

RESOLUTION NO.: 08-044

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
APPROVING PLANNED DEVELOPMENT 08-005
(STUDIOS ON THE PARK)
APN: 009-103-010

WHEREAS, Section 21.16A, Planned Development District, projects located in the PD Overlay district are subject to Planning Commission approval of a development plan (PD); and

WHEREAS, Planned Development 08-005 has been filed by Larry Gabriel on behalf of Anne Laddon and Studios on the Park to renovate an existing building to accommodate an art studio; and

WHEREAS, the project is located at 1130 Pine Street; and

WHEREAS, the 9,375 square foot site is zoned C3-PD (Commercial / Light-Industrial, Planned Development Overlay), and has a General Plan designation of CC, (Community Commercial); and

WHEREAS, at its September 9, 2008 meeting, the Planning Commission held a duly noticed public hearing on the Project, to accept public testimony on the proposal including Planned Development 08-005 and related applications; and

WHEREAS, pursuant to the Statutes and Guidelines of the California Environmental Quality Act (CEQA), and the City's Procedures for Implementing CEQA, an Initial Study was prepared and circulated for public review and comment; and

WHEREAS, based on the information and analysis contained in the Initial Study, a determination has been made that the proposed Project qualifies for adoption of a Mitigated Negative Declaration; and

WHEREAS, based upon the facts and analysis presented in the staff report and the attachments thereto, the public testimony received, and subject to the Conditions of Approval listed below, the Planning Commission makes the following findings:

1. The proposed Project will not be detrimental to the City's efforts to revitalize Downtown Paso Robles since the Project is consistent with the City's Economic Strategy, by providing an opportunity for merchants to view and purchase specialty items in the historic downtown.
2. The proposed Planned Development is consistent with the purpose, intent and regulations set forth in Chapter 21.16A (Planned Development Overlay District Regulations) as follows:
 - A. The granting of the Planned Development (PD) will not adversely affect the policies, spirit and intent of the General Plan, the Zoning Ordinance, and the policies and plans of the City. Rather, the PD for the Project implements the City's goals as expressed in its General Plan and its Economic Strategy.

- B. The Project maintains and enhances the significant natural resources on the site. This has been accomplished through the enhanced architecture and incorporation of historic elements from the original building.
- C. The Project is designed to be sensitive to, and blend in with, the character of the site and surrounding area.
- D. The Project is consistent with the purpose and intent of the Planned Development Chapter of the Zoning Ordinance and the Project is not contrary to the public health, safety and welfare.
- E. The Project is consistent with the purpose and intent of the Secretary of Interior standards for historic significance, since the addition incorporates historic elements from the original building.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles does hereby approve Planned Development 08-005, subject to the following conditions:

PLANNING CONDITIONS:

1. The Project shall be constructed in substantial conformance with the Conditions of Approval established by this Resolution and it shall be constructed in substantial conformance with the following Exhibits:

| EXHIBIT | DESCRIPTION |
|---------|--|
| A | Standard Conditions |
| B | Title Sheet |
| C | Historical Parts |
| D | Street Elevations |
| E | Existing Elevations |
| F | 1 st Floor Plan |
| G | 2 nd Floor Plan |
| H | 3 rd Floor Plan |
| I | Roof Plan |
| J | Building Sections |
| K | Color and Materials Board (on file in the Community Development Dept.) |

2. This Development Plan for PD 08-005, allows for development and operation of the 19,512 square foot building consisting of a three level art studio.
3. This project approval shall expire on September 9, 2010 unless a time extension request is filed with the Community Development Department prior to expiration.
4. In conjunction with the submittal of the building plans, exterior light cut-sheets shall be provided for Staff review, to insure adequate shielding.
5. Prior to the issuance of a building permit, the applicant shall pay in-lieu fees for 25 spaces (based on the incremental increase of the new building being 10,137) at a rate established by

Council Resolution. In-lieu fees are calculated and paid at the time of Building Permit issuance.

6. The applicant shall submit a sign plans to be reviewed by the DRC. The applicant shall obtain required building permits for the signs prior to installation.
7. All roof mounted equipment shall be fully screened.
8. Any equipment such as fire sprinkler back flow devices shall be located inside of the building and not be visible. Verification of location of devices shall be shown on the construction drawings prior to the issuance of a building permit.
9. In conjunction with the construction drawings submittal to the Building Department, the following items shall be included in the building plans and/or materials:
 - The Pine Street façade shall remain including the pebble texture. Changes in building entry features and front windows shall be subject to approval of the Community Development Director. Window sill height shall be compatible with downtown storefront design and close to 24 inches high.
 - The second floor shall be set back a minimum of 14 feet from the front façade. The third floor shall be limited to the rear half of the building.
 - The new roof shall maintain similar angles and gable design.
 - The side concrete walls shall remain in place.
 - The scored concrete floor shall remain and new flooring at the rear of the first floor shall be compatible.
 - Photo documentation of the building's interior shall be completed prior to construction. The wooden truss system can be removed due to structural issues. However, the project shall include interior project features such as decorative trim, stairways, railing, etc. that emulates the truss pattern of the original roof and re-uses it in an interpretive manner.
 - Keep interior ceilings high and open to the maximum extent possible.
 - The existing blade sign shall be incorporated into the proposed design.

EMERGENCY SERVICES SITE SPECIFIC CONDITIONS:

10. Prior to the start of construction, documentation shall be submitted to Emergency Services showing that required fire flows can be provided to meet all project demands.
11. Provide central station monitored fire sprinkler system for all buildings. Fire sprinkler riser to be located on the interior of the building.
12. Provide fire department connection to the fire sprinkler system on the address side of the building.
13. Provide exterior fire alarm enunciator panel in weather proof enclosure on the address side of the building.

14. Provide Knox Box fire department rapid entry device on address side of the building.

ENGINEERING CONDITIONS

15. Prior to occupancy, the applicant shall complete Pine and Railroad Street improvements in accordance with plans approved by the City Engineer. A schematic plan for decorative street lights and tree wells shall be developed for both Pine and Railroad Streets. Street trees and decorative street lights will be added to the frontage of the project based upon the schematic plan and the direction of the City Engineer.

16. All utilities to the project shall be placed underground. Prior to occupancy, the applicant shall enter into an agreement not to protest the formation of an assessment district, or other financing plan, to relocate all utility lines in the block underground.

17. Prior to issuance of a building permit, a fire hydrant shall be installed on Railroad Street.

PASSED AND ADOPTED THIS 9th day of September, 2008 by the following Roll Call Vote:

AYES: Holstine, Hodgkin, Treach, Flynn, Johnson, Peterson

NOES: None

ABSENT: None

ABSTAIN: Steinbeck

CHAIRMAN PRO TEMPORE TREATCH

ATTEST:

RON WHISENAND, PLANNING COMMISSION SECRETARY

EXHIBIT A OF RESOLUTION 08-044

**CITY OF EL PASO DE ROBLES STANDARD DEVELOPMENT CONDITIONS
FOR PLANNED DEVELOPMENTS / CONDITIONAL USE PERMITS**

PROJECT #: PLANNED DEVELOPMENT 08-005

APPROVING BODY: PLANNING COMMISSION

DATE OF APPROVAL: SEPTEMBER 9, 2008

APPLICANT: STUDIOS ON THE PARK

LOCATION: 1030 PINE STREET

The following conditions that have been checked are standard conditions of approval for the above referenced project. The checked conditions shall be complied with in their entirety before the project can be finalized, unless otherwise specifically indicated. In addition, there may be site specific conditions of approval that apply to this project in the resolution.

COMMUNITY DEVELOPMENT DEPARTMENT - The applicant shall contact the Community Development Department, (805) 237-3970, for compliance with the following conditions:

A. GENERAL CONDITIONS:

- 1. This project approval shall expire on September 9, 2010 (See Planned Development Approval Resolution) unless a time extension request is filed with the Community Development Department prior to expiration.
- 2. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Planned Development process shall not waive compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
- 3. Prior to occupancy, all conditions of approval shall be completed to the satisfaction of the City Engineer and Community Developer Director or his designee.
- 4. Any site specific condition imposed by the Planning Commission in approving this project may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the approval of this project. No such modification shall be made unless the Commission finds that such modification is necessary to protect the

public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use for this approval.

- 5. This project is subject to the California Environmental Quality Act (CEQA) which requires the applicant submit a \$25.00 filing fee for the Notice of Determination payable to "County of San Luis Obispo". The fee should be submitted to the Community Development Department within 24 hours of project approval which is then forwarded to the San Luis Obispo County Clerk. Please note that the project may be subject to court challenge unless the required fee is paid.
- 6. The site shall be kept in a neat manner at all times and the landscaping shall be continuously maintained in a healthy and thriving condition.
- 7. All signs shall be subject to review and approval as required by Municipal Code Section 21.19 and shall require a separate application and approval prior to installation of any sign.
- 8. All outdoor storage shall be screened from public view by landscaping and walls or fences per Section 21.21.110 of the Municipal Code.
- 9. All trash enclosures shall be constructed of decorative masonry block compatible with the main buildings. Gates shall be view obscuring and constructed of durable materials such as painted metal or chain link with plastic slatting.
- 10. All existing and/or new ground-mounted appurtenances such as air-conditioning condensers, electrical transformers, backflow devices etc., shall be screened from public view through the use of decorative walls and/or landscaping subject to approval by the Community Development Director or his designee. Details shall be included in the building plans.
- 11. All existing and/or new roof appurtenances such as air-conditioning units, grease hoods, etc. shall be screened from public view. The screening shall be architecturally integrated with the building design and constructed of compatible materials to the satisfaction of the Community Development Director or his designee. Details shall be included in the building plans.
- 12. All existing and/or new lighting shall be shielded so as to be directed downward in such a manner as to not create off-site glare or adversely impact adjacent properties. The style, location and height of the lighting fixtures shall be submitted with the building plans and shall be subject to approval by the Community Development Director or his designee.

- 13. All existing and/or new landscaping shall be installed with automatic irrigation systems.
- 14. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 15. The following areas shall be placed in the Landscape and Lighting District:

The developer shall install all improvements and landscape areas. City acceptance on behalf of the Landscape and Lighting District shall be subject to the approval of the Public Works Street Department (237-3864).

- 16. All parking lot landscape planters shall have a minimum outside dimension of six feet and shall be separated from parking and driving areas by a six inch high solid concrete curb.
- 17. The following areas shall be permanently maintained by the property owner, Homeowners' Association, or other means acceptable to the City:

- 18. It is the property owner's responsibility to insure that all construction of private property improvements occur on private property. It is the owner's responsibility to identify the property lines and insure compliance by the owner's agents.

B. THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF BUILDING PERMITS:

- 1. Two sets of the revised Planning Commission approved plans incorporating all Conditions of Approval, standard and site specific, shall be submitted to the Community Development Department prior to the issuance of building permits.

- 2. Prior to the issuance of building permits, the
 - Development Review Committee shall approve the following:
 - Planning Division Staff shall approve the following:
 - a. A detailed site plan indicating the location of all structures, parking layout, outdoor storage areas, walls, fences and trash enclosures;
 - b. A detailed landscape plan;
 - c. Detailed building elevations of all structures indicating materials, colors, and architectural treatments;
 - d. Other: See site specific conditions in PD 08-005 Resolution
- 3. The applicant shall meet with the City's Crime Prevention Officer prior to the issuance of building permits for recommendations on security measures to be incorporated into the design of the structures to be constructed. The applicant is encouraged to contact the Police Department at (805) 237-6464 prior to plan check submittal.

C. THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO OCCUPANCY:

- 1. Occupancy of the facility shall not commence until such time as all Uniform Building Code and Uniform Fire Code regulations have been complied with. Prior to occupancy, plans shall be submitted to the Paso Robles Fire Department and the Building Division to show compliance. The building shall be inspected by the appropriate department prior to occupancy.
- 2. All public or private manufactured slopes located adjacent to public right-of-ways on property in excess of six (6) feet in vertical height and of 2.5:1 or greater slope shall be irrigated and landscaped for erosion control and to soften their appearance as follows: one 15-gallon tree per each 250 square feet of slope area, one 1-gallon or larger size shrub per each 100 square feet of slope area, and appropriate ground cover. Trees and shrubs shall be staggered in clusters to soften and vary the slope plane. Slope planting shall include a permanent irrigation system be installed by the developer prior to occupancy. In lieu of the above planting ratio, the applicant may submit a slope planting plan by a licensed landscape architect or contractor providing adequate landscaping, erosion control and slope retention measures; the slope planting plan is subject to approval by the Development Review Committee. Hydroseeding may be considered on lots of 20,000 square feet or greater.

PUBLIC WORKS DEPARTMENT - The applicant shall contact the Engineering Division, (805) 237-3860, for compliance with the following conditions:

APPLICANT: Studios PREPARED BY: JF

REPRESENTATIVE: Gabriel CHECKED BY: _____

PROJECT: PD 08-005 TO PLANNING: _____

All conditions marked are applicable to the above referenced project for the phase indicated.

D. PRIOR TO ANY PLAN CHECK:

- 1. The applicant shall enter into an Engineering Plan Check and Inspection Services Agreement with the City.

E. PRIOR TO ISSUANCE OF A GRADING PERMIT:

- 1. Prior to approval of a grading plan, the developer shall apply through the City, to FEMA and receive a Letter of Map Amendment (LOMA) issued from FEMA. The developer's engineer shall provide the required supporting data to justify the application.
- 2. The proposed structures and grading shall not encroach into the 100-year floodway as specified in Municipal Code Chapter 21.14 "Flood Damage Prevention Regulations".
- 3. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No. 553, Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to removal.
- 4. A complete grading and drainage plan prepared by a registered civil engineer shall be included with the improvement plans. Drainage calculations shall be submitted, with provisions made for on-site detention/ retention if adequate disposal facilities are not available, as determined by the City Engineer.

- 5. A Preliminary Soils and/or Geology Report shall be prepared by a registered engineer for the property to determine the presence of expansive soils or other soils problems and shall make recommendations regarding grading of the proposed site.

F. PRIOR TO ANY SITE WORK:

- 1. All off-site public improvement plans shall be prepared by a registered civil engineer and shall be submitted to the City Engineer for review and approval. The improvements shall be designed and placed to the Public Works Department Standards and Specifications.
- 2. The applicant shall submit a composite utility plan signed as approved by a representative of each public utility, together with the improvement plans. The composite utility plan shall also be signed by the Water, Fire, Wastewater, and Street Division heads.
- 3. Any grading anticipated during the rainy season (October 15 to April 15) will require the approval of a Construction Zone Drainage and Erosion Control Plan to prevent damage to adjacent property. Appropriateness of areas shall be subject to City Engineer approval.
- 4. Any construction within an existing street shall require a Traffic Control Plan. The plan shall include any necessary detours, flagging, signing, or road closures requested. Said plan shall be prepared and signed by a registered civil or traffic engineer.
- 5. Landscape and irrigation plans for the public right-of-way shall be incorporated into the improvement plans and shall require a signature of approval by the Department of Public Works, Street Superintendent and the Community Development Department.
- 6. The owner shall offer to dedicate and improve the following street(s) to the standard indicated:

| | | |
|-----------------|---|----------------------|
| Railroad Street | (See City Engineer Site Specific Condition) | |
| Street Name | City Standard | Standard Drawing No. |
- 7. The owner shall offer to dedicate to the City the following easement(s). The location and alignment of the easement(s) shall be to the description and satisfaction of the City Engineer:
 - a. Public Utilities Easement;
 - b. Water Line Easement;

- c. Sewer Facilities Easement;
- d. Landscape Easement;
- e. Storm Drain Easement.

G. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

- 1. A final soils report shall be submitted to the City prior to the final inspection and shall certify that all grading was inspected and approved, and that all work has been done in accordance with the plans, preliminary report, and Chapter 70 of the Uniform Building Code.
- 2. The applicants civil and soils engineer shall submit a certification that the rough grading work has been completed in substantial conformance to the approved plans and permit.
- 3. When retaining walls are shown on the grading plan, said walls shall be completed before approval of the rough grade, and prior to issuance of any building permits, unless waived by the Building Official and the City Engineer.
- 4. All property corners shall be staked for construction control, and shall be promptly replaced if destroyed.
- 5. Building permits shall not be issued until the water system has been completed and approved, and a based access road installed sufficient to support the City's fire trucks per Fire Department recommendation.
- 6. The developer shall annex to the City's Landscape and Lighting District for payment of the operating and maintenance costs of the following:
 - a. Street lights;
 - b. Parkway and open space landscaping;
 - c. Wall maintenance in conjunction with landscaping;
 - d. Graffiti abatement;
 - e. Maintenance of open space areas.
- 7. Prior to the issuance of a Building Permit for a building within Flood Insurance Rate Map (FIRM) - in zones A1-A30, AE, AO, AH, A, V1-V30, VE and V - the developer shall provide an Elevation Certificate in accordance with the National Flood Insurance Program. This form must be completed by a land surveyor, engineer or architect licensed in the State of California.
- 8. Prior to the issuance of a Building Permit for a building within Flood Insurance Rate Map (FIRM) in zones A1-A30, AE, AO, AH, A, V1-V30, VE and V, the developer

shall provide a Flood Proofing Certificate in accordance with the National Insurance Program. This form must be completed by a land surveyor, engineer or architect licensed in the State California.

H. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY:

- 1. The applicant shall pay any current and outstanding fees for Engineering Plan Checking and Construction Inspection services and any outstanding annexation fees.
- 2. No buildings shall be occupied until all public improvements are completed and approved by the City Engineer, and accepted by the City Council.
- 3. All final property corners and street monuments shall be installed before acceptance of the public improvements.
- 4. All top soil removed shall be stockpiled and evenly distributed over the slopes and lots upon completion of rough grading to support hydroseeding and landscaping. All slope areas shall be protected against erosion by hydroseeding or landscaping.
- 5. The applicant shall install all street names, traffic signs and traffic striping as directed by the City Engineer.
- 6. If the adjoining existing City street is inadequate for the traffic generated by the project, or will be severely damaged by the construction, the applicant shall remove the entire roadway and replace it with a minimum full half-width street plus a 12' wide travel lane and 8' wide graded shoulder adequate to provide for two-way traffic. (A finding of "rough proportionality" has been made in the resolution for this condition).
- 7. If the development includes a phased street construction along the project boundary for future completion by the adjacent property owner, the applicant shall provide a minimum half-width street plus a 12' wide travel lane and 4' wide graded shoulder adequate for two-way traffic. (A finding of "rough proportionality" has been made in the resolution for this condition).
- 8. When the project fronts on an existing street, the applicant shall pave-out from the proposed curb to the edge of pavement if the existing pavement section is adequate, and shall feather the new paving out to the centerline for a smooth transition. If the existing pavement is inadequate, the roadway shall be replaced to centerline and the remaining pavement shall be overlaid. (A finding of "rough proportionality" has been made in the resolution for this condition).
- 9. Any utility trenching in existing streets shall be overlaid to restore a smooth riding

(Adopted by Planning Commission Resolution 94-038)

surface as required by the City Engineer. Boring and jacking rather than trenching may be required on newly constructed or heavily traveled City streets.

- 10. The applicant shall install all utilities (sewer, water, gas, electricity, cable TV and telephone) underground (as shown on the composite utility plan). Street lights shall be installed at locations as required by the City Engineer. All existing overhead utilities adjacent to or within the project shall be relocated underground except for electrical lines 77 kilovolts or greater. All utilities shall be extended to the boundaries of the project. All underground construction shall be completed and approved by the public utility companies, and the subgrade shall be scarified and compacted, before paving the streets.

- 11. Prior to paving any street the water and sewer systems shall successfully pass a pressure test. The sewer system shall also be tested by a means of a mandrel and video inspection with a copy of the video tape provided to the City. No paving shall occur until the City has reviewed and viewed the sewer video tape and has determined that the sewerline is acceptable. Any repair costs to the pipeline including trench paving restoration shall be at the developer's expense.

- 12. A blackline clear Mylar (0.4 MIL) copy and a blueline print of as-built improvement plans, signed by the engineer of record, shall be provided to the City Engineer prior to the final inspection. A reduced copy (i.e. 1" = 100') of the composite utility plan shall be provided to update the City's Atlas Map.

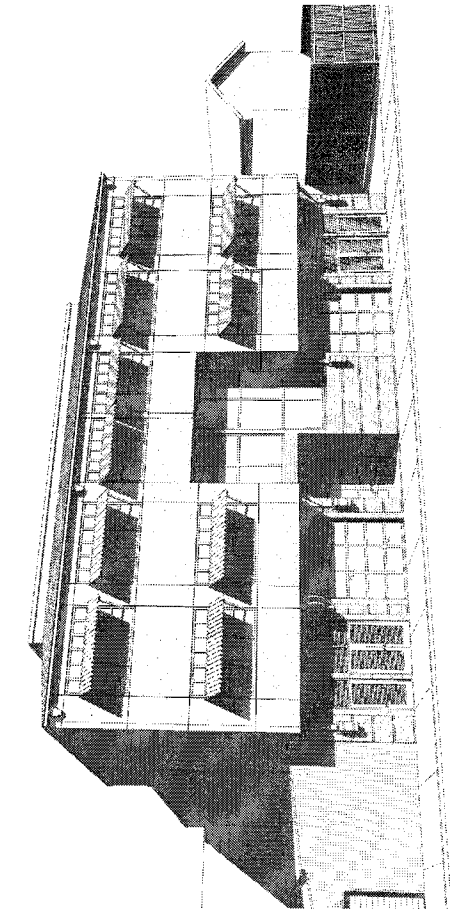
- 13. All construction refuse shall be separated (i.e. concrete, asphalt concrete, wood gypsum board, etc.) and removed from the project in accordance with the City's Source Reduction and Recycling Element.

PASO ROBLES FIRE DEPARTMENT - The applicant shall contact the Fire Department, (805) 237-3973, for compliance with the following conditions:

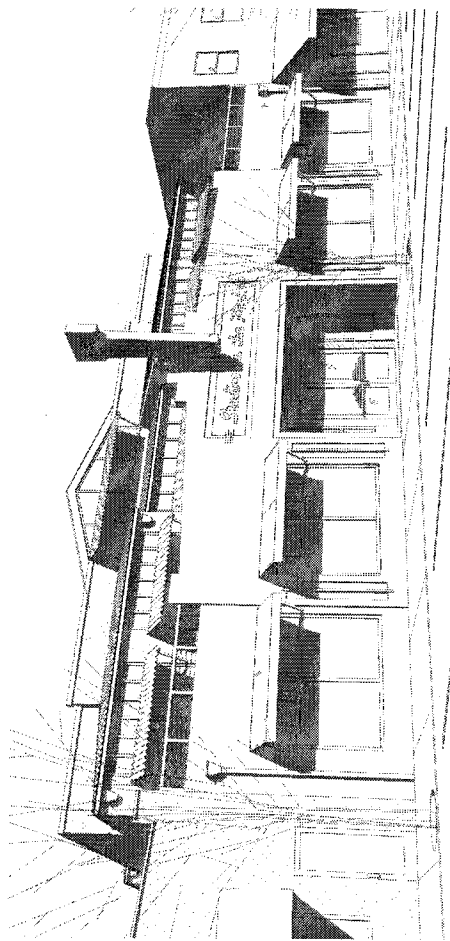
I. GENERAL CONDITIONS

- 1. Fire hydrants shall be installed at intervals as required by the Fire Chief and City Engineer. The maximum spacing for single family residential shall be 500 feet. The maximum spacing for multi-family and commercial/ residential shall be 300 feet. On-site hydrants shall be placed as required by the Fire Chief.
- 2. Building permits shall not be issued until the water system, including hydrants, has been tested and accepted and a based access road installed sufficient to support the City's fire apparatus (HS-20 truck loading). The access road shall be kept clear to a minimum of 24 feet at all times and shall be extended to each lot and shall be maintained to provide all weather driving conditions.
- 3. No buildings shall be occupied until all improvements are completed and accepted by the City for maintenance.
- 4. If the development includes phased street construction, temporary turn-arounds shall be provided for streets that exceed 150 feet in length. The temporary turn around shall meet City requirements as set forth in the Public Works Department Standards and Specifications.
- 5. All open space areas to be dedicated to the City shall be inspected by the Fire Department prior to acceptance. A report shall be submitted recommending action needed for debris, brush and weed removal and tree trimming. The developer shall clean out all debris, dead limbs and trash from areas to be recorded as open space prior to acceptance into a Benefit Maintenance District.
- 6. Any open space included in a private development shall be subject to the approval of a vegetation management plan approved by the Fire Chief.
- 7. Each tract or phase shall provide two sources of water and two points of access unless otherwise determined by the Fire Chief and Public Works Director.
- 8. Provisions shall be made to update the Fire Department Run Book.

Studios on the Park



RAILROAD STREET VIEW



PINE STREET VIEW

OWNER
STUDIOS ON THE PARK, INC.
 P.O. Box 2049
 Paso Robles, CA 93446
 Founders:
 Elaine Eiberman
 Elizabeth Hastings
 Phyllis Frank
 James Lewis
 Elizabeth Sarow
 Nora Sarow
 Secretary:
 Sarah Irving

PROJECT TEAM
Architect of Record
 Larry Gabriel, Architect
 1336 Pine Street, Suite A
 Paso Robles, CA 93446
 805-229-5225
Presentation and Production Documents
 Cal Architecture
 Outhouse, LLC
Civil Engineer
 McCarthy Engineering, Inc.
Structural Engineer
 PJA Stronoff
 Taylor-Sylen Consulting Engineers, Inc.
Mechanical and Plumbing Engineering
 David Robinson
 Amore Engineering
Electrical Engineering
 Rev. Hertzog
 Teller & Associates, Inc.
General Contractor
 Graydon Construction, Very Limited
 Graydon-Lambert Construction, Inc.

VISION and MISSION STATEMENT
Vision: Studios on the Park is a nonprofit organization dedicated to providing a creative, educational, and transformational experience to enhance understanding and appreciation of the visual arts.
Mission: Studios on the Park realizes its commitment by making the creative process available to the public. Studios engages and inspires the San Luis Obispo County community in a variety of media, educational programs for children and adults, and quality exhibits by regional, national and international artists.

PROJECT DATA
Location: 1336 Pine Street
 Paso Robles, CA 93446
APN: 009-103-010
Zone: C-1
Use: Mercantile
First Floor: 8,921 S.F.
Second Floor: 7,275 S.F.
Third Floor: 3,105 S.F.
Total SF: 19,512 S.F.

DRAWING LIST
 T5 TITLE SHEET
 H5 HISTORICAL PARTS
 A2.0 EASTING ELEVATIONS
 A3.0 1st FLOOR PLAN
 A3.1 2nd FLOOR PLAN
 A3.2 3rd FLOOR PLAN
 A3.3 ROOF PLAN
 A4.0 BUILDING SECTIONS



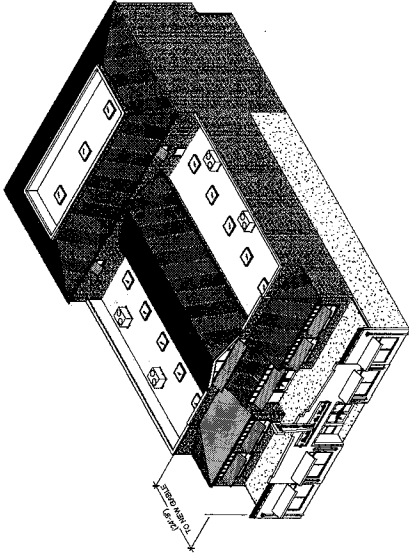
STUDIOS ON THE PARK

Exhibit B
 Title Sheet
 PD 08-005
 (Studios on the Park, Inc.)

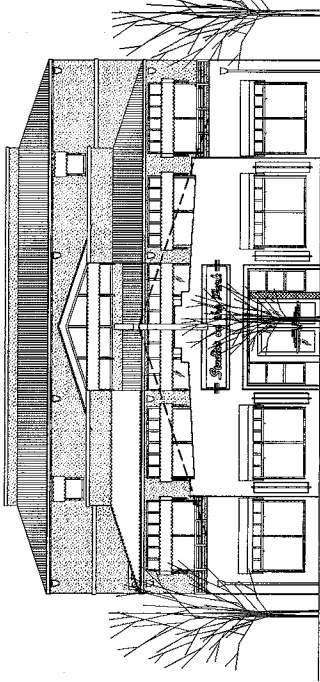
TITLE SHEET

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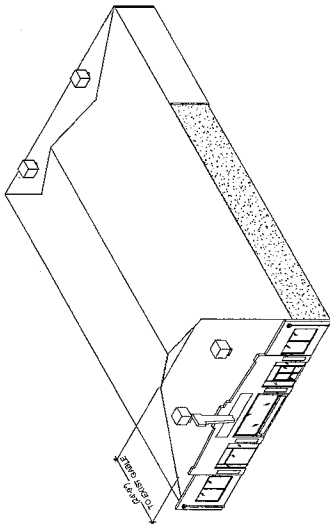
08-29-2008



PROPOSED BUILDING



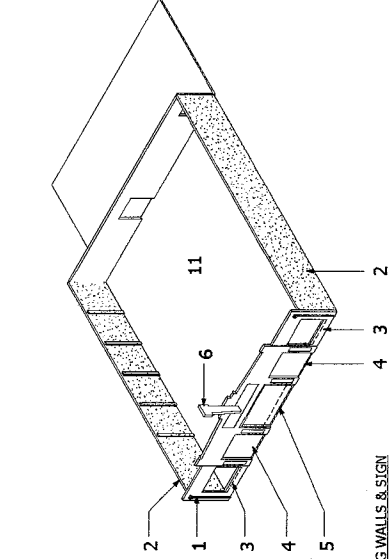
WEST ELEVATION W/ EXISTING ROOF LINE



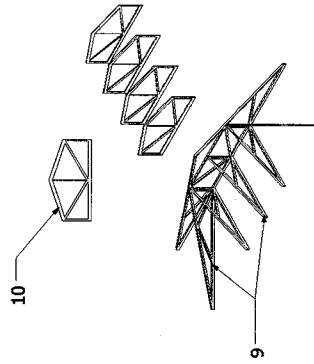
EXISTING BUILDING

CHANGES TO THE BUILDING AND EXISTING CONDITIONS:

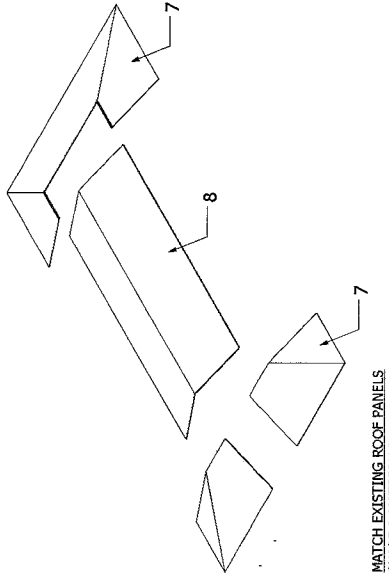
- #1 Existing: No Change. Supplement the existing structure with new steel joists and proposed trusses.
- #2 Existing: No Change. Supplement the existing structure with new steel joists and proposed trusses.
- #3 Existing: No Change. Supplement the existing structure with new steel joists and proposed trusses.
- #4 Existing: No Change. Supplement the existing structure with new steel joists and proposed trusses.
- #5 Existing: No Change. Supplement the existing structure with new steel joists and proposed trusses.
- #6 Existing: No Change. Supplement the existing structure with new steel joists and proposed trusses.
- #7 Existing: No Change. Supplement the existing structure with new steel joists and proposed trusses.
- #8 Existing: No Change. Supplement the existing structure with new steel joists and proposed trusses.
- #9 Existing: No Change. Supplement the existing structure with new steel joists and proposed trusses.
- #10 Existing: No Change. Supplement the existing structure with new steel joists and proposed trusses.
- #11 Existing: No Change. Supplement the existing structure with new steel joists and proposed trusses.



EXISTING WALLS & SIGN WITH MINIMUM MODIFICATIONS



RE-CREATE EXISTING TRUSSES



MATCH EXISTING ROOF PANELS SHAPE & MATERIALS

HISTORICAL PARTS



08-29-2008

STUDIOS ON THE PARK

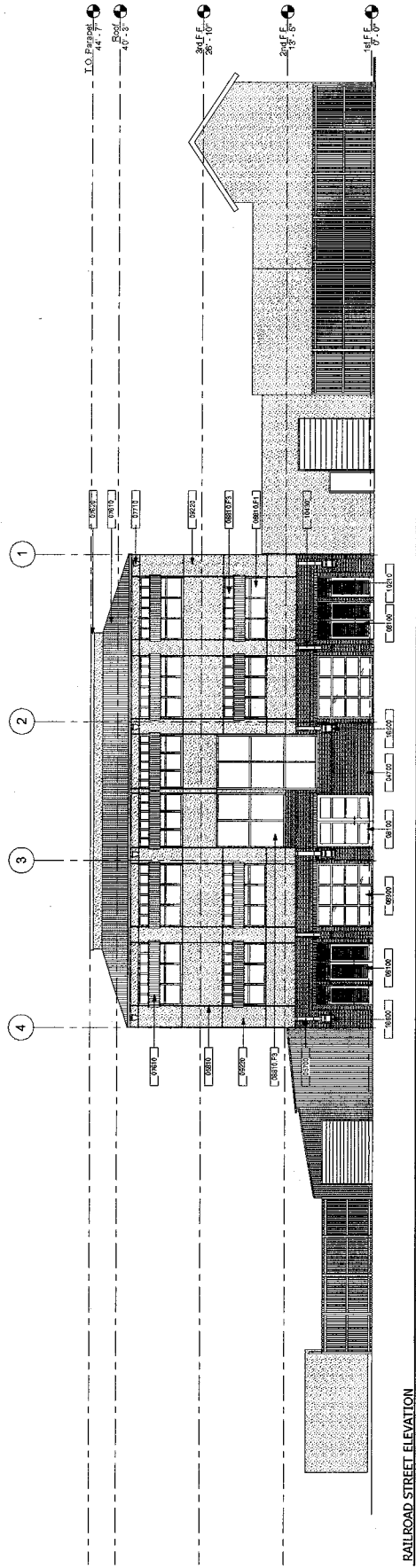
Exhibit C

Historical Parts

PD 08-005

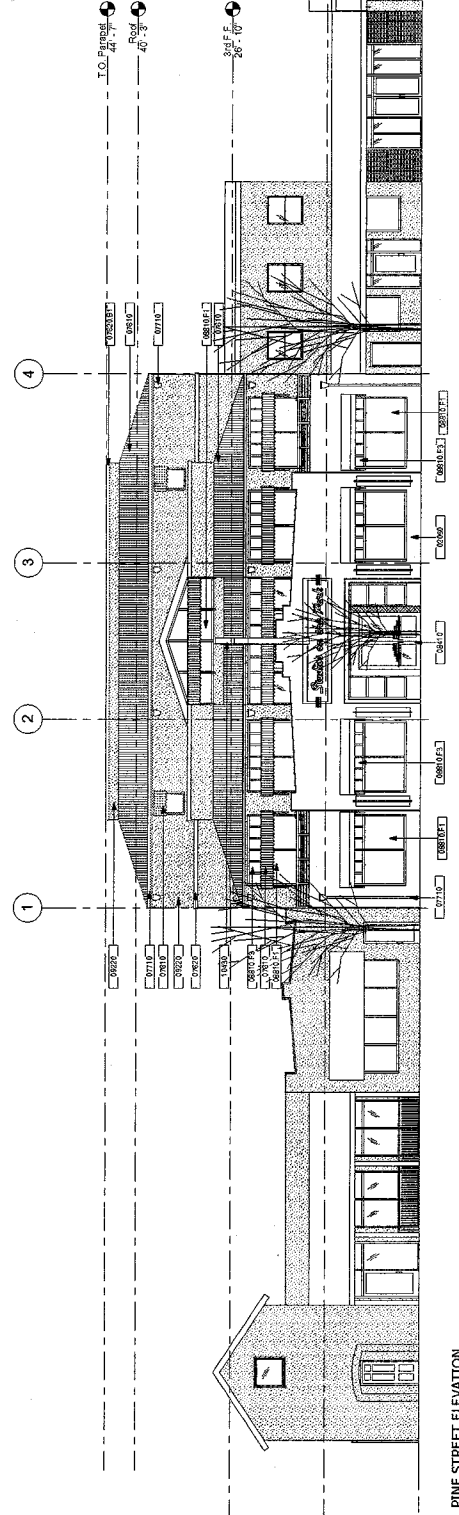
(Studios on the Park, Inc.)





RAILROAD STREET ELEVATION

| ELEVATION KEYNOTES | |
|--------------------|----------------------------------|
| 05200 | Clear Step Pedestal |
| 05201 | Clear Step Pedestal |
| 04700 | Standard Metal |
| 05700 | Ornamental Metal |
| 05810 | Expansion Joint Cover Assemblies |
| 07610 | Sheet Metal Roofing |
| 07620 | Sheet Metal Flashing and Trim |
| 07710 | Roofing Cap Flashing |
| 07720 | Roofing Cap Flashing |
| 08100 | Metal Doors and Frames |
| 08300 | Specialty Doors |
| 08410 | Metal Framed Storefronts |
| 08401F1 | 1" Clear Insulating Glass |
| 08402F2 | 1" Clear Insulating Glass |
| 08403F3 | 1" Clear Insulating Glass |
| 10210 | Formwork |
| 10210 | Wall Louvers |
| 10450 | Exterior Storage |
| 10500 | Lighting |



PINE STREET ELEVATION

STREET ELEVATIONS

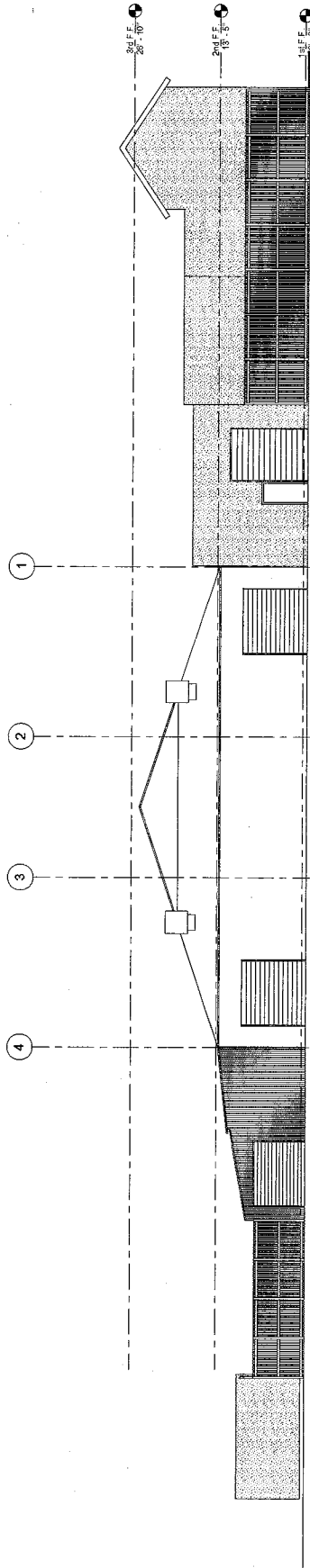


STUDIOS
ON THE PARK

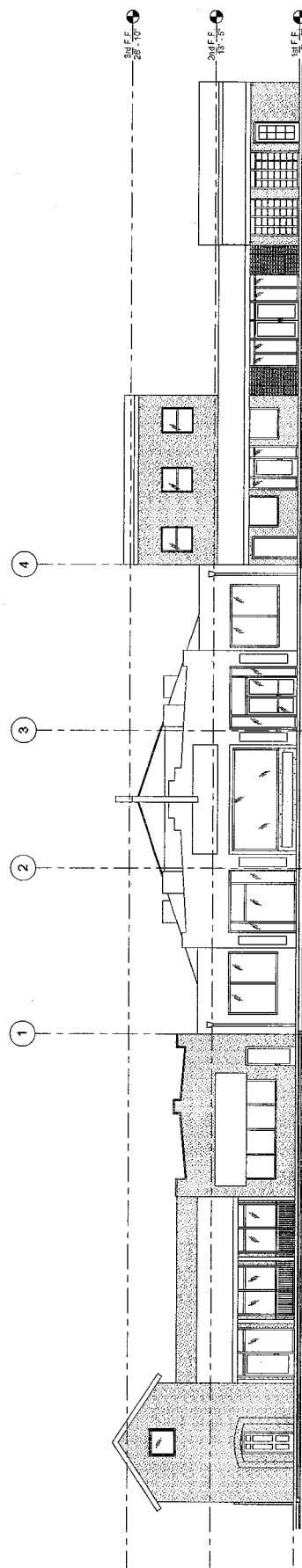
Exhibit D
Street Elevations
PD 08-005
(Studios on the Park, Inc.)

8' 4' 0'
SCALE: 1/8" = 1'-0"
A1.0

08-29-2008



EXISTING RAILROAD STREET ELEVATION



EXISTING PINE STREET ELEVATION

EXISTING ELEVATIONS

STUDIOS
ON THE PARK

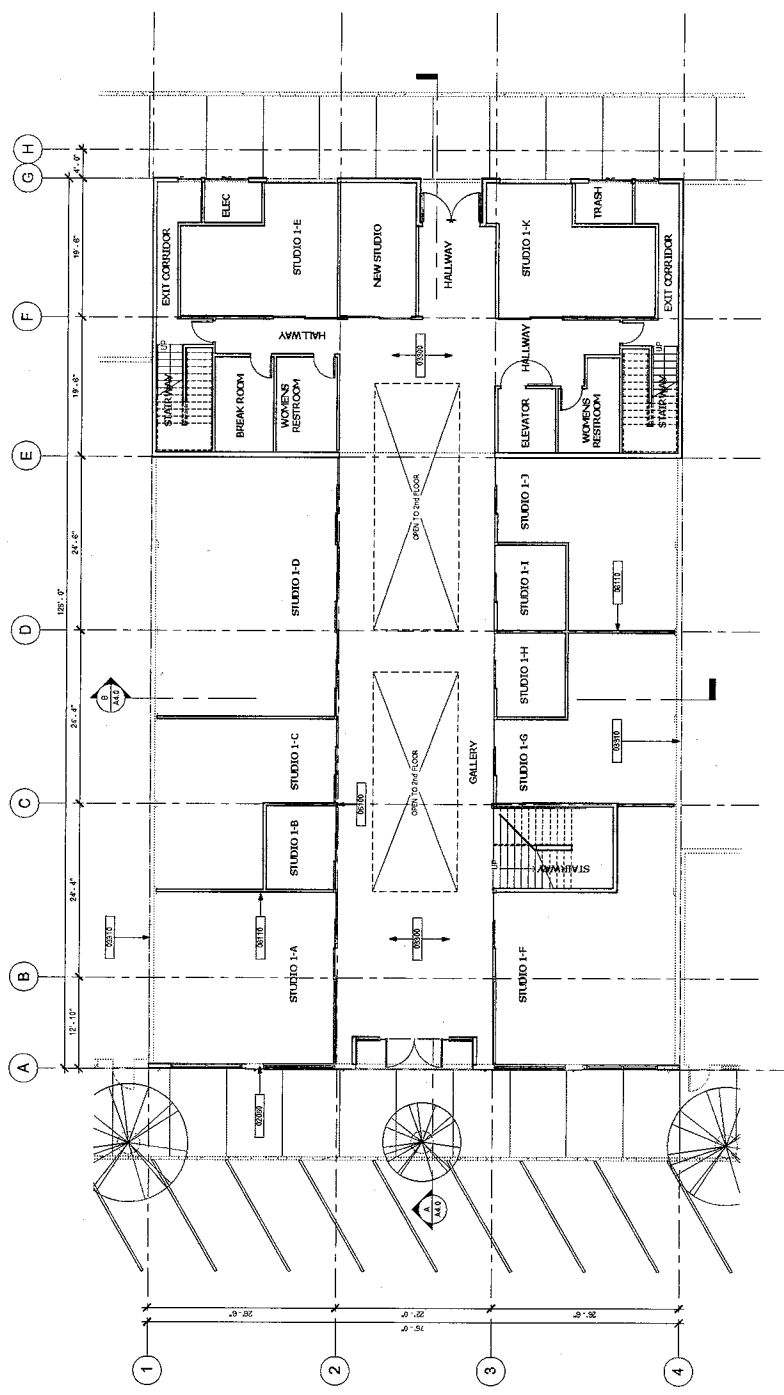
Exhibit E
Existing Elevations
PD 08-005
(Studios on the Park, Inc.)



8' 4' 0' 8'
SCALE: 1/8" = 1'-0"

A2.0

08-29-2008



PLAN KEYNOTES

- 030601 Electrical Work, see Schedule
- 030300 Masonry, see Schedule
- 031000 Cast-in-Place Concrete
- 051000 Structural Steel Framing
- 061100 Wood Framing

| Level | 1st Floor Area Name | Area |
|----------------------|---------------------|----------|
| Building Common Area | | |
| 1st F.F. | BREAK ROOM | 120.55' |
| 1st F.F. | EXIT CORRIDOR | 130.55' |
| 1st F.F. | HALLWAY | 155.55' |
| 1st F.F. | HALLWAY | 147.55' |
| 1st F.F. | HALLWAY | 150.55' |
| 1st F.F. | WOMEN'S RESTROOM | 100.55' |
| 1st F.F. | WOMEN'S RESTROOM | 100.55' |
| 1st F.F. | WOMEN'S RESTROOM | 100.55' |
| Floor Area | | |
| 1st F.F. | GALLERY | 730.55' |
| 1st F.F. | ELEVATOR | 230.55' |
| 1st F.F. | STAIRWAY | 100.55' |
| 1st F.F. | STAIRWAY | 71.55' |
| 1st F.F. | STAIRWAY | 71.55' |
| Store Area | | |
| 1st F.F. | NEW STUDIO | 225.55' |
| 1st F.F. | STUDIO 1-A | 655.55' |
| 1st F.F. | STUDIO 1-B | 125.55' |
| 1st F.F. | STUDIO 1-C | 512.55' |
| 1st F.F. | STUDIO 1-D | 365.55' |
| 1st F.F. | STUDIO 1-E | 260.55' |
| 1st F.F. | STUDIO 1-F | 512.55' |
| 1st F.F. | STUDIO 1-G | 125.55' |
| 1st F.F. | STUDIO 1-H | 125.55' |
| 1st F.F. | STUDIO 1-I | 320.55' |
| 1st F.F. | STUDIO 1-K | 528.55' |
| Grand total: 25 | | 8921.55' |

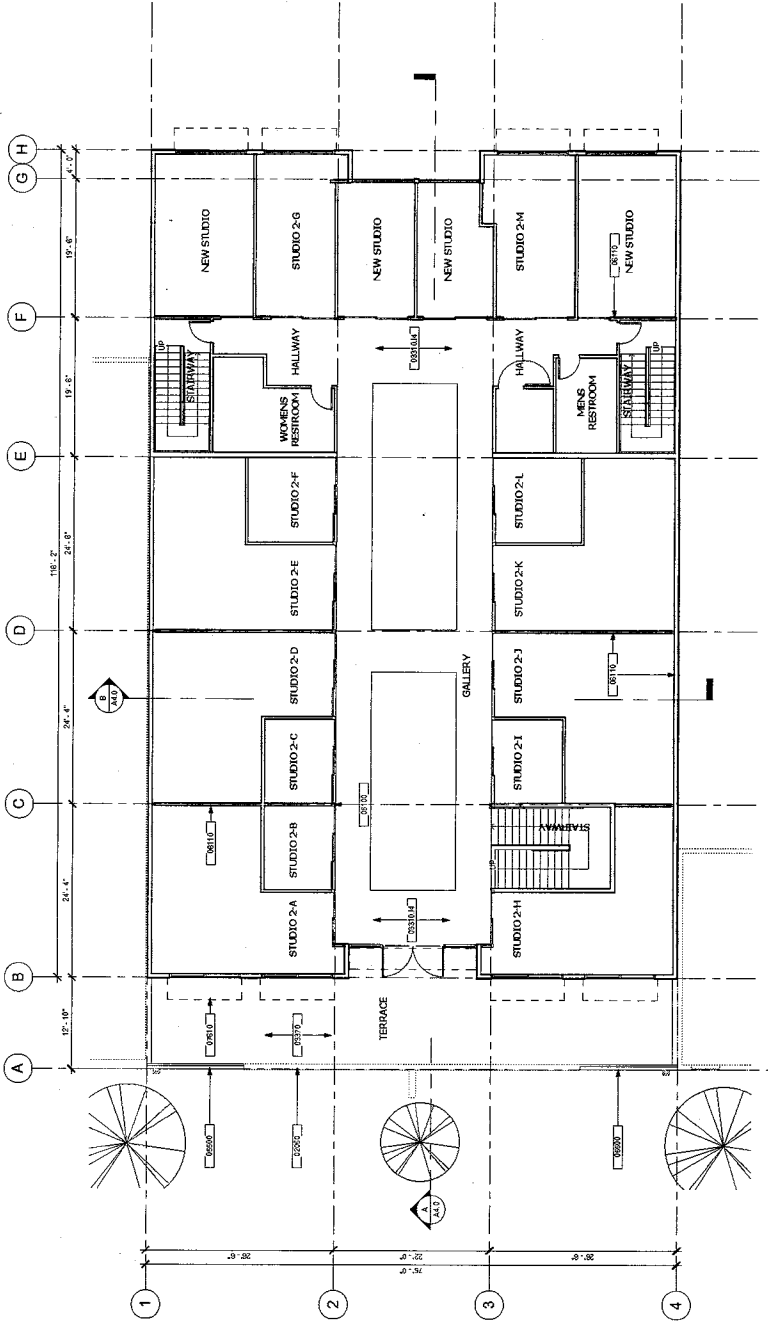
| Level | 1st Floor Area Name | Area |
|----------------------|---------------------|---------|
| Building Common Area | | |
| 1st F.F. | ELEC | 65.55' |
| 1st F.F. | TRASH | 55.55' |
| Grand total: 2 | | 121.10' |

NOTE:
Elev. and Trash Areas Not Included in Square Footage Calculation.

1st FLOOR PLAN
8' 4' 0" = 1" = 1/32"
A3.0
08-29-2008

STUDIOS ON THE PARK
Exhibit F
1st Floor Plan
PD 08-005
(Studios on the Park, Inc.)





PLAN KEYNOTES

- 02650 Basic Site Materials and Methods
- 03101H 3-1/2" Cast-in-Place Concrete Slab w/Rebar Decking
- 05100 Structural Steel Framing
- 05200 Structural Steel Framing
- 05300 Wood Framing
- 06110 Wood Framing
- 07610 Sheet Metal Roofing

| Level | Name | Area |
|----------------------------|----------------|---------|
| Building Common Area | | |
| 2nd F.F. | HALLWAY | 177 SF |
| 2nd F.F. | HALLWAY | 130 SF |
| 2nd F.F. | MENS RESTROOM | 125 SF |
| 2nd F.F. | MEN'S RESTROOM | 103 SF |
| 2nd F.F. | MEN'S RESTROOM | 594 SF |
| Floor Area | | |
| 2nd F.F. | GALLERY | 1186 SF |
| 2nd F.F. | GALLERY | 1186 SF |
| Major Vertical Penetration | | |
| 2nd F.F. | HALLWAY | 183 SF |
| 2nd F.F. | STAIRWAY | 104 SF |
| 2nd F.F. | STAIRWAY | 489 SF |
| Size Area | | |
| 2nd F.F. | NEW STUDIO | 706 SF |
| 2nd F.F. | NEW STUDIO | 219 SF |
| 2nd F.F. | NEW STUDIO | 219 SF |
| 2nd F.F. | NEW STUDIO | 347 SF |
| 2nd F.F. | NEW STUDIO | 519 SF |
| 2nd F.F. | STUDIO 2A | 122 SF |
| 2nd F.F. | STUDIO 2C | 122 SF |
| 2nd F.F. | STUDIO 2D | 472 SF |
| 2nd F.F. | STUDIO 2E | 456 SF |
| 2nd F.F. | STUDIO 2G | 282 SF |
| 2nd F.F. | STUDIO 2H | 453 SF |
| 2nd F.F. | STUDIO 2I | 122 SF |
| 2nd F.F. | STUDIO 2J | 265 SF |
| 2nd F.F. | STUDIO 2K | 156 SF |
| 2nd F.F. | STUDIO 2L | 294 SF |
| 2nd F.F. | STUDIO 2M | 5348 SF |
| Grand total: 25 | | 7575 SF |

NOTE:
Terrace Area Not Included in Square Footage Calculation.

| | |
|------------------|---------|
| Exterior Area | 1065 SF |
| 2nd F.F. Terrace | 1065 SF |
| Grand total: 1 | 1065 SF |

2nd FLOOR PLAN

8' 0" 0' 8"
SCALE: 1/8" = 1'-0"

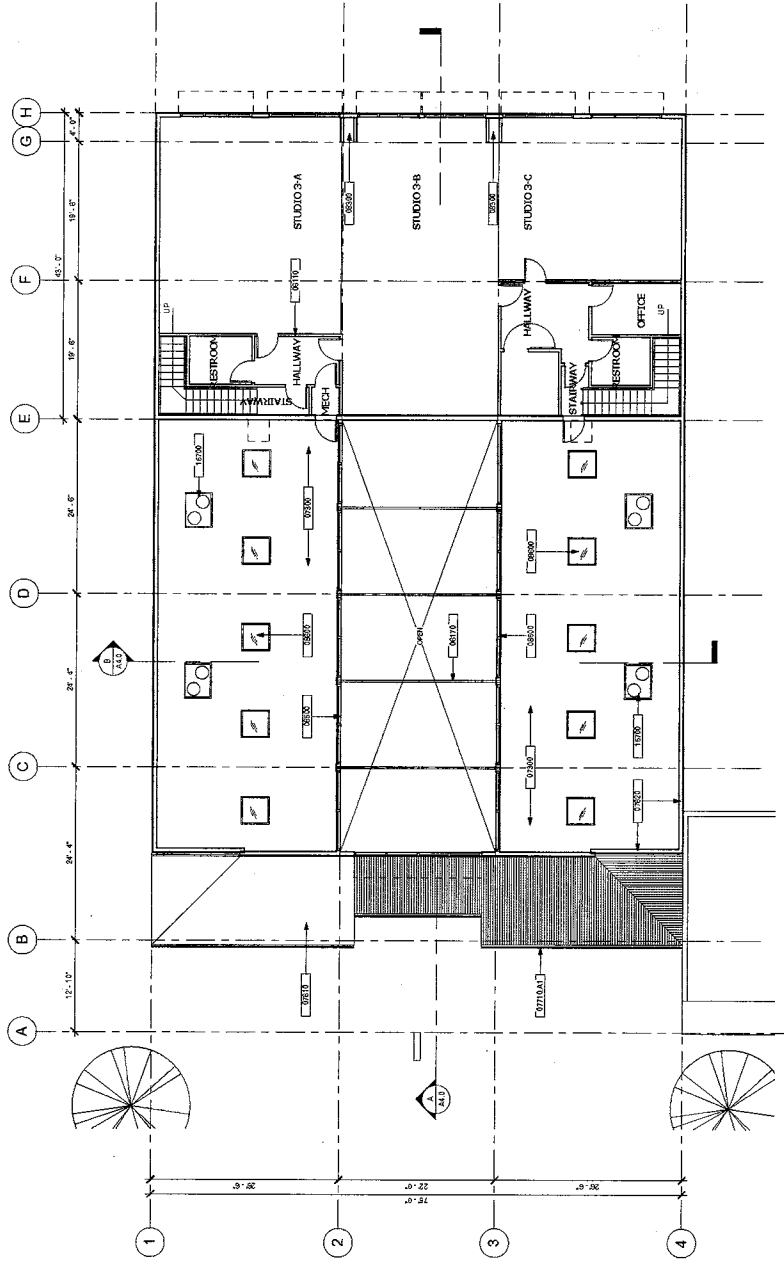
A3.1

08-29-2008

STUDIOS
ON THE PARK

Exhibit G
2nd Floor Plan
PD 08-005
(Studios on the Park, Inc.)





PLAN KEYNOTES

| | |
|------|--|
| 0610 | Wood Framing |
| 0611 | Prefabricated Wood |
| 0730 | Shingles, Roof Tiles, and Roof Ceiling |
| 0731 | Sheet Metal Roofing |
| 0732 | Sheet Metal Flashing and Trim |
| 0733 | Gutter |
| 0830 | Specialty Doors |
| 0831 | Staircase |
| 0832 | Stair Lift |
| 1570 | Heating, Ventilating, and Air Conditioning Equipment |

| Level | Name | Area |
|-------|------|------|
|-------|------|------|

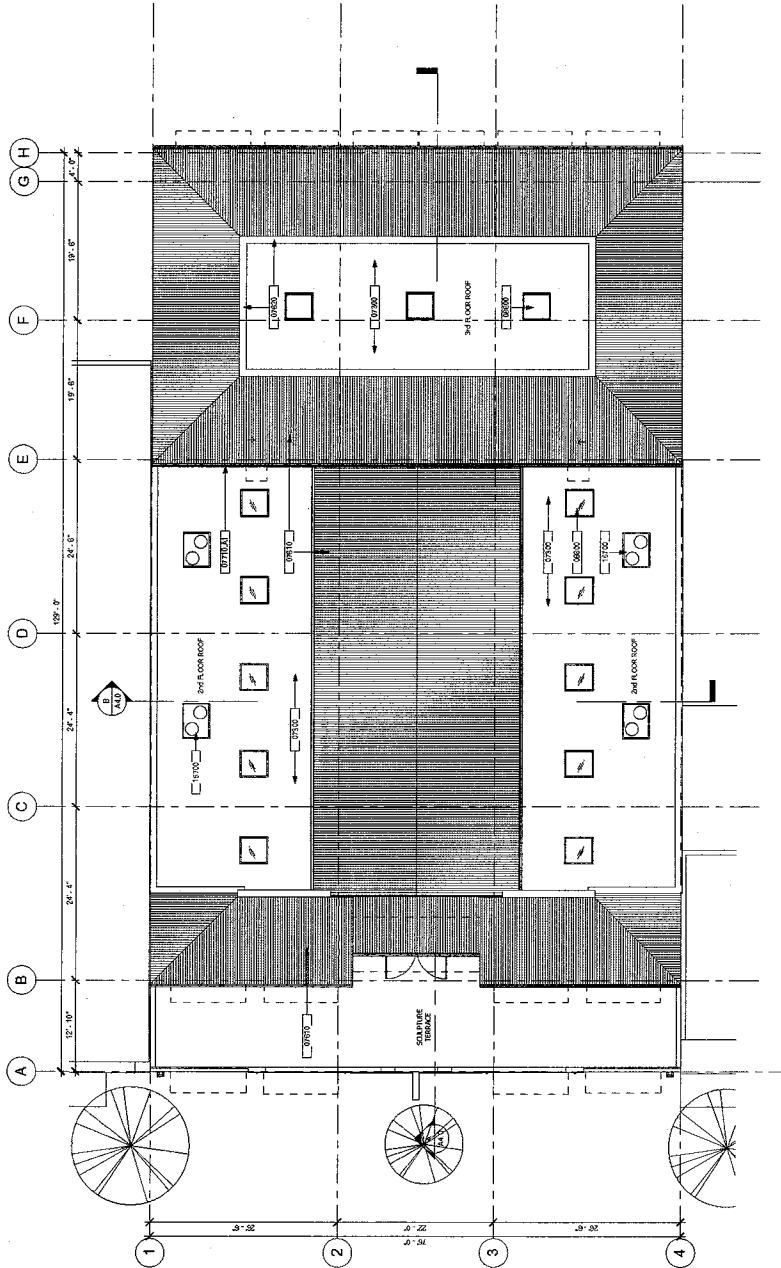
| | | |
|----------------------|----------|--------|
| Building Common Area | | |
| 301FF | HALLWAY | 132 SF |
| 302FF | HALLWAY | 88 SF |
| 303FF | HALLWAY | 85 SF |
| 304FF | RESTROOM | 45 SF |
| 305FF | RESTROOM | 42 SF |
| 306FF | RESTROOM | 366 SF |
| 307FF | MECH | |
| 308FF | MECH | |
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STUDIOS
ON THE PARK
Exhibit H
3rd Floor Plan
PD 08-005
(Studios on the Park, Inc.)

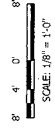
3rd FLOOR PLAN
8' 4' 0" SCALE: 1/8" = 1'-0"
A3.2

08-29-2008



| PLAN KEYNOTES | |
|---------------|--|
| 07501 | Strings, Roof Hiss, and Roof Coverings |
| 07502 | Roofing |
| 07503 | Sheet Metal Flashing and Trim |
| 07710.A.1 | Garage |
| 08600 | Shafts |
| 15700 | Heating, Ventilation, and Air Conditioning Equipment |

ROOF PLAN



A3.3

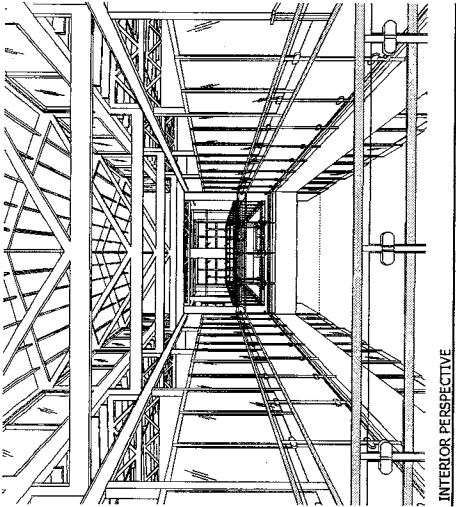
08-29-2008

STUDIOS ON THE PARK

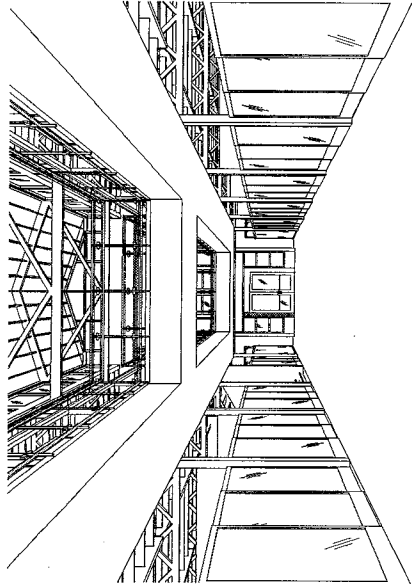
Exhibit I
Roof Plan
PD 08-005

(Studios on the Park, Inc.)



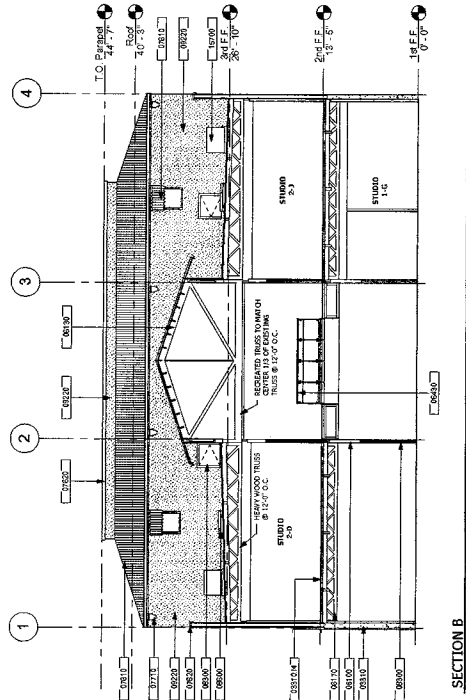


INTERIOR PERSPECTIVE

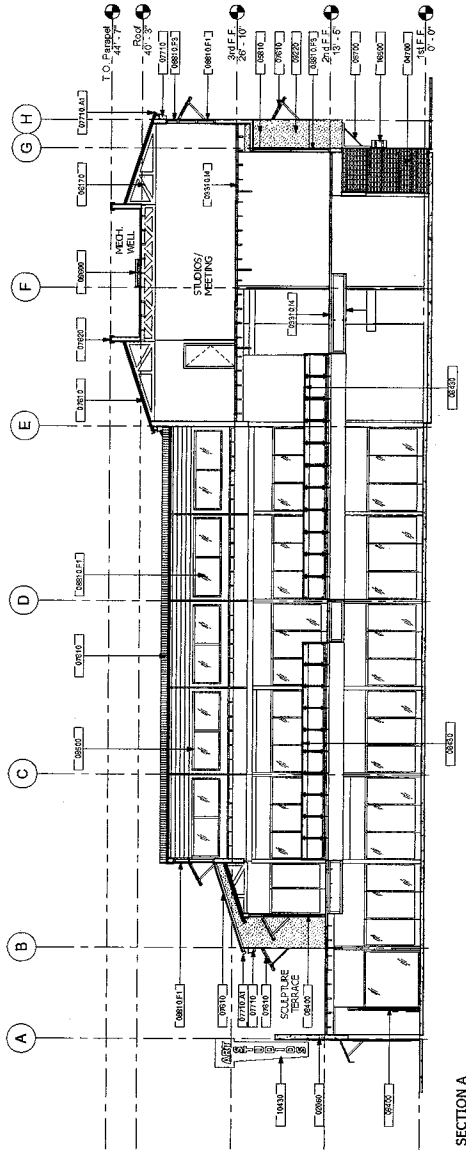


INTERIOR PERSPECTIVE

| SECTION KEYNOTES | |
|------------------|---|
| 03300 | Electric, Gas, Mechanical and Plumbing |
| 03310 | Structural Steel |
| 03310.14 | 3-1/2" Cast-in-Place Concrete Slab w/ Metal Decking |
| 04700 | Structural Steel Framing |
| 05100 | Structural Steel Framing |
| 05200 | Exposure-Grade Concrete |
| 05300 | Exposure-Grade Concrete |
| 05400 | Exposure-Grade Concrete |
| 05500 | Exposure-Grade Concrete |
| 05600 | Exposure-Grade Concrete |
| 05700 | Exposure-Grade Concrete |
| 05800 | Exposure-Grade Concrete |
| 05900 | Exposure-Grade Concrete |
| 06000 | Exposure-Grade Concrete |
| 06100 | Exposure-Grade Concrete |
| 06200 | Exposure-Grade Concrete |
| 06300 | Exposure-Grade Concrete |
| 06400 | Exposure-Grade Concrete |
| 06500 | Exposure-Grade Concrete |
| 06600 | Exposure-Grade Concrete |
| 06700 | Exposure-Grade Concrete |
| 06800 | Exposure-Grade Concrete |
| 06900 | Exposure-Grade Concrete |
| 07000 | Exposure-Grade Concrete |
| 07100 | Exposure-Grade Concrete |
| 07200 | Exposure-Grade Concrete |
| 07300 | Exposure-Grade Concrete |
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| 07500 | Exposure-Grade Concrete |
| 07600 | Exposure-Grade Concrete |
| 07700 | Exposure-Grade Concrete |
| 07800 | Exposure-Grade Concrete |
| 07900 | Exposure-Grade Concrete |
| 08000 | Exposure-Grade Concrete |
| 08100 | Exposure-Grade Concrete |
| 08200 | Exposure-Grade Concrete |
| 08300 | Exposure-Grade Concrete |
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| 08900 | Exposure-Grade Concrete |
| 09000 | Exposure-Grade Concrete |
| 09100 | Exposure-Grade Concrete |
| 09200 | Exposure-Grade Concrete |
| 09300 | Exposure-Grade Concrete |
| 09400 | Exposure-Grade Concrete |
| 09500 | Exposure-Grade Concrete |
| 09600 | Exposure-Grade Concrete |
| 09700 | Exposure-Grade Concrete |
| 09800 | Exposure-Grade Concrete |
| 09900 | Exposure-Grade Concrete |
| 10000 | Exposure-Grade Concrete |
| 10100 | Exposure-Grade Concrete |
| 10200 | Exposure-Grade Concrete |
| 10300 | Exposure-Grade Concrete |
| 10400 | Exposure-Grade Concrete |
| 10500 | Exposure-Grade Concrete |
| 10600 | Exposure-Grade Concrete |
| 10700 | Exposure-Grade Concrete |
| 10800 | Exposure-Grade Concrete |
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| 13900 | Exposure-Grade Concrete |
| 14000 | Exposure-Grade Concrete |
| 14100 | Exposure-Grade Concrete |
| 14200 | Exposure-Grade Concrete |
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| 14400 | Exposure-Grade Concrete |
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| 15700 | Exposure-Grade Concrete |
| 15800 | Exposure-Grade Concrete |
| 15900 | Exposure-Grade Concrete |
| 16000 | Exposure-Grade Concrete |
| 16100 | Exposure-Grade Concrete |
| 16200 | Exposure-Grade Concrete |
| 16300 | Exposure-Grade Concrete |
| 16400 | Exposure-Grade Concrete |
| 16500 | Exposure-Grade Concrete |
| 16600 | Exposure-Grade Concrete |
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| 16900 | Exposure-Grade Concrete |
| 17000 | Exposure-Grade Concrete |
| 17100 | Exposure-Grade Concrete |
| 17200 | Exposure-Grade Concrete |
| 17300 | Exposure-Grade Concrete |
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| 17600 | Exposure-Grade Concrete |
| 17700 | Exposure-Grade Concrete |
| 17800 | Exposure-Grade Concrete |
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| 18600 | Exposure-Grade Concrete |
| 18700 | Exposure-Grade Concrete |
| 18800 | Exposure-Grade Concrete |
| 18900 | Exposure-Grade Concrete |
| 19000 | Exposure-Grade Concrete |
| 19100 | Exposure-Grade Concrete |
| 19200 | Exposure-Grade Concrete |
| 19300 | Exposure-Grade Concrete |
| 19400 | Exposure-Grade Concrete |
| 19500 | Exposure-Grade Concrete |
| 19600 | Exposure-Grade Concrete |
| 19700 | Exposure-Grade Concrete |
| 19800 | Exposure-Grade Concrete |
| 19900 | Exposure-Grade Concrete |
| 20000 | Exposure-Grade Concrete |



SECTION B



SECTION A

BUILDING SECTIONS

8' 0" 0' 8" SCALE: 1/8" = 1'-0"

A4.0

08-29-2008

STUDIOS ON THE PARK

Exhibit J
Sections
PD 08-005
(Studios on the Park, Inc.)

