dust control measures identified in the approved project revegetation and landscape plans should be implemented as soon as possible following completion of any soil disturbing activities.
- e. Exposed ground areas that are to be reworked at dates greater than one month after initial grading should be sown with a fast-germinating native grass seed and watered until vegetation is established.
- f. All disturbed soil areas not subject to revegetation should be stabilized using approved chemical soil binders, jute netting, or other methods approved in advance by the APCD.
- g. All roadways, driveways, sidewalks, etc. to be paved should be completed as soon as possible. In addition, building pads should be laid as soon as possible after grading unless seeding or soil binders are used.
- h. Vehicle speed for all construction vehicles shall not exceed 15 mph on any unpaved surface at the construction site.
- i. All trucks hauling dirt, sand, soil, or other loose materials are to be covered or should maintain at least two feet of freeboard (minimum vertical distance between top of load and top of trailer) in accordance with CVC Section 23114.
- j. Install wheel washers where vehicles enter and exit unpaved roads onto streets, or wash off trucks and equipment leaving the site.
- k. Sweep streets at the end of each day if visible soil material is carried onto adjacent paved roads. Water sweepers with reclaimed water should be used where feasible

APCD-4 Construction Permit Requirements:

If portable equipment, 50 horsepower or greater, are used during construction, a California statewide portable equipment registration (issued by the California Air Resources Board) or an APCD permit. The following list is provided as a guide to equipment and operations that may have permitting requirements, but should not be viewed as exclusive. For a more detailed listing, refer to page A-5 in the Districts CEQA Handbook.

- Power screens, conveyors, diesel engines, and/or crushers;

- Portable generators and equipment with engines that are 50hp or greater;
- IC Engines;
- Concrete batch plants;
- Rock and pavement crushing;
- Tub grinders; and
- Trommel screens.

APCD-5 Operational Permit Requirements:

If any of the following equipment is present at the site either during construction or in the operational phase of the project, Contact Gary Willey of the District’s Engineering division at (805) 781-5912 for specific information regarding permitting requirements:

- Portable generators and equipment with engines that are 50hp or greater;
- Electric generation plants of the use of standby generator;
- Cogeneration facilities;

To minimize potential delays, prior to the start of the project, please contact Gary Willey of the District’s Engineering division at (805) 781-5912 for specific information regarding permitting requirements.

12. BIOLOGICAL MITIGATIONS:

Habitat Mitigations:

BR-1. To avoid impacts to biological resources within the proposed open space area, the boundaries of the construction zone shall be clearly delineated to prevent equipment or vehicles from entering the open space area. Orange construction fencing shall be placed at the limits of grading and shall be maintained in good condition throughout the construction phases of the project.

BR-2. The ephemeral drainage shall be protected from indirect impacts, such as degradation of water quality. Silt fence shall be properly installed between areas of soil disturbance and grading adjacent to the ephemeral drainage. Long-term erosion control, including the use of erosion control fabric and hydroseed applications, shall be implemented, as appropriate, prior to the start of the rainy season. Areas of the drainage on the property outside of the proposed construction zone shall be protected by placing construction fencing and silt fence between construction areas and the drainage. Protective fencing shall be installed before ground disturbance or equipment staging.

BR-3. Mitigation for disturbance to jurisdictional waters will include restoration and enhancement on site at a two to one ratio. Mitigation implementation and success will be monitored for a minimum of three years, depending on the jurisdictional agencies’ requirements. Prior to issuance of grading permits a mitigation and monitoring plan (MMP) shall be prepared according to the standards of the USACE. The MMP shall prescribe native plantings and management to enhance the remaining

portion of the drainage on the property. Prior to issuance of grading permits, and after approval of the MMP, majority of native bulbs (primarily but not limited to *Dichelostemma capitatum* and *Chlorogalum pomeridianum*) located in the portion of the drainage to be buried shall be salvaged. The native bulbs shall be relocated to the upper areas of the drainage on the property. The MMP shall be written, and the salvage and replanting work shall be conducted by a qualified restoration biologist. The MMP shall address both waters and wetlands impacts (BR-3 and BR-4).

BR-4. A wetland area shall be created at a two to one ratio (wetland created to wetland lost) on the subject property. Wetland temporarily disturbed shall be restored at a one to one ratio. The proposed project will remove 520 square feet of wetland, therefore the created wetland will be at least 1040 square feet. An additional 200 square feet of wetland will be temporarily disturbed, therefore restored wetland will be 200 square feet. A mitigation and monitoring plan (MMP) will be prepared and approved by the City and other jurisdictional agencies, as appropriate (i.e., California Department of Fish and Game, U.S. Army Corps of Engineers, and the Regional Water Quality Control Board).

Oak Tree Mitigations:

BR-5. Protect the 18 inch and the 42 inch valley oak trees from incidental impacts within the root zone by placing protective fencing at least one and one-half times the tree canopy, or outside the critical root zone as defined by the City of El Paso de Robles, whichever is greater, prior to any ground disturbance activities.

BR-6. All equipment and vehicles shall be prohibited within one and one-half times the tree canopy, or outside the critical root zone, whichever is greater.

BR-7. No over excavation or compaction of native soil shall occur within 42 feet of the trunk of the 42 inch specimen valley oak tree. Decomposed granite may be placed and graded with a small rubber tire skip loader, and then compacted with a hand pushed vibrating compactor. No mechanized roller compactors shall be used.

BR-8. The decomposed granite pad area shall be moved as far from the critical root zone of the 42 inch oak tree as is practicable.

BR-9. Critical root zone area shall not be cleared of leaf litter or thatch. Weed control within the critical root zone shall be conducted only by hand held weed whip.

Common Wildlife Mitigations:

BR-10. Within one week of ground disturbance or tree removal/trimming activities, if work occurs between March 1 and August 31, nesting bird surveys shall be conducted. To avoid impacts to nesting birds, grading and construction activities that affect trees and grasslands shall not be conducted during the breeding season from March 1 to August 31. If construction activities must be conducted during this period, nesting bird surveys shall take place within one week of habitat disturbance. If surveys do not locate nesting birds, construction activities may be conducted. If nesting birds are located, no construction activities shall occur within 100 feet of nests until chicks are fledged. Construction activities shall observe a 300-foot buffer for occupied raptor nests. A 500-foot buffer shall be observed from occupied nests of all special status species. A pre-construction survey report shall be submitted to the lead agency immediately upon completion of the survey. The report shall detail

appropriate fencing or flagging of the buffer zone and make recommendations on additional monitoring requirements.

Mitigations for Impacts to Special Status Species:

BR-11. All occupied nests shall be mapped using GIS or survey equipment. The mapped locations shall be placed on a copy of the grading plans with a 500-foot buffer indicated. The buffer zone shall be delineated on the ground with orange construction fencing where it overlaps work areas.

BR-12. Occupied nests of special status bird species that are within 500 feet of project work areas shall be monitored bi-monthly through the nesting season to document nest success and check for project compliance with buffer zones.

San Joaquin kit fox:

San Joaquin kit fox habitat occurs in the project area. The project will result in a net loss of kit fox habitat. The following mitigation recommendations are designed to reduce the potential for direct impacts to kit fox to a less than significant level. The subject property is within the two-to-one mitigation ratio area (acres replaced per acres impacted) as represented on the San Joaquin Kit Fox Habitat Area and Standard Mitigation Ratio Areas map (see Exhibit B, Figure 4). Projects less than 40 acres in size are not required to conduct a kit fox habitat evaluation, but may accept the standard mitigation ratio.

BR-13. Prior to issuance of grading and/or construction permits, the applicant shall submit evidence to the City of El Paso de Robles, Community Development, Planning Division that states that one or a combination of the following three San Joaquin kit fox mitigation measures has been implemented:

- a. Provide for the protection in perpetuity, through acquisition of fee or a conservation easement of 17.2 acres of suitable habitat in the kit fox corridor area (e.g. within the San Luis Obispo County kit fox habitat area, northwest of Highway 58), either on-site or off-site, and provide for a non-wasting endowment to provide for management and monitoring of the property in perpetuity. Lands to be conserved shall be subject to the review and approval of the California Department of Fish and Game (Department) and the County.

This mitigation alternative (a.) requires that all aspects of this program must be in place before County permit issuance or initiation of any ground disturbing activities.

- b. Deposit funds into an approved in-lieu fee program, which would provide for the protection in perpetuity of suitable habitat in the kit fox corridor area within San Luis Obispo County, and provide for a non-wasting endowment for management and monitoring of the property in perpetuity.

Mitigation alternative (b) above, can be completed by providing funds to The Nature Conservancy (TNC) pursuant to the Voluntary Fee-Based Compensatory Mitigation Program (Program). The Program was established in agreement between the Department and TNC to preserve San Joaquin kit fox habitat, and to provide a voluntary mitigation alternative to project proponents who must mitigate the impacts of projects in accordance with the California Environmental

Quality Act (CEQA). The fee, payable to “The Nature Conservancy”, would total **\$43,000**. This fee is calculated based on the current cost-per-unit of \$2500 per acre of mitigation, which is scheduled to be adjusted to address the increasing cost of property in San Luis Obispo County; your actual cost may increase depending on the timing of payment. This fee must be paid after the Department provides written notification about your mitigation options but prior to County permit issuance and initiation of any ground disturbing activities.

- c. Purchase **17.2** credits in a Department-approved conservation bank, which would provide for the protection in perpetuity of suitable habitat within the kit fox corridor area and provide for a non-wasting endowment for management and monitoring of the property in perpetuity.

Mitigation alternative (c) above, can be completed by purchasing credits from the Palo Prieto Conservation Bank. The Palo Prieto Conservation Bank was established to preserve San Joaquin kit fox habitat, and to provide a voluntary mitigation alternative to project proponents who must mitigate the impacts of projects in accordance with the California Environmental Quality Act (CEQA). The cost for purchasing credits is payable to the owners of The Palo Prieto Conservation Bank, and would total **\$43,000**. This fee is calculated based on the current cost-per-credit of \$2500 per acre of mitigation. The fee is established by the conservation bank owner and may change at any time. Your actual cost may increase depending on the timing of payment. Purchase of credits must be completed prior to County permit issuance and initiation of any ground disturbing activities.

BR-14. Prior to issuance of grading and/or construction permits, the applicant shall provide evidence that they have retained a qualified biologist acceptable to the City. The retained biologist shall perform the following monitoring activities:

- i. **Prior to issuance of grading and/or construction permits and within 30 days prior to initiation of site disturbance and/or construction**, the biologist shall conduct a pre-activity (i.e. pre-construction) survey for known or potential kit fox dens and submit a letter to the City reporting the date the survey was conducted, the survey protocol, survey results, and what measures were necessary (and completed), as applicable, to address any kit fox activity within the project limits.
- ii. **The qualified biologist shall conduct weekly site visits during site-disturbance activities** (i.e. grading, disking, excavation, stockpiling of dirt or gravel, etc.) that proceed longer than 14 days, for the purpose of monitoring compliance with required Mitigation Measures BR-14 through BR-23. Site disturbance activities lasting up to 14 days do not require weekly monitoring by the biologist unless observations of kit fox or their dens are made on-site or the qualified biologist recommends monitoring for some other reason (see BR-14iii). When weekly monitoring is required, the biologist shall submit weekly monitoring reports to the City.
- iii. **Prior to or during project activities**, if any observations are made of San Joaquin Kit fox, or any known or potential San Joaquin kit fox dens are discovered within the project limits, the qualified biologist shall re-assess the probability of incidental take (e.g. harm or death) to kit fox. At the time a den is discovered, the qualified biologist shall contact USFWS and the CDFG for

guidance on possible additional kit fox protection measures to implement and whether or not a Federal and/or State incidental take permit is needed. If a potential den is encountered during construction, work shall stop until such time the USFWS determines it is appropriate to resume work.

If incidental take of kit fox during project activities is possible, **before project activities commence**, the applicant must consult with the USFWS. The results of this consultation may require the applicant to obtain a Federal and/or State permit for incidental take during project activities. The applicant should be aware that the presence of kit foxes or known or potential kit fox dens at the project site could result in further delays of project activities.

iv. **In addition**, the qualified biologist shall implement the following measures:

1. **Within 30 days prior to initiation of site disturbance and/or construction**, fenced exclusion zones shall be established around all known and potential kit fox dens. Exclusion zone fencing shall consist of either large flagged stakes connected by rope or cord, or survey laths or wooden stakes prominently flagged with survey ribbon. Each exclusion zone shall be roughly circular in configuration with a radius of the following distance measured outward from the den or burrow entrances:
 - Potential kit fox den: 50 feet
 - Known or active kit fox den: 100 feet
 - Kit fox pupping den: 150 feet
2. All foot and vehicle traffic, as well as all construction activities, including storage of supplies and equipment, shall remain outside of exclusion zones. Exclusion zones shall be maintained until all project-related disturbances have been terminated, and then shall be removed.
3. If kit foxes or known or potential kit fox dens are found on site, daily monitoring by a qualified biologist shall be required during ground disturbing activities.

BR-15. Prior to issuance of grading and/or construction permits, the applicant shall clearly delineate the following as a note on the project plans: “*Speed signs of 25 mph (or lower) shall be posted for all construction traffic to minimize the probability of road mortality of the San Joaquin kit fox*”. Speed limit signs shall be installed on the project site **within 30 days prior to initiation of site disturbance and/or construction**.

BR-16. During the site disturbance and/or construction phase, grading and construction activities after dusk shall be prohibited unless coordinated through the City, during which additional kit fox mitigation measures may be required.

BR-17. Prior to issuance of grading and/or construction permit and within 30 days prior to initiation of site disturbance and/or construction, all personnel associated with the project shall attend a worker education training program, conducted by a qualified biologist, to avoid or reduce impacts on sensitive biological resources (i.e. San Joaquin kit fox). At a minimum, as the program relates to the kit fox, the training shall include the kit fox’s life history, all mitigation measures specified by the City,

as well as any related biological report(s) prepared for the project. The applicant shall notify the City shortly prior to this meeting. A kit fox fact sheet shall also be developed prior to the training program, and distributed at the training program to all contractors, employers and other personnel involved with the construction of the project.

BR-18. During the site-disturbance and/or construction phase, to prevent entrapment of the San Joaquin kit fox, all excavations, steep-walled holes and trenches in excess of two feet in depth shall be covered at the close of each working day by plywood or similar materials, or provided with one or more escape ramps constructed of earth fill or wooden planks. Trenches shall also be inspected for entrapped kit fox each morning prior to onset of field activities and immediately prior to covering with plywood at the end of each working day. Before such holes or trenches are filled, they shall be thoroughly inspected for entrapped kit fox. Any kit fox so discovered shall be allowed to escape before field activities resume, or removed from the trench or hole by a qualified biologist and allowed to escape unimpeded.

BR-19. During the site-disturbance and/or construction phase, any pipes, culverts, or similar structures with a diameter of four inches or greater, stored overnight at the project site shall be thoroughly inspected for trapped San Joaquin kit foxes before the subject pipe is subsequently buried, capped, or otherwise used or moved in any way. If during the construction phase a kit fox is discovered inside a pipe, that section of pipe will not be moved. If necessary, the pipe may be moved only once to remove it from the path of activity, until the kit fox has escaped

BR-20. During the site-disturbance and/or construction phase, all food-related trash items such as wrappers, cans, bottles, and food scraps shall be disposed of only in closed containers. These containers shall be regularly removed from the site. Food items may attract San Joaquin kit foxes onto the project site, consequently exposing such animals to increased risk of injury or mortality. No deliberate feeding of wildlife shall be allowed.

BR-21. Prior to, during and after the site-disturbance and/or construction phase, use of pesticides or herbicides shall be in compliance with all local, State and Federal regulations. This is necessary to minimize the probability of primary or secondary poisoning of endangered species utilizing adjacent habitats, and the depletion of prey upon which San Joaquin kit foxes depend.

BR-22. During the site-disturbance and/or construction phase, any contractor or employee that inadvertently kills or injures a San Joaquin kit fox or who finds any such animal either dead, injured, or entrapped shall be required to report the incident immediately to the applicant and City. In the event that any observations are made of injured or dead kit fox, the applicant shall immediately notify the USFWS and CDFG by telephone. In addition, formal notification shall be provided in writing within three working days of the finding of any such animal(s). Notification shall include the date, time, location and circumstances of the incident. Any threatened or endangered species found dead or injured shall be turned over immediately to CDFG for care, analysis, or disposition.

BR-23. Prior to final inspection, or occupancy, whichever comes first, should any long internal or perimeter fencing be proposed or installed, the applicant shall do the following to provide for kit fox passage:

- i. If a wire strand/pole design is used, the lowest strand shall be no closer to the ground than 12 inches.
- ii. If a more solid wire mesh fence is used, 8" x 12" openings near the ground shall be provided every 100 yards.
- iii. Upon fence installation, the applicant shall notify the City to verify proper installation. Any fencing constructed after issuance of a final permit shall follow the above guidelines.

BR-24. A pre-construction survey shall be conducted within thirty days of beginning work on the project to identify if badgers are using the site. The results of the survey shall be sent to the project manager, CDFG, and the City of El Paso de Robles.

If the pre-construction survey finds potential badger dens, they shall be inspected to determine whether they are occupied. The survey shall cover the entire property, and shall examine both old and new dens. If potential badger dens are too long to completely inspect from the entrance, a fiber optic scope shall be used to examine the den to the end. Inactive dens may be excavated by hand with a shovel to prevent re-use of dens during construction. If badgers are found in dens on the property between February and July, nursing young may be present. To avoid disturbance and the possibility of direct take of adults and nursing young, and to prevent badgers from becoming trapped in burrows during construction activity, no grading shall occur within 100 feet of active badger dens between February and July. Between July 1 and February 1 all potential badger dens shall be inspected to determine if badgers are present. During the winter badgers do not truly hibernate, but are inactive and asleep in their dens for several days at a time. Because they can be torpid during the winter, they are vulnerable to disturbances that may collapse their dens before they rouse and emerge. Therefore, surveys shall be conducted for badger dens throughout the year. If badger dens are found on the property during the pre-construction survey, the CDFG wildlife biologist for the area shall be contacted to review current allowable management practices.

EMERGENCY SERVICES

13. Prior to the start of construction, documentation shall be submitted to Emergency Services showing that required fire flows can be provided to meet all project demands.
14. Provide fire sprinkler systems for all buildings in the development.
15. The Emergency Services department shall establish a threshold level of emergency calls for this facility which shall be considered the normal and acceptable public service coverage. If service calls exceed that threshold, a per-call fee will be established (or some other form of service call fee off-set) in order to mitigate the impacts to fire and police service calls to this facility. The City Council shall determine the service call fee off-set amount, at which time the applicant shall enter into an agreement with the City to pay any triggered service call fees.

ENGINEERING

16. Traffic & Circulation Mitigation:

(T-1) Golden Hill Road adjacent to the property shall be improved in accordance with City Standard A-1 and plans approved by the City Engineer.

(T-2) Transportation impact fees collected for this project will mitigate the project's impacts on the intersections of Golden Hill Road-Gilead Lane and Golden Hill Road-Union Road. Fees will be collected at the rates in effect at the time of occupancy.

(T-3) Prior to occupancy, the property owner will enter into an agreement with the City advising all successors in interest that upon improvement of the intersection of Golden Hill Road and Gilead Lane; access to the property from Golden Hill Road will be restricted to right turns only.

17. An 8-inch public sewer line and a 10-inch public water main shall be extended from Golden Hill Road to the east boundary of the project.

18. Storm water quality facilities must be provided that address both construction and post-construction Low Impact Development best management practices. Wetland mitigation must be provided in accordance with a plan approved by a qualified biologist.

PASSED AND ADOPTED THIS 14th day of October, 2008 by the following Roll Call Vote:

AYES: Johnson, Holstine, Peterson, Steinbeck

NOES: Flynn

ABSENT: Treach

ABSTAIN: Hodgkin

CHAIRMAN ED STEINBECK

ATTEST:

RON WHISENAND, PLANNING COMMISSION SECRETARY

EXHIBIT A OF RESOLUTION 08-046

**CITY OF EL PASO DE ROBLES STANDARD DEVELOPMENT CONDITIONS
FOR PLANNED DEVELOPMENTS / CONDITIONAL USE PERMITS**

PROJECT #: PD 07-014, CUP 07-020 & PR 06-0272

APPROVING BODY: CITY COUNCIL

DATE OF APPROVAL: NOVEMBER 18, 2008 – CITY COUNCIL

APPLICANT: GOLDEN HILL RETIREMENT

LOCATION: 1450 GOLDEN HILL ROAD

The following conditions that have been checked are standard conditions of approval for the above referenced project. The checked conditions shall be complied with in their entirety before the project can be finalized, unless otherwise specifically indicated. In addition, there may be site specific conditions of approval that apply to this project in the resolution.

COMMUNITY DEVELOPMENT DEPARTMENT - The applicant shall contact the Community Development Department, (805) 237-3970, for compliance with the following conditions:

A. GENERAL CONDITIONS:

- 1. This project approval shall expire on November 18, 2011 (See Planned Development Approval Resolution) unless a time extension request is filed with the Community Development Department prior to expiration.
- 2. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Planned Development process shall not waive compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
- 3. Prior to occupancy, all conditions of approval shall be completed to the satisfaction of the City Engineer and Community Developer Director or his designee.
- 4. Any site specific condition imposed by the Planning Commission in approving this project may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the approval of this project. No such modification shall be made unless the Commission finds that such modification is necessary to protect the

public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use for this approval.

- 5. This project is subject to the California Environmental Quality Act (CEQA) which requires the applicant submit a \$1,901.75 filing fee for the Notice of Determination payable to "County of San Luis Obispo". The fee should be submitted to the Community Development Department within 24 hours of project approval which is then forwarded to the San Luis Obispo County Clerk. Please note that the project may be subject to court challenge unless the required fee is paid.
- 6. The site shall be kept in a neat manner at all times and the landscaping shall be continuously maintained in a healthy and thriving condition.
- 7. All signs shall be subject to review and approval as required by Municipal Code Section 21.19 and shall require a separate application and approval prior to installation of any sign.
- 8. All outdoor storage shall be screened from public view by landscaping and walls or fences per Section 21.21.110 of the Municipal Code.
- 9. All trash enclosures shall be constructed of decorative masonry block compatible with the main buildings. Gates shall be view obscuring and constructed of durable materials such as painted metal or chain link with plastic slatting.
- 10. All existing and/or new ground-mounted appurtenances such as air-conditioning condensers, electrical transformers, backflow devices etc., shall be screened from public view through the use of decorative walls and/or landscaping subject to approval by the Community Development Director or his designee. Details shall be included in the building plans.
- 11. All existing and/or new roof appurtenances such as air-conditioning units, grease hoods, etc. shall be screened from public view. The screening shall be architecturally integrated with the building design and constructed of compatible materials to the satisfaction of the Community Development Director or his designee. Details shall be included in the building plans.
- 12. All existing and/or new lighting shall be shielded so as to be directed downward in such a manner as to not create off-site glare or adversely impact adjacent properties. The style, location and height of the lighting fixtures shall be submitted with the building plans and shall be subject to approval by the Community Development Director or his designee.

- 13. All existing and/or new landscaping shall be installed with automatic irrigation systems.
- 14. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 15. The following areas shall be placed in the Landscape and Lighting District:

The developer shall install all improvements and landscape areas. City acceptance on behalf of the Landscape and Lighting District shall be subject to the approval of the Public Works Street Department (237-3864).

- 16. All parking lot landscape planters shall have a minimum outside dimension of six feet and shall be separated from parking and driving areas by a six inch high solid concrete curb.
- 17. The following areas shall be permanently maintained by the property owner, Homeowners' Association, or other means acceptable to the City:

- 18. It is the property owner's responsibility to insure that all construction of private property improvements occur on private property. It is the owner's responsibility to identify the property lines and insure compliance by the owner's agents.

B. THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF BUILDING PERMITS:

- 1. Two sets of the revised Planning Commission approved plans incorporating all Conditions of Approval, standard and site specific, shall be submitted to the Community Development Department prior to the issuance of building permits.

- 2. Prior to the issuance of building permits, the
 - Development Review Committee shall approve the following:
 - Planning Division Staff shall approve the following:
 - a. A detailed site plan indicating the location of all structures, parking layout, outdoor storage areas, walls, fences and trash enclosures;
 - b. A detailed landscape plan;
 - c. Detailed building elevations of all structures indicating materials, colors, and architectural treatments;
 - d. Other: See site specific conditions is PD Resolution.
- 3. The applicant shall meet with the City's Crime Prevention Officer prior to the issuance of building permits for recommendations on security measures to be incorporated into the design of the structures to be constructed. The applicant is encouraged to contact the Police Department at (805) 237-6464 prior to plan check submittal.

C. THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO OCCUPANCY:

- 1. Occupancy of the facility shall not commence until such time as all Uniform Building Code and Uniform Fire Code regulations have been complied with. Prior to occupancy, plans shall be submitted to the Paso Robles Fire Department and the Building Division to show compliance. The building shall be inspected by the appropriate department prior to occupancy.
- 2. All public or private manufactured slopes located adjacent to public right-of-ways on property in excess of six (6) feet in vertical height and of 2.5:1 or greater slope shall be irrigated and landscaped for erosion control and to soften their appearance as follows: one 15-gallon tree per each 250 square feet of slope area, one 1-gallon or larger size shrub per each 100 square feet of slope area, and appropriate ground cover. Trees and shrubs shall be staggered in clusters to soften and vary the slope plane. Slope planting shall include a permanent irrigation system be installed by the developer prior to occupancy. In lieu of the above planting ratio, the applicant may submit a slope planting plan by a licensed landscape architect or contractor providing adequate landscaping, erosion control and slope retention measures; the slope planting plan is subject to approval by the Development Review Committee. Hydroseeding may be considered on lots of 20,000 square feet or greater.

PUBLIC WORKS DEPARTMENT - The applicant shall contact the Engineering Division, (805) 237-3860, for compliance with the following conditions:

APPLICANT: GH Retirement - Basila PREPARED BY: JF

REPRESENTATIVE: NCE CHECKED BY: _____

PROJECT: PD 07-014 & PR 06-0272 TO PLANNING: _____

All conditions marked are applicable to the above referenced project for the phase indicated.

D. PRIOR TO ANY PLAN CHECK:

1. The applicant shall enter into an Engineering Plan Check and Inspection Services Agreement with the City.

E. PRIOR TO ISSUANCE OF A GRADING PERMIT:

1. Prior to approval of a grading plan, the developer shall apply through the City, to FEMA and receive a Letter of Map Amendment (LOMA) issued from FEMA. The developer's engineer shall provide the required supporting data to justify the application.
2. The proposed structures and grading shall not encroach into the 100-year floodway as specified in Municipal Code Chapter 21.14 "Flood Damage Prevention Regulations".
3. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No. 553, Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to removal.
4. A complete grading and drainage plan prepared by a registered civil engineer shall be included with the improvement plans. Drainage calculations shall be submitted, with provisions made for on-site detention/ retention if adequate disposal facilities are not available, as determined by the City Engineer.

- 5. A Preliminary Soils and/or Geology Report shall be prepared by a registered engineer for the property to determine the presence of expansive soils or other soils problems and shall make recommendations regarding grading of the proposed site.

F. PRIOR TO ANY SITE WORK:

- 1. All off-site public improvement plans shall be prepared by a registered civil engineer and shall be submitted to the City Engineer for review and approval. The improvements shall be designed and placed to the Public Works Department Standards and Specifications.
- 2. The applicant shall submit a composite utility plan signed as approved by a representative of each public utility, together with the improvement plans. The composite utility plan shall also be signed by the Water, Fire, Wastewater, and Street Division heads.
- 3. Any grading anticipated during the rainy season (October 15 to April 15) will require the approval of a Construction Zone Drainage and Erosion Control Plan to prevent damage to adjacent property. Appropriateness of areas shall be subject to City Engineer approval.
- 4. Any construction within an existing street shall require a Traffic Control Plan. The plan shall include any necessary detours, flagging, signing, or road closures requested. Said plan shall be prepared and signed by a registered civil or traffic engineer.
- 5. Landscape and irrigation plans for the public right-of-way shall be incorporated into the improvement plans and shall require a signature of approval by the Department of Public Works, Street Superintendent and the Community Development Department.
- 6. The owner shall offer to dedicate and improve the following street(s) to the standard indicated:

Golden Hill Road	Arterial	A-1
Street Name	City Standard	Standard Drawing No.

- 7. The owner shall offer to dedicate to the City the following easement(s). The location and alignment of the easement(s) shall be to the description and satisfaction of the City Engineer:
 - a. Public Utilities Easement;

- b. Water Line Easement;
- c. Sewer Facilities Easement;
- d. Landscape Easement;
- e. Storm Drain Easement.

G. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

- 1. A final soils report shall be submitted to the City prior to the final inspection and shall certify that all grading was inspected and approved, and that all work has been done in accordance with the plans, preliminary report, and Chapter 70 of the Uniform Building Code.
- 2. The applicants civil and soils engineer shall submit a certification that the rough grading work has been completed in substantial conformance to the approved plans and permit.
- 3. When retaining walls are shown on the grading plan, said walls shall be completed before approval of the rough grade, and prior to issuance of any building permits, unless waived by the Building Official and the City Engineer.
- 4. All property corners shall be staked for construction control, and shall be promptly replaced if destroyed.
- 5. Building permits shall not be issued until the water system has been completed and approved, and a based access road installed sufficient to support the City's fire trucks per Fire Department recommendation.
- 6. The developer shall annex to the City's Landscape and Lighting District for payment of the operating and maintenance costs of the following:
 - a. Street lights;
 - b. Parkway and open space landscaping;
 - c. Wall maintenance in conjunction with landscaping;
 - d. Graffiti abatement;
 - e. Maintenance of open space areas.
- 7. Prior to the issuance of a Building Permit for a building within Flood Insurance Rate Map (FIRM) - in zones A1-A30, AE, AO, AH, A, V1-V30, VE and V - the developer shall provide an Elevation Certificate in accordance with the National Flood Insurance Program. This form must be completed by a land surveyor, engineer or architect licensed in the State of California.

- 8. Prior to the issuance of a Building Permit for a building within Flood Insurance Rate Map (FIRM) in zones A1-A30, AE, AO, AH, A, V1-V30, VE and V, the developer shall provide a Flood Proofing Certificate in accordance with the National Insurance Program. This form must be completed by a land surveyor, engineer or architect licensed in the State California.

H. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY:

- 1. The applicant shall pay any current and outstanding fees for Engineering Plan Checking and Construction Inspection services and any outstanding annexation fees.
- 2. No buildings shall be occupied until all public improvements are completed and approved by the City Engineer, and accepted by the City Council.
- 3. All final property corners and street monuments shall be installed before acceptance of the public improvements.
- 4. All top soil removed shall be stockpiled and evenly distributed over the slopes and lots upon completion of rough grading to support hydroseeding and landscaping. All slope areas shall be protected against erosion by hydroseeding or landscaping.
- 5. The applicant shall install all street names, traffic signs and traffic striping as directed by the City Engineer.
- 6. If the adjoining existing City street is inadequate for the traffic generated by the project, or will be severely damaged by the construction, the applicant shall remove the entire roadway and replace it with a minimum full half-width street plus a 12' wide travel lane and 8' wide graded shoulder adequate to provide for two-way traffic. (A finding of "rough proportionality" has been made in the resolution for this condition).
- 7. If the development includes a phased street construction along the project boundary for future completion by the adjacent property owner, the applicant shall provide a minimum half-width street plus a 12' wide travel lane and 4' wide graded shoulder adequate for two-way traffic. (A finding of "rough proportionality" has been made in the resolution for this condition).
- 8. When the project fronts on an existing street, the applicant shall pave-out from the proposed curb to the edge of pavement if the existing pavement section is adequate, and shall feather the new paving out to the centerline for a smooth transition. If the existing pavement is inadequate, the roadway shall be replaced to centerline and the remaining pavement shall be overlaid. (A finding of "rough proportionality" has been made in the resolution for this condition).

- ☒ 9. Any utility trenching in existing streets shall be overlaid to restore a smooth riding surface as required by the City Engineer. Boring and jacking rather than trenching may be required on newly constructed or heavily traveled City streets.
- ☒ 10. The applicant shall install all utilities (sewer, water, gas, electricity, cable TV and telephone) underground (as shown on the composite utility plan). Street lights shall be installed at locations as required by the City Engineer. All existing overhead utilities adjacent to or within the project shall be relocated underground except for electrical lines 77 kilovolts or greater. All utilities shall be extended to the boundaries of the project. All underground construction shall be completed and approved by the public utility companies, and the subgrade shall be scarified and compacted, before paving the streets.
- ☒ 11. Prior to paving any street the water and sewer systems shall successfully pass a pressure test. The sewer system shall also be tested by a means of a mandrel and video inspection with a copy of the video tape provided to the City. No paving shall occur until the City has reviewed and viewed the sewer video tape and has determined that the sewerline is acceptable. Any repair costs to the pipeline including trench paving restoration shall be at the developer's expense.
- ☒ 12. A blackline clear Mylar (0.4 MIL) copy and a blueline print of as-built improvement plans, signed by the engineer of record, shall be provided to the City Engineer prior to the final inspection. A reduced copy (i.e. 1" = 100') of the composite utility plan shall be provided to update the City's Atlas Map.
- ☒ 13. All construction refuse shall be separated (i.e. concrete, asphalt concrete, wood gypsum board, etc.) and removed from the project in accordance with the City's Source Reduction and Recycling Element.

PASO ROBLES FIRE DEPARTMENT - The applicant shall contact the Fire Department, (805) 237-3973, for compliance with the following conditions:

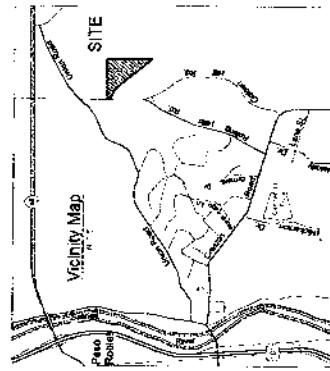
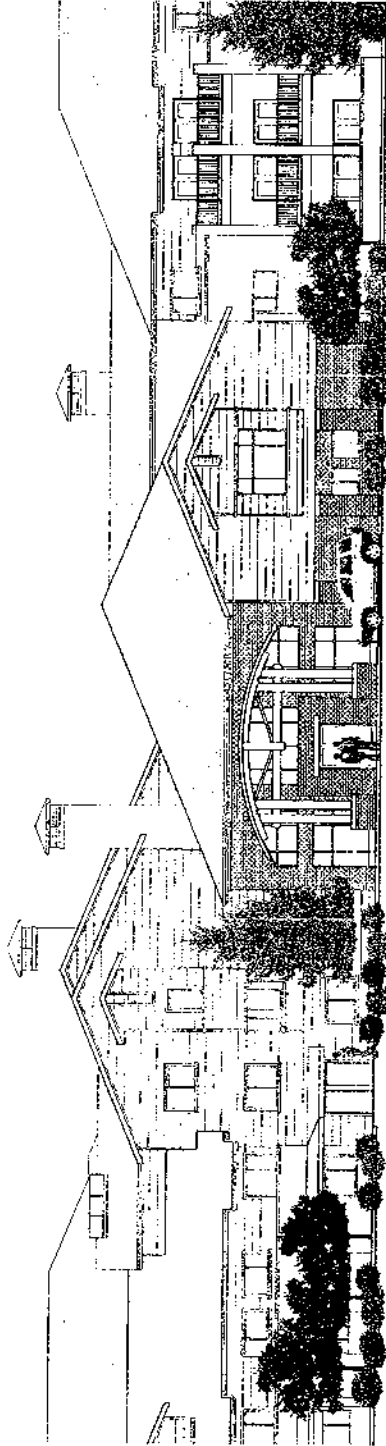
I. GENERAL CONDITIONS

- 1. Fire hydrants shall be installed at intervals as required by the Fire Chief and City Engineer. The maximum spacing for single family residential shall be 500 feet. The maximum spacing for multi-family and commercial/ residential shall be 300 feet. On-site hydrants shall be placed as required by the Fire Chief.
- 2. Building permits shall not be issued until the water system, including hydrants, has been tested and accepted and a based access road installed sufficient to support the City's fire apparatus (HS-20 truck loading). The access road shall be kept clear to a minimum of 24 feet at all times and shall be extended to each lot and shall be maintained to provide all weather driving conditions.
- 3. No buildings shall be occupied until all improvements are completed and accepted by the City for maintenance.
- 4. If the development includes phased street construction, temporary turn-arounds shall be provided for streets that exceed 150 feet in length. The temporary turn around shall meet City requirements as set forth in the Public Works Department Standards and Specifications.
- 5. All open space areas to be dedicated to the City shall be inspected by the Fire Department prior to acceptance. A report shall be submitted recommending action needed for debris, brush and weed removal and tree trimming. The developer shall clean out all debris, dead limbs and trash from areas to be recorded as open space prior to acceptance into a Benefit Maintenance District.
- 6. Any open space included in a private development shall be subject to the approval of a vegetation management plan approved by the Fire Chief.
- 7. Each tract or phase shall provide two sources of water and two points of access unless otherwise determined by the Fire Chief and Public Works Director.
- 8. Provisions shall be made to update the Fire Department Run Book.

Golden Hill

RETIREMENT COMMUNITY

PASO ROBLES, CALIFORNIA



PROJECT DIRECTORY

OWNER/DEVELOPER
 GOLDEN HILL DEVELOPMENT LLC
 12000 FARM ROAD 1000
 PASO ROBLES, CA 92371
 (805) 370-0088

ARCHITECTS
 JENNIFER BERKE ARCHITECTS
 971 055E STREET
 SAN LUIS OBISPO, CA 93401
 (805) 940-9771

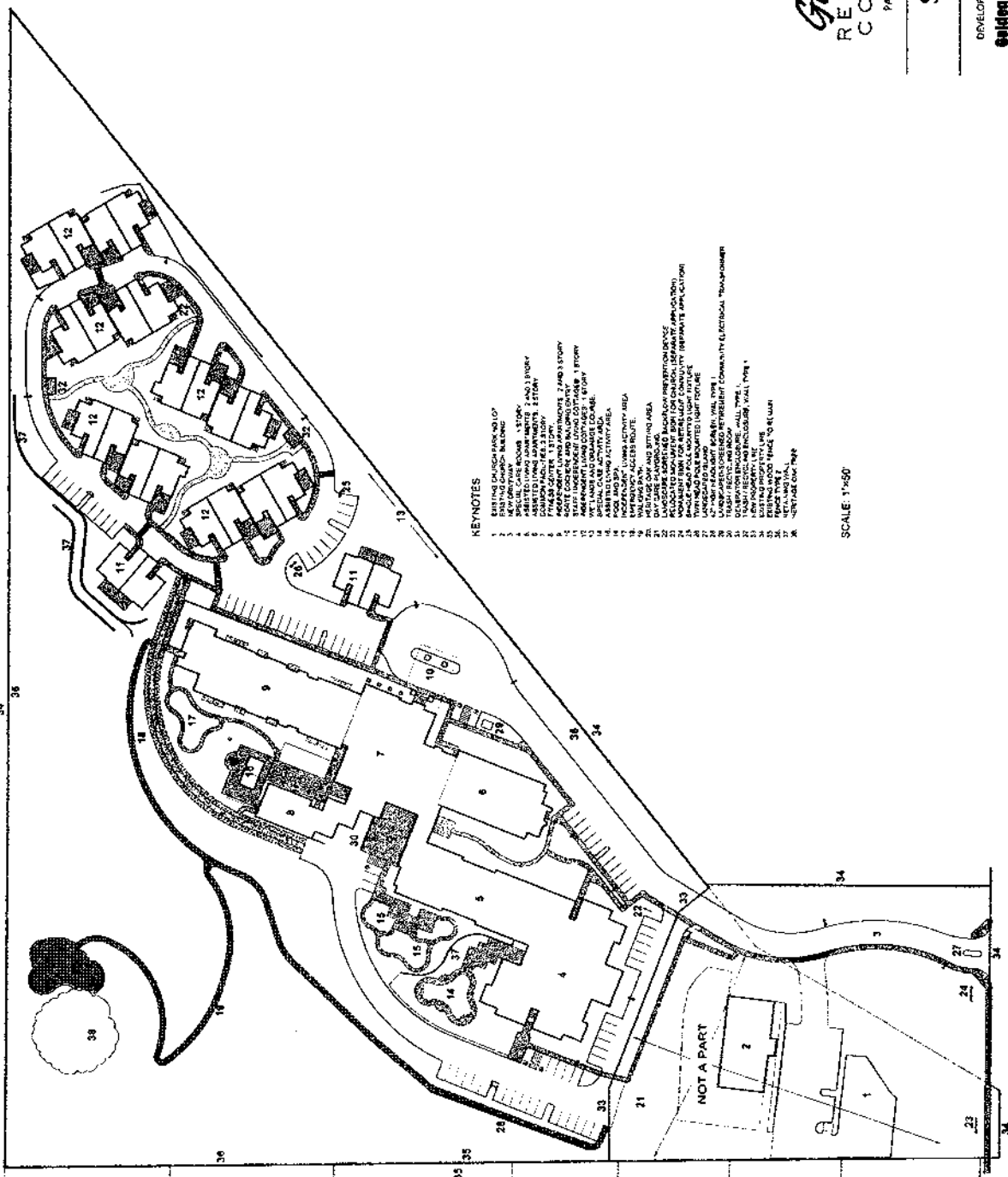
CIVIL ENGINEERS
 NORTH COAST ENGINEERING
 2000 W. STATE STREET
 PASO ROBLES, CA 92371
 (805) 228-3127

LANDSCAPE ARCHITECTS
 THE ENVIRONMENTAL COLLABORATIVE
 2000 BULLOCK LANE
 PASO ROBLES, CA 92371
 (805) 371-0043

SHEET INDEX

SHEET NUMBER	SHEET CONTENT
1	OVERALL SITE PLAN
2	COMPLIANCE SUMMARY
3	UNITS TYPE A, 1 ST FLOOR PLANS
4	UNITS TYPE B, 3 RD FLOOR PLANS
5	UNITS TYPE C, 2 ND FLOOR PLANS
6	UNITS TYPE D, 1 ST FLOOR PLANS
7	UNITS TYPE E, 1 ST FLOOR PLANS
8	UNITS TYPE F, 1 ST FLOOR PLANS
9	UNITS TYPE G, 1 ST FLOOR PLANS
10	UNITS TYPE H, 1 ST FLOOR PLANS
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Exhibit B
 Cover Sheet
 PD 07-014
 (Golden Hill Retirement Community)



KEYNOTES

1. EXISTING DUNBAR PARK AND LOT
2. EXISTING CHURCH BUILDING
3. SPECIAL CARE ROOMS - 1 STORY
4. ASSISTED LIVING APARTMENTS - 2 STORY
5. PRIVATE FACILITIES - 2 STORY
6. ADDRESS ONLY LIVING APARTMENTS - 2 AND 3 STORY
7. TRAIL
8. TRAIL UNDERPASS
9. TRAIL UNDERPASS
10. TRAIL UNDERPASS
11. TRAIL UNDERPASS
12. TRAIL UNDERPASS
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39. TRAIL UNDERPASS

SCALE: 1"=50'

Golden Hill
**RETIREMENT
 COMMUNITY**
 PASO ROBLES, CALIFORNIA

SITE PLAN
 1" = 50'

DEVELOPERS
**Golden Hill
 Development LLC**
 Madras

ARCHITECTS
**KRISTEN
 STUBBS
 ARCHITECTS**
 San Luis Obispo

GOLDEN HILL ROAD

Exhibit C
Site Plan
 PD 07-014
 (Golden Hill Retirement Community)

RESIDENTIAL DENSITY

SUBREMIT
 GENERAL PLAN DESIGNATION: RES-2 (single family residential); 2 DU/AC
 ZONING: R1 (single family residential, minimum lot size 6,000 sq ft)
 MAXIMUM RESIDENTIAL BUILD-OUT: 11.9 x 7 = 73 HOMES
REGDESIGN
 GENERAL PLAN DESIGNATION: RMC-15 (medium density residential, 15 DU/AC, planned development)
 ZONING: R2-PD (single family residential, medium density, planned development, mixed housing)
 MAXIMUM RESIDENTIAL BUILD-OUT: 11.9 x 12 = 142 UNITS
 PROPOSED TOTAL BUILD-OUT: 126 UNITS

COVERAGE

BUILDING COVERAGE: 36,218 S.F. = 17.2 %
 PARKING DRIVES, WALKS, PLAZAS: 117,315 S.F. = 27.7 %
 OPEN LANDSCAPE: 211,343 S.F. = 50.1 %
 TOTAL: 517,315 S.F. = 100.0 %

PARKING

REQUIRED PER ZONING ORDINANCE SECTION 21.22.000
 RESIDENTS: 1 space per unit, 50% minimum coverage
 required for accessory units: 126 x 50 % = 63
 GUESTS: 1 space per 2 units: 126 / 2 = 63
 STAFF: 10 spaces based on building operations: 10
 TOTAL REQUIRED: 139 SPACES
 PROVIDED: 126 SPACES

SETBACKS

FRONT
 PROPERTY IS A FLAG LOT, NO FRONT SETBACK EXISTS
INTERIOR SIDE
 REQUIRED AT 3 STORY MAIN BUILDING: 15 FT.
 PROVIDED AT MAIN BUILDING: 30 FT. MINIMUM
 REQUIRED AT 1 STORY COTTAGES: 5 FT.
 PROVIDED AT COTTAGES: 15 FT. MINIMUM
REAR
 REQUIRED AT 3 STORY MAIN BUILDING: 15 FT.
 PROVIDED AT MAIN BUILDING: 48 FT.
 REQUIRED AT 1 STORY COTTAGES: 10 FT.
 PROVIDED AT COTTAGES: 15 FT. MINIMUM
BUILDING SEPARATION
 REQUIRED AT ACCESS COTTAGES WALLS AND WINDOWS: 10 FT.
 PROVIDED AT COTTAGES WALLS AND WINDOWS: 10 FT. MINIMUM
 REQUIRED AT 1 STORY COTTAGES WALLS AND WINDOWS: 10 FT.
 PROVIDED AT COTTAGES WALLS AND WINDOWS: 20 FT. MINIMUM

BUILDING HEIGHT

MAXIMUM ALLOWED: 40 FT., OR 3 STORIES
 PROPOSED MAIN BUILDING: 38 FT., 4 FLOORS FROM AVERAGE GRADE, 3 STORIES

AREAS

SITE/LAKE/LOT BOUND.
 RETIREMENT COMMUNITY: 517,515 S.F. = 11.9 ACRES
 PRESBYTERIAN CHURCH: 88,548 S.F. = 1.9 ACRES

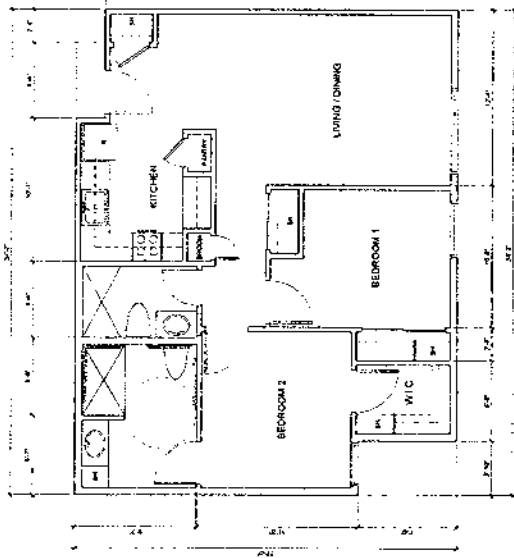
RESIDENTIAL UNITS

UNIT TYPE	DESCRIPTION	S.S.F.	QUANTITY
SPECIAL CARE UNITS			
SC.1	single bed studio	308	6
SC.2	studio bed studio	383	6
ASSISTED LIVING UNITS			
AL.1	studio (1 bath)	429	10
AL.2	one bedroom (one bath)	668	33
AL.3	one bedroom (one bath) / HC	508	4
AL.4	two bedroom (two bath)	850	5
INDEPENDENT LIVING UNITS			
IL.1	one bedroom (one bath)	679	19
IL.2	one bedroom (one bath) / HC	823	2
IL.3	two bedroom (one bath)	831	5
IL.4	two bedroom (two bath)	993	9
CD.1	two bedroom (one bath) (garage) / 2B3	1,283	10
CD.2	two bedroom (two bath) (garage) / 437	1,437	10
SH.1	two bedroom (one bath) (garage) / 1,108	1,108	4
TOTAL			125
RECREATIONAL BUILDINGS:			
	LOWER LEVEL MAIN BUILDING	24,173 S.F.	
	SPECIAL CARE LEVEL MAIN BUILDING	12,168 S.F.	
	MIDDLE LEVEL MAIN BUILDING	45,186 S.F.	
	UPPER LEVEL MAIN BUILDING	25,178 S.F.	
	DUPLEX COTTAGES (SH UNITS)	2 X 2,718 S.F. =	
	QUADRUPLEX COTTAGES (CO UNITS)	5 X 4,332 S.F. =	
	TOTAL	242,836 S.F.	
			140,275 S.F.

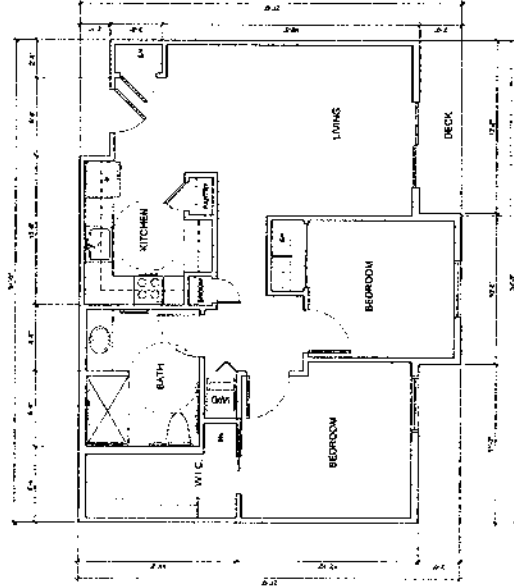
Golden Hill
 RETIREMENT
 COMMUNITY
 PASO ROBLES, CALIFORNIA

**COMPLIANCE
 SUMMARY**

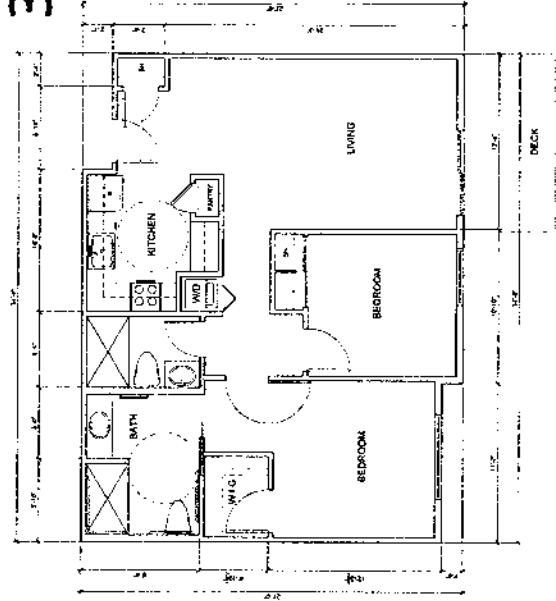
DEVELOPERS: Golden Hill Development LLC
 Medera
 ARCHITECTS: Golden Hill Architects
 San Luis Obispo



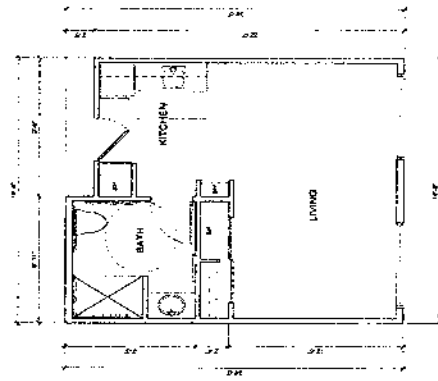
UNIT AL 4
ASSISTED LIVING 2 BEDROOM
880 s.f.



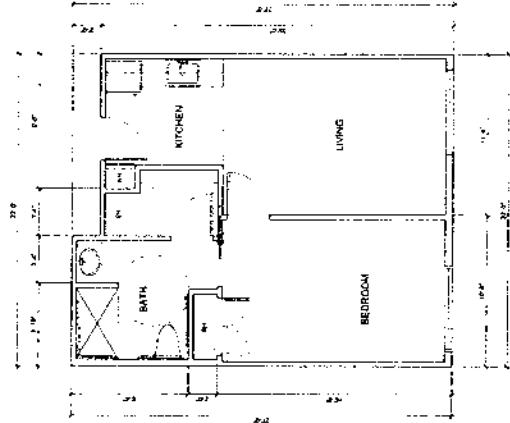
UNIT IL 3
INDEPENDENT LIVING 2 BEDROOM
831 s.f.



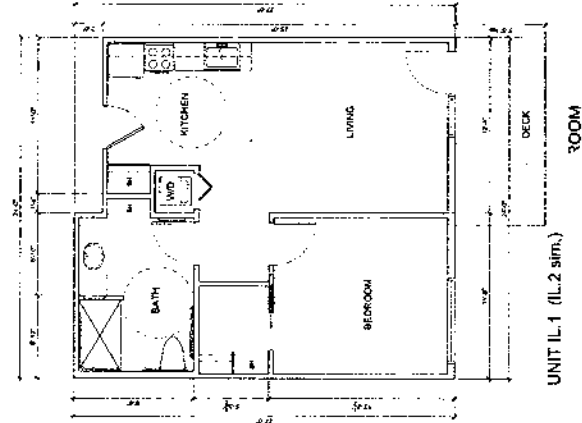
UNIT IL 4
INDEPENDENT LIVING 2 BEDROOM
893 s.f.



UNIT AL 1
ASSISTED LIVING STUDIO
429 s.f.



UNIT AL 2
ASSISTED LIVING 1 BEDROOM
56



UNIT IL 1 (IL 2 sim.)
300

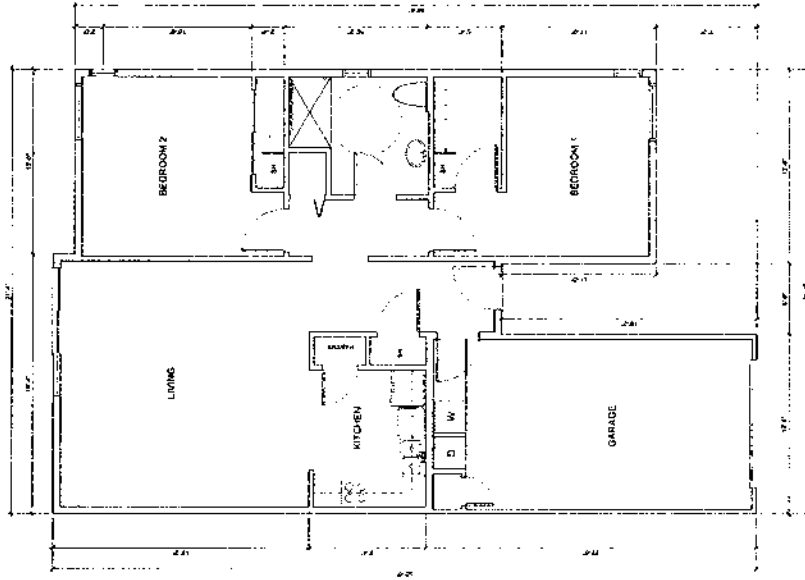
Golden Hill
RETIREMENT
COMMUNITY
PASO ROBLES, CALIFORNIA

UNIT FLOOR PLANS
1/4" = 1'-0"

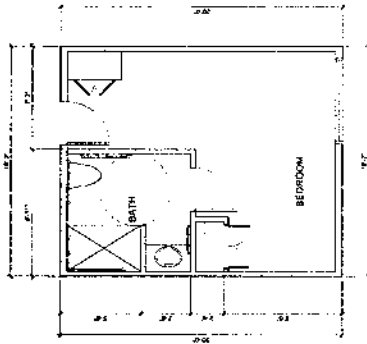
DEVELOPERS
Golden Hill
Development LLC
Madera

ARCHITECTS
KLING STUBBINS
SAN FRANCISCO
San Luis Obispo

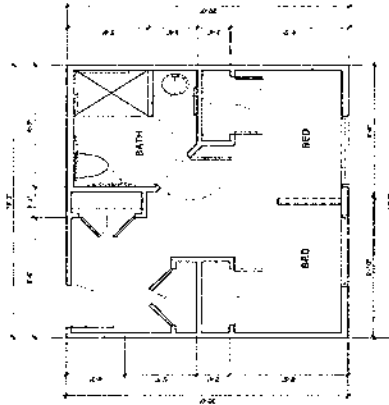
Exhibit E-1
Unit Floor Plans
PD 07-014
(Golden Hill Retirement Community)



UNIT SH.1 (STAFF HOUSING)
 2 BEDROOM / 1 BATH / GA
 GARAGE: 294 s.f.
 LIVING: 1064 s.f.
 TOTAL: 1358 s.f.



UNIT SC.1
 SPECIAL CARE 1 BED STUDIO
 323 s.f.



UNIT SC.2
 SPECIAL CARE 2 BED STUDIO
 383 s.f.

FLOOR PLANS
 1/4" = 1'-0"

Golden Hill
 RETIREMENT
 COMMUNITY
 PASO ROBLES, CALIFORNIA

UNIT FLOOR PLANS
 1/4" = 1'-0"

DEVELOPERS
Golden Hill
 Development LLC
 Modera

ARCHITECTS
Golden Hill
 ARCHITECTS
 San Luis Obispo

Exhibit E-2
 Unit Floor Plans
 PD 07-014
 (Golden Hill Retirement Community)

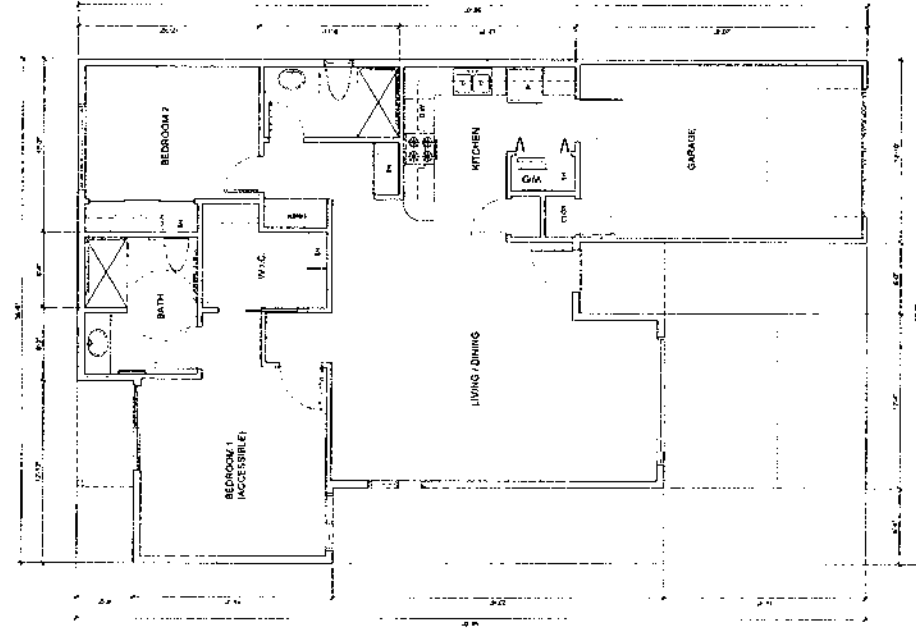
Golden Hill
 RETIREMENT
 COMMUNITY
 PASO ROBLES, CALIFORNIA

UNIT FLOOR PLANS
 1/4" = 1'-0"

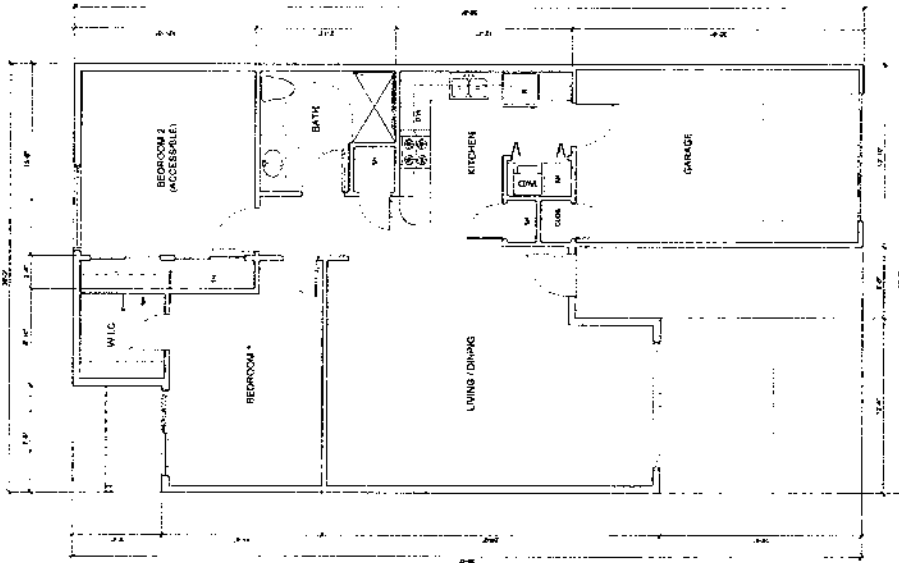
DEVELOPERS
Golden Hill
Development LLC
 MADRA

ARCHITECTS

 San Luis Obispo



UNIT CO.2
 COTTAGE FLOOR PLAN
 GARAGE : 263 s.f.
 LIVING : 1194 s.f.
 TOTAL : 1457 s.f.



UNIT CO.1
 COTTAGE FLOOR PLAN
 GARAGE : 263 s.f.
 LIVING : 1100 s.f.
 TOTAL : 1363 s.f.

COTTAGE FLOOR PLANS
 SCALE: 1/4" = 1'-0"

Exhibit E-3
 Unit Floor Plans
 PD 07-014
 (Golden Hill Retirement Community)

**LOWER LEVEL
 BUILDING FLOOR PLAN**

1 - 20

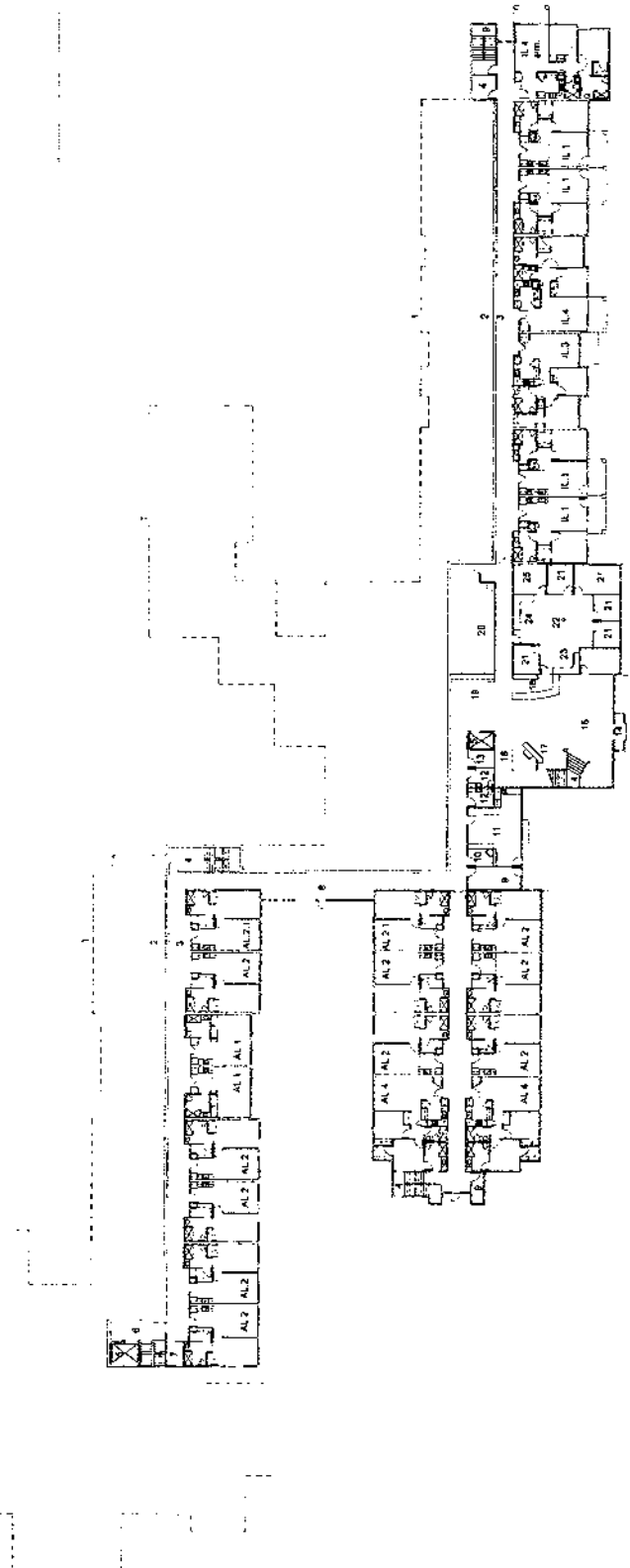
DEVELOPERS

**Golden Hill
 Development LLC**
 Madhya

ARCHITECTS

**RANDY
 SMITH
 ARCHITECTS**
 San Luis Obispo

- NOTES
1. OUTLINE OF ADJACENT LEVEL ABOVE
 2. RETAINING WALL
 3. STAIR
 4. ELEVATOR
 5. ELEVATOR
 6. HOUSEKEEPING
 7. ELECTRICAL COMMUNICATIONS
 8. JANITOR
 9. JANITOR
 10. JANITOR
 11. ELEVATOR SHAFT
 12. ELEVATOR SHAFT
 13. ELEVATOR SHAFT
 14. ELEVATOR SHAFT
 15. ELEVATOR SHAFT
 16. ELEVATOR SHAFT
 17. ELEVATOR SHAFT
 18. ELEVATOR SHAFT
 19. ELEVATOR SHAFT
 20. ELEVATOR SHAFT
 21. OFFICE
 22. OFFICE
 23. SECURITY CENTER
 24. SECURITY CENTER
 25. STORAGE



LOWER FLOOR PLAN
 SCALE 1/4" = 1'-0"

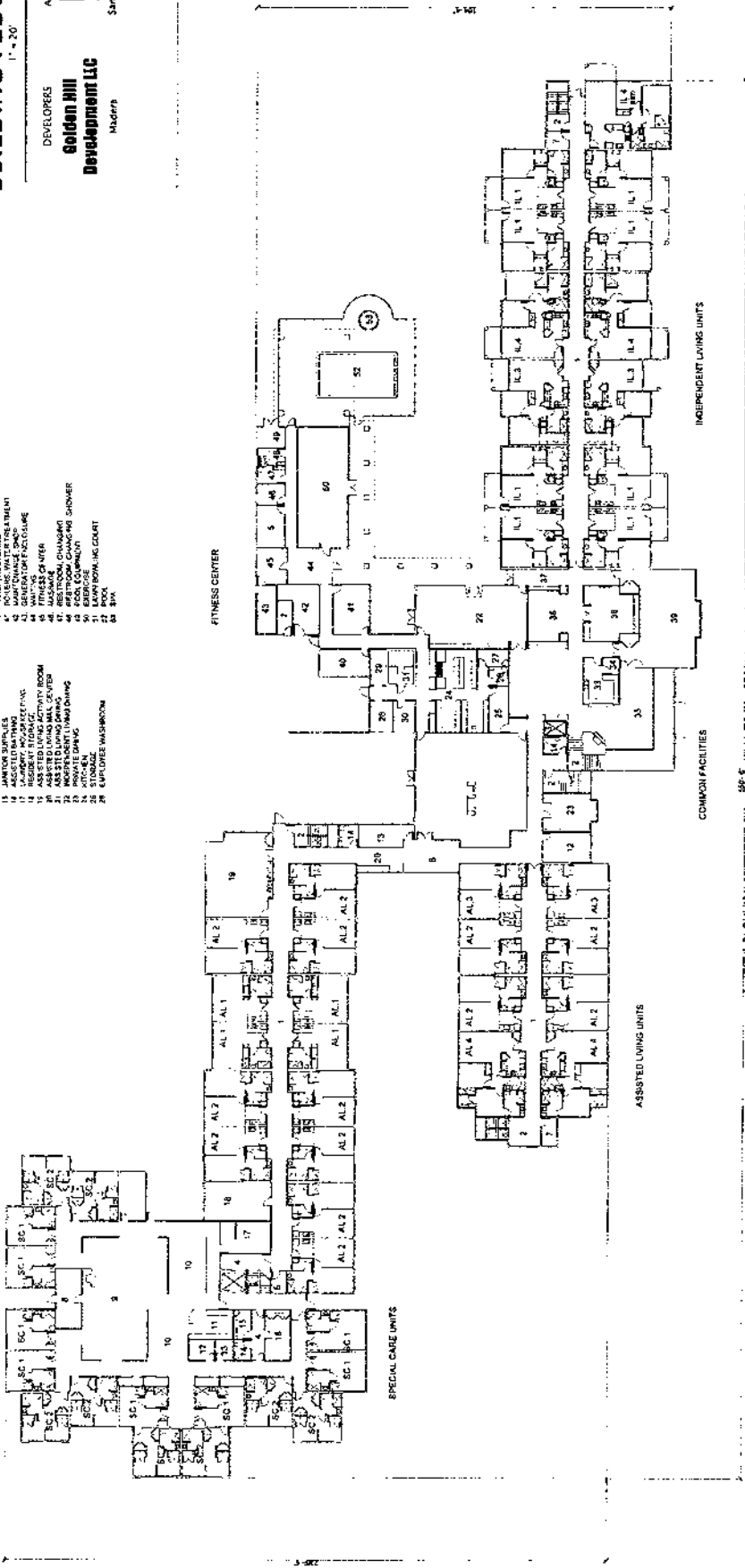
Exhibit E-4
 Unit Floor Plans
 PD 07-014
 (Golden Hill Retirement Community)

**MIDDLE LEVEL
BUILDING FLOOR PLAN**
1" = 20'

DEVELOPERS
Golden Hill
Development LLC
Madera

ARCHITECTS
BRADY
ARCHITECTS
SANTA ANITA
SANTA ANITA
SANTA ANITA
San Luis Obispo

- NOTE
- 1 STAIR
 - 2 ELEVATOR
 - 3 ELEVATOR
 - 4 HOUSEKEEPING
 - 5 HOUSEKEEPING
 - 6 HOUSEKEEPING
 - 7 HOUSEKEEPING
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MIDDLE FLOOR PLAN
SCALE 1" = 20'

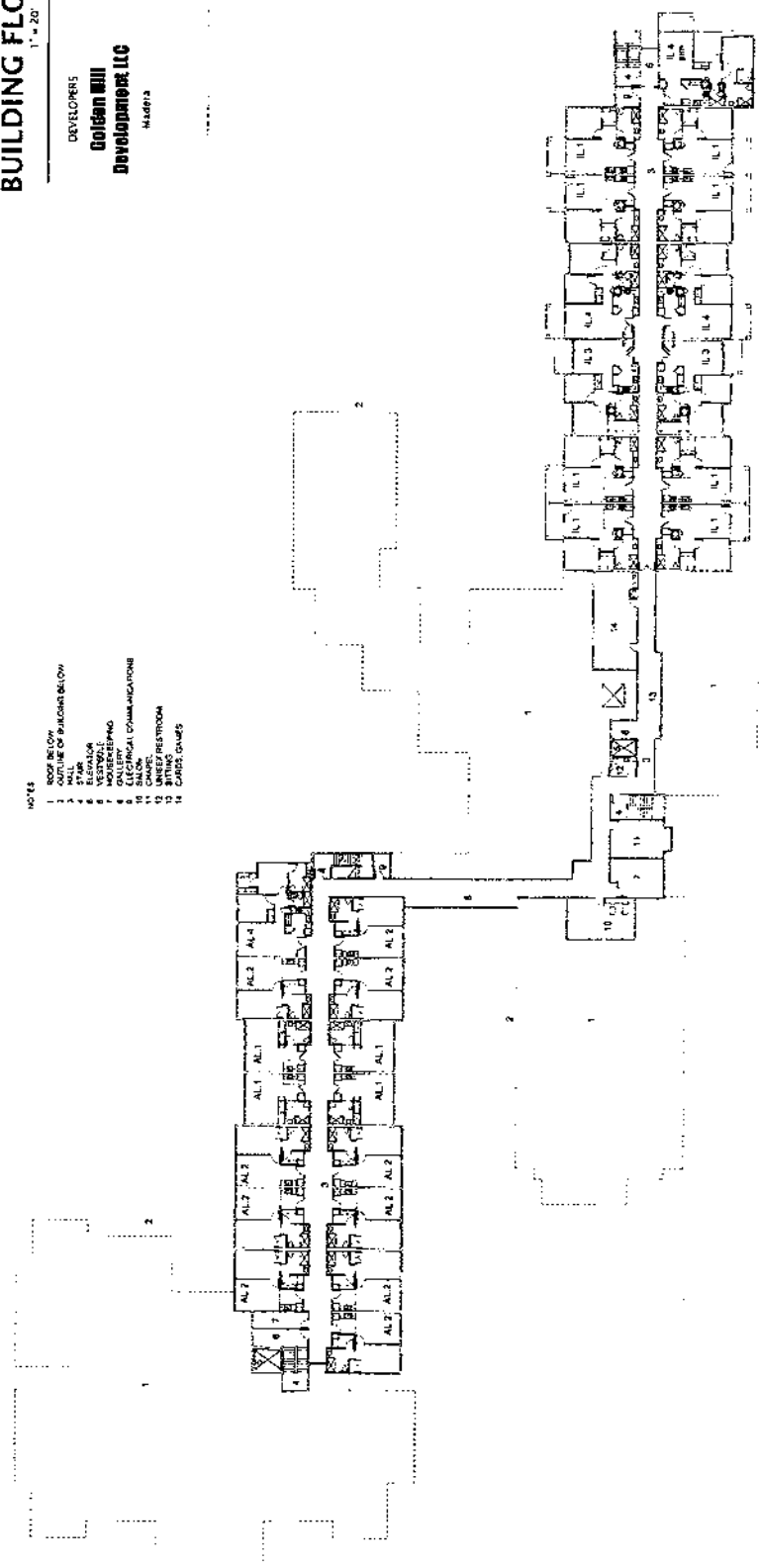
Exhibit E-5
Unit Floor Plans
PD 07-014
(Golden Hill Retirement Community)

**UPPER LEVEL
 BUILDING FLOOR PLAN**
 1" = 20'

DEVELOPERS
**Golden Hill
 Development LLC**
 H.A. 0813

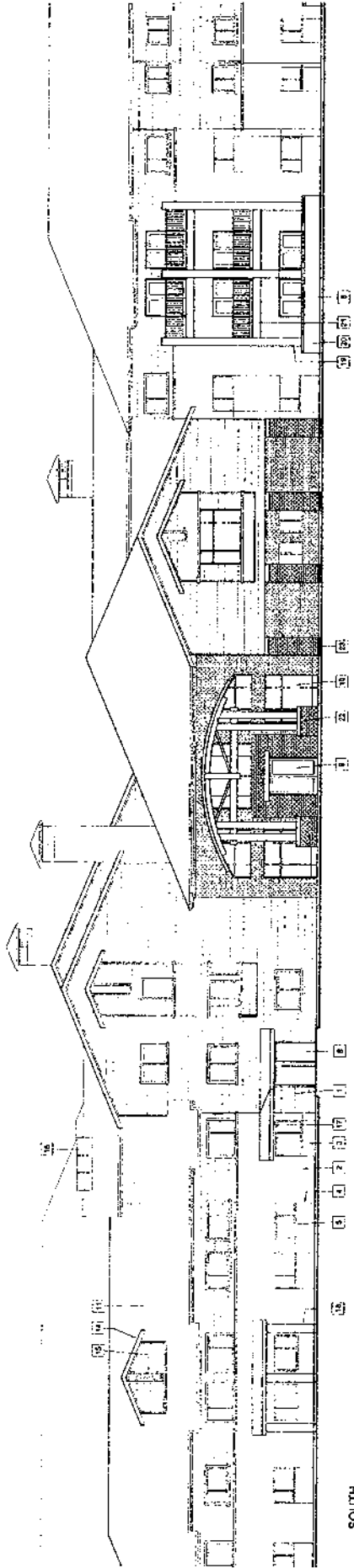
ARCHITECTS
**STARK
 STRAIN
 ARCHITECTS**
 San Luis Obispo

- NOTES
1. ROOF BELOW
 2. OUTLINE OF BALCONY BELOW
 3. STAIR
 4. ELEVATOR
 5. VESTIBULE
 6. MECHANICAL
 7. MECHANICAL
 8. MECHANICAL
 9. ELECTRICAL COMMUNICATIONS
 10. SALON
 11. KITCHEN
 12. BREAK ROOM
 13. OFFICE
 14. OFFICE
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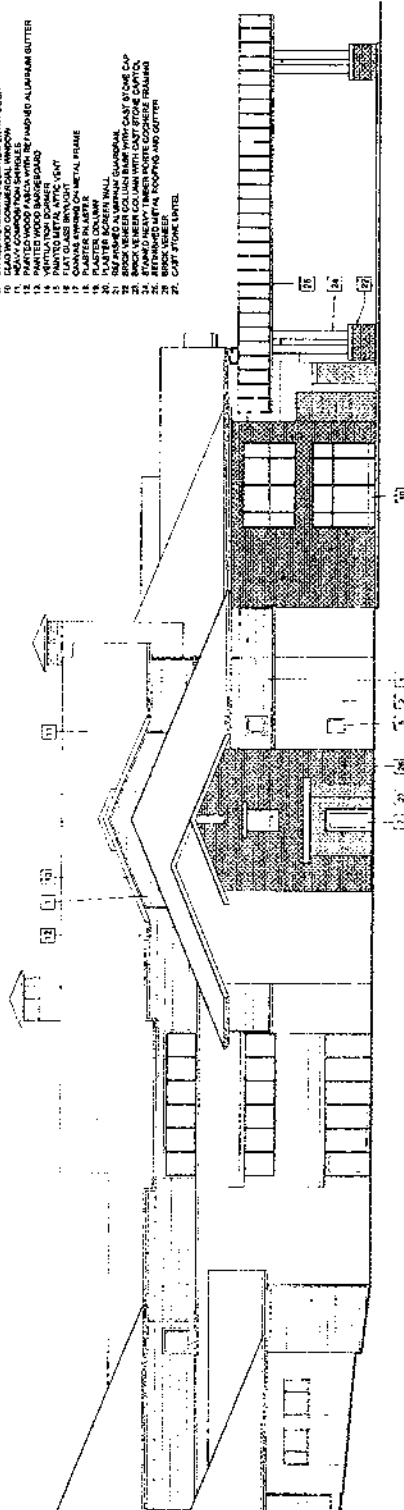


UPPER FLOOR PLAN
 SCALE 1" = 20'

Exhibit E-6
 Unit Floor Plans
 PD 07-014
 (Golden Hill Retirement Community)



SOUTH



WEST

NOTE

1. PARTIALLY PAINTED BOARD BUNK
2. SMOOTH INTERIALLY FINISHED PAINTER COLOR 1
3. REVELA UNPAINTED PAINTER COLOR 2
4. UNPAINTED
5. PAINTED ALUMINUM FINISH DOOR
6. BLANET FINISH DOOR UNPAINTED
7. UNPAINTED ALUMINUM ENTRY DOOR
8. UNPAINTED ALUMINUM ENTRY DOOR
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Golden Hill
RETIREMENT
COMMUNITY
PASO ROBLES, CALIFORNIA

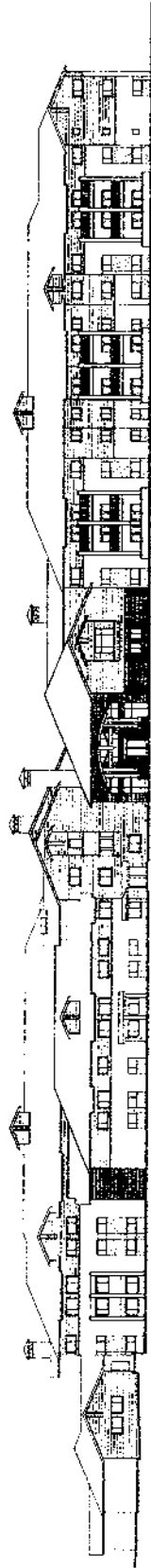
PARTIAL ELEVATIONS
1/8" = 1'-0"

DEVELOPERS
Golden Hill
Development LLC
Madera

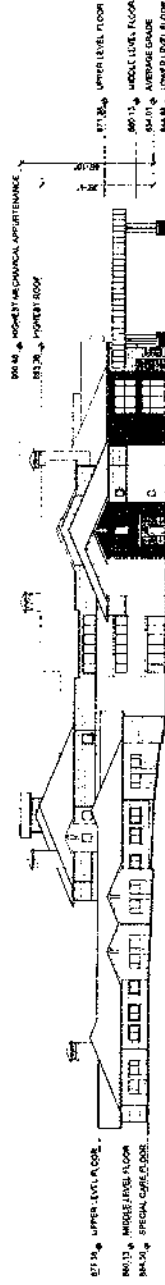
ARCHITECTS
WATSON
ARCHITECTS
San Luis Obispo

Exhibit F-1
Partial Elevations
PD 07-014
(Golden Hill Retirement Community)

MAIN BUILDING PARTIAL ELEVATIONS
1/8" = 1'-0"



SOUTH



WEST

EXTERIOR ELEVATIONS
1" = 20'-0"

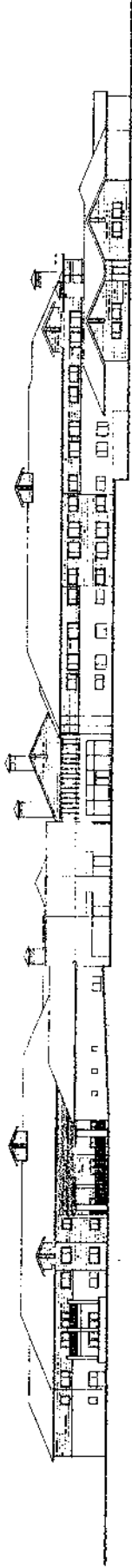
Golden Hill
 RETIREMENT
 COMMUNITY
 PASO ROBLES, CALIFORNIA

**SOUTH, WEST
 ELEVATIONS**
 1" = 20"

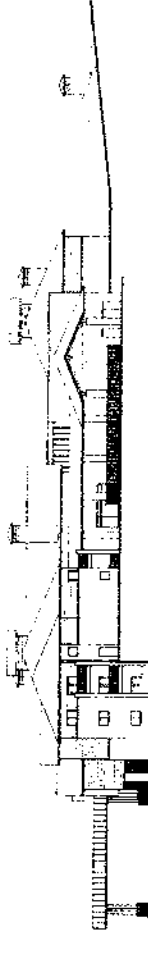
DEVELOPERS
**Golden Hill
 Development LLC**
 Malibu

ARCHITECTS
**BRUNNEN
 STUDIO
 ARCHITECTS**
 San Luis Obispo

Exhibit F-2
 Partial Elevations
 PD 07-014
 (Golden Hill Retirement Community)



NORTH



EAST

EXTERIOR ELEVATIONS
 1" = 20'-0"

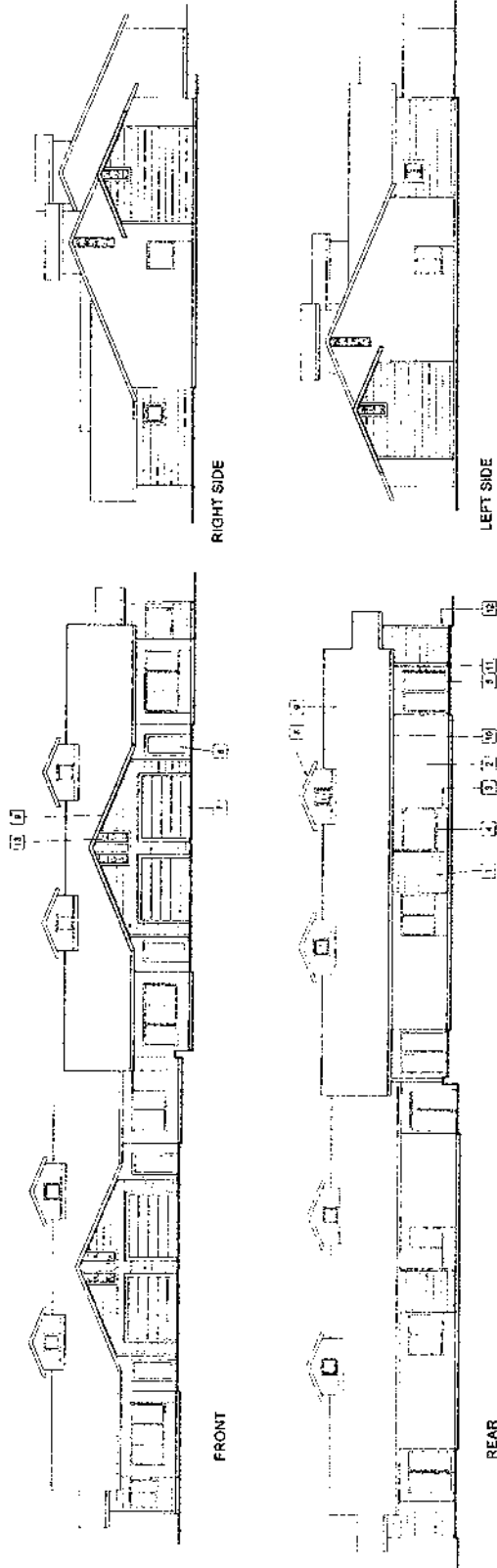
Golden Hill
 RETIREMENT
 COMMUNITY
 PASO ROBLES, CALIFORNIA

**NORTH, EAST
 ELEVATIONS**
 1" = 20"

DEVELOPERS
**Golden Hill
 Development LLC**
 Madera

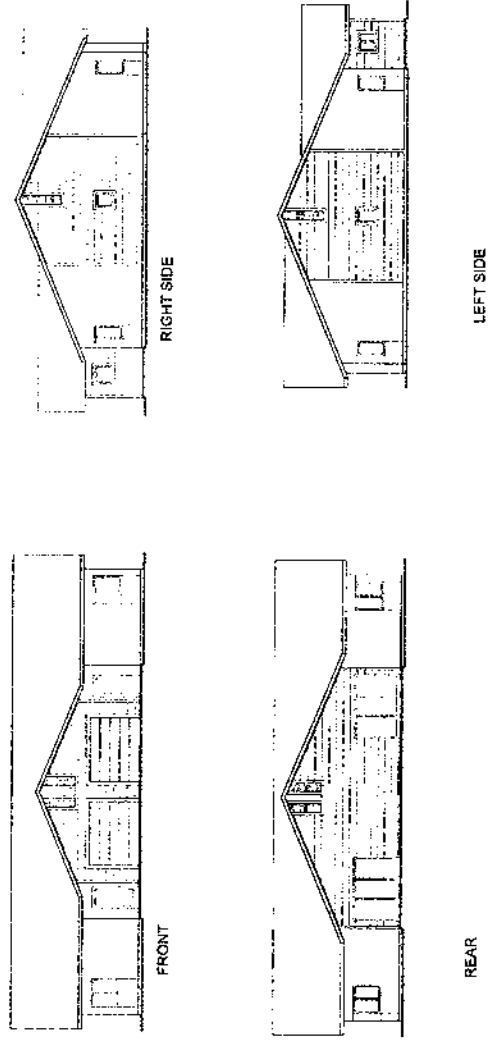
ARCHITECTS
**STANLEY
 HARTWELL**
 SAN LUIS OBISPO

Exhibit F-3
 Partial Elevations
 PD 07-014
 (Golden Hill Retirement Community)



UNIT CO.1 / CO.2 BUILDING EXTERIOR ELEVATIONS
1/8" = 1'-0"

- NOTES
1. PAINTED FINISHES AS SHOWN
 2. SMOOTH INTERIORS AS SHOWN
 3. REPAIR JOINTS
 4. PAINTED INTERIORS AS SHOWN
 5. PAINTED ALUMINUM FINISH DOOR
 6. PAINTED ALUMINUM FINISH WINDOW
 7. PAINTED METAL FINISH WINDOW
 8. LIGHT MONITOR AND TELEVISION BELLDERE
 9. PAINTED WOOD FINISH WITH REFINISHED ALUMINUM OUTER
 10. PAINTED WOOD FINISH COLUMN
 11. PAINTED WOOD FINISH TRUSS
 12. PAINTED METAL FINISH VENT
 13. PAINTED METAL FINISH VENT
 14. PAINTED WOOD BACKGROUND



UNIT SH.1 BUILDING EXTERIOR ELEVATIONS
1/8" = 1'-0"

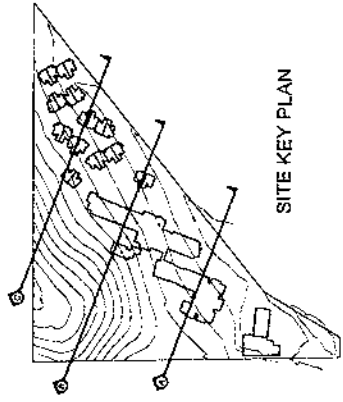
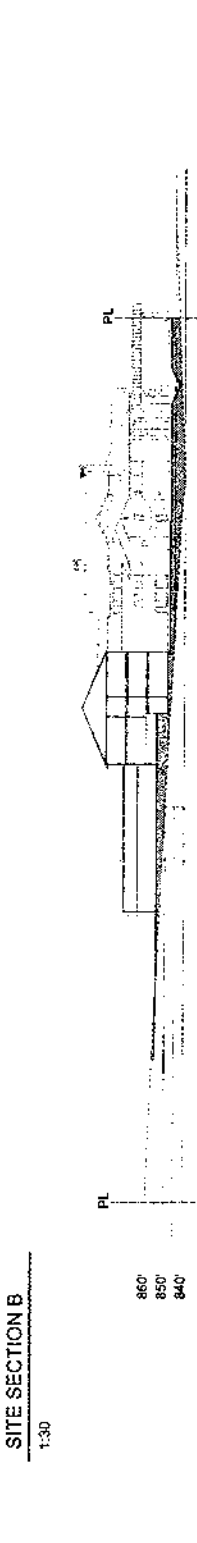
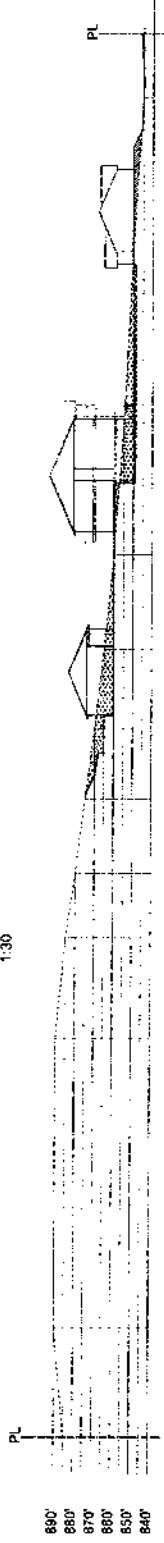
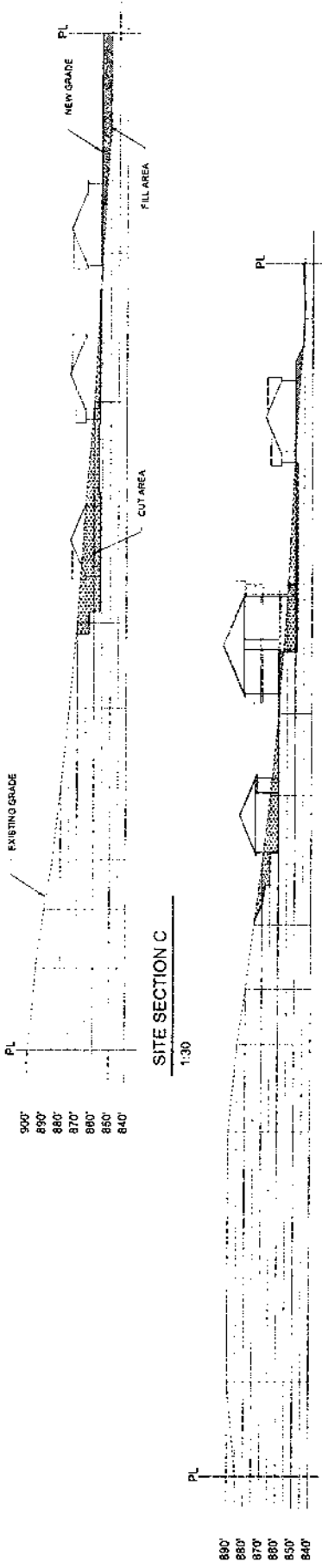
Golden Hill
RETIREMENT
COMMUNITY
PASO ROBLES, CALIFORNIA

COTTAGE ELEVATIONS
1/8" = 1'-0"

DEVELOPERS
Golden Hill
Development LLC
No. 678

ARCHITECTS
STANLEY
ARCHITECTS
San Luis Obispo

Exhibit F-4
Partial Elevations
PD 07-014
(Golden Hill Retirement Community)



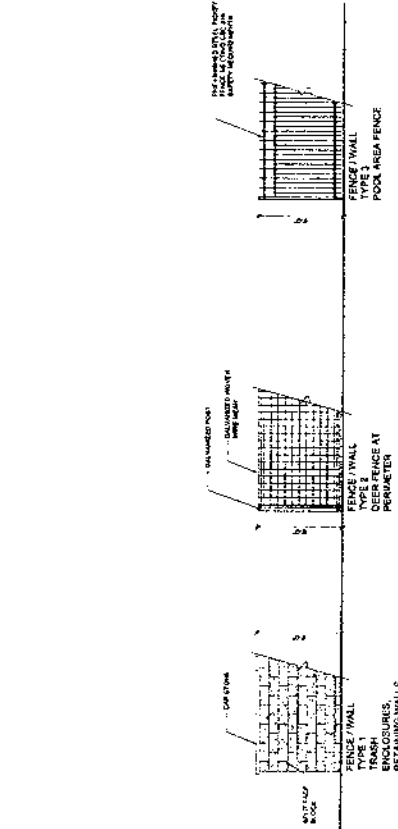
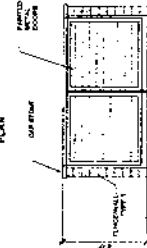
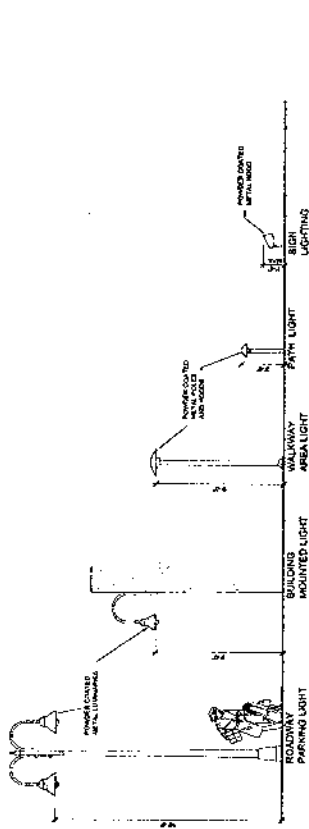
Golden Hill
RETIREMENT
COMMUNITY
PASO ROBLES, CALIFORNIA

SITE SECTIONS
1" = 30'

DEVELOPERS
Golden Hill
Development LLC
Madera

ARCHITECTS
STANTEC
ARCHITECTS
SAN LUIS OBISPO

Exhibit G
Site Sections
PD 07-014
(Golden Hill Retirement Community)



SITE FURNISHINGS
SCALE: 1/4" = 1'-0"

Golden Hill
RETIREMENT
COMMUNITY
PASO ROBLES, CALIFORNIA

SITE FURNISHINGS
1/4" = 1'-0"

DEVELOPERS
Golden Hill
Development LLC
Madra

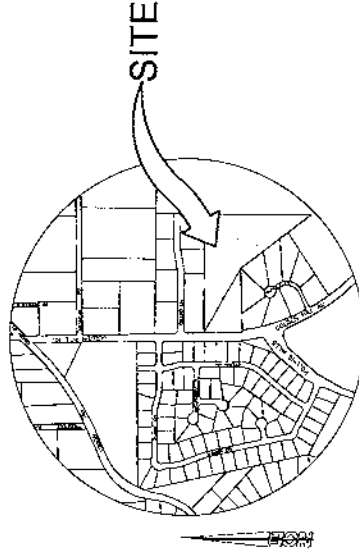
ARCHITECTS
WATG
ARCHITECTS
San Luis Obispo

Exhibit H
Site Furnishings
PD 07-014
(Golden Hill Retirement Community)

GOLDEN HILL SENIOR COMMUNITY TENTATIVE PARCEL MAP AND PLANNED DEVELOPMENT

SITE STATISTICS - OVERVIEW

RECORD OWNER:	WILLIAM B. HAWK P.O. BOX 722 TEMPLETON, CA 93465
APPLICANT	GOLDEN HILL DEVELOPMENT, LLC WILLIAM B. HAWK P.O. BOX 722 TEMPLETON, CA 93465
ENGINEER	NORTH COAST ENGINEERING, INC. 725 CRESTON RD. STE. B, PASO ROBLES, CA 93446 CHRISTY GABLER R.C.E. 64821 EXP. 6/30/09
ARCHITECT	FRASER-SEIPLE ARCHITECTS BRUCE FRASER 971 OSOS STREET SAN LUIS OBISPO, CA 93401
A.P.N.	025-366-012
TOTAL AREA	13.48 ACRES
LOTS	2
DENSITY	9.5 UNITS PER ACRE
EXISTING USE OF PROPERTY	1 CHURCH/DAY CARE FACILITY
PROPOSED USE OF PROPERTY	125 UNIT SENIOR COMMUNITY, CHURCH, DAY CARE
EXISTING ZONING	R-1-R3
PROPOSED ZONING	R-3-PD-SH



LOCATION MAP
AS SHOWN

SHEET INDEX

1. TITLE SHEET
2. TENTATIVE PARCEL MAP
3. PRELIMINARY GRADING PLAN INDEX MAP
4. SITE GRADING & DRAINAGE - WEST
5. SITE GRADING & DRAINAGE - MIDDLE
6. SITE GRADING & DRAINAGE - EAST
7. UNIMPROVED PARCEL MAP
8. SITE CROSS SECTIONS AND DETAILS

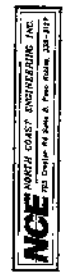
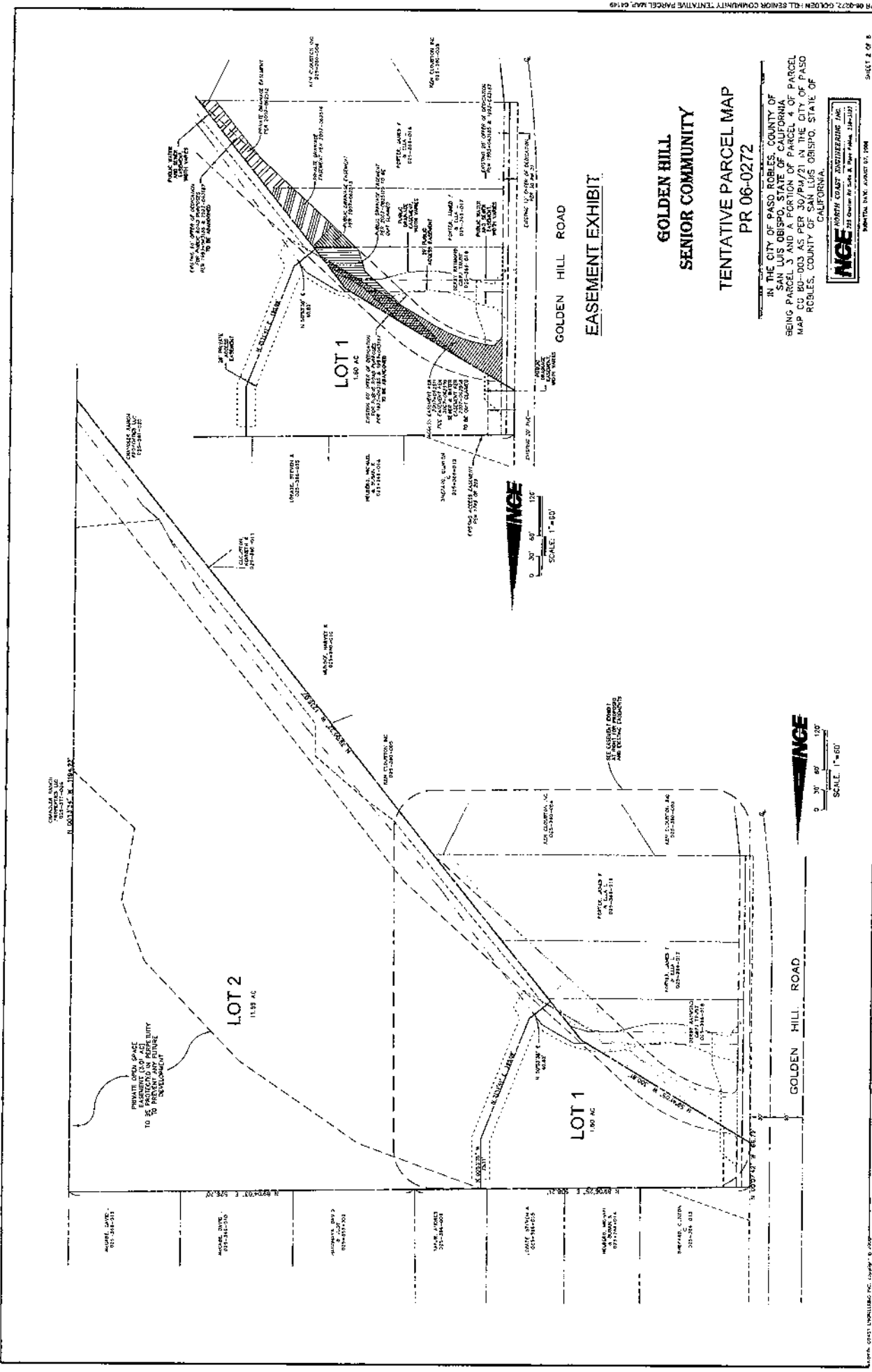


Exhibit J
Title Sheet
PD 07-014
(Golden Hill Retirement Community)

FR 06-0277 GOLDEN HILL SENIOR COMMUNITY TENTATIVE PARCEL MAP 04/13

NORTH COAST ENGINEERING, INC. 02/28/09 8:00 AM



**GOLDEN HILL
 SENIOR COMMUNITY
 TENTATIVE PARCEL MAP
 PR 06-0272**

IN THE CITY OF PASADENA, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA, A PORTION OF PARCEL MAP CG 80-003 AS PER 30/PM/21 IN THE CITY OF PASADENA, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA.



Exhibit K
 Tentative Parcel Map PR 06-0272
 PD 07-014
 (Golden Hill Retirement Community)

