

RESOLUTION NO.: 05-0063

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
ADOPTING PLANNED DEVELOPMENT 05-011
(008-021-010)

WHEREAS, Planned Development 05-011 has been filed by Ken Nagahara, Architect, on behalf of Tom Dorsey of Paso Meat & Sausage to construct to construct 10,336 square foot commercial / light-industrial building; and

WHEREAS, The proposed development would be located on the 1.5 acre site located at 3450 Riverside Avenue; and

WHEREAS, The General Plan land uses designation is Commercial Service (CS) and the zoning is Commercial/ Light Industrial (C-3); and

WHEREAS, pursuant to the Statutes and Guidelines of the California Environmental Quality Act (CEQA), and the City's Procedures for Implementing CEQA, an Initial Study was prepared and circulated for public review and comment; and

WHEREAS, at its June 28, 2005 meeting, the Planning Commission held a duly noticed public hearing on the Project, to accept public testimony on the proposal (including all of the applications filed) and the environmental determination therefore; and

WHEREAS, based on the information and analysis contained in the Initial Study, a determination has been made that the proposed Project qualifies for adoption of a Negative Declaration; and

WHEREAS, based upon the facts and analysis presented in the staff report and the attachments thereto, the public testimony received, and subject to the Conditions of Approval listed below, the Planning Commission makes the following findings:

1. The proposed Planned Development is consistent with the purpose, intent and regulations set forth in Chapter 21.16A (Planned Development Overlay District Regulations) as follows:
 - A. The granting of the Planned Development (PD) will not adversely affect the policies, spirit and intent of the General Plan, the Zoning Ordinance, and the policies and plans of the City.
 - B. The Project maintains and enhances the significant natural resources on the site. This has been accomplished through the use of extensive landscaping, and establishment of enhanced architecture.
 - C. The Project is designed to be sensitive to, and blend in with, the character of the site and surrounding area. This has been accomplished through the use of extensive landscaping, and establishment of enhanced architecture.

- D. The design and the density of the Project is compatible with the surrounding development and does not create a disharmonious or disruptive element to the neighborhood.
- E. The Project is consistent with the purpose and intent of the Planned Development Chapters of the Zoning Ordinance and the Project is not contrary to the public health, safety and welfare.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles does hereby approve Planned Development 05-011, subject to the following conditions:

STANDARD CONDITIONS:

- 1. The Project shall comply with the checked standard Conditions of Approval, attached hereto as Exhibit A and incorporated by reference herein.

PLANNING SITE SPECIFIC CONDITIONS:

NOTE: In the event of conflict or duplication between standard and site-specific conditions, the site-specific condition shall supersede the standard condition.

- 2. The Project shall be constructed in substantial conformance with the Conditions of Approval established by this Resolution and it shall be constructed in substantial conformance with the following Exhibits:

EXHIBIT	DESCRIPTION
A	Standard Conditions of Approval
B	Site Plan
C	Preliminary Grading & Drainage Plan
D	Preliminary Landscape Plan
E	Floor Plan
F	Architectural Elevations
G	Section 21.21.040 General Performance Standards for all uses
H	Color and Materials Board (on file in the Community Development Dept.)

- 3. This Development Plan for PD 05-011 allows for development and operation of the 10,336 square foot building for the manufacturing/light-industrial use consisting of custom meat cutting and processing, with associated parking lots and landscaping.
- 4. Prior to the issuance of a Building Permit, the final site plan and architectural elevations shall be reviewed by the Development Review Committee (DRC) for substantial compliance with Exhibits A-F. The roof equipment screening shall be revised to have a continuous screen.
- 5. Exterior light fixtures including any building mounted or parking lot pole lights shall be fully shielded. Cut-sheets of the lights shall be submitted with the submittal of the construction plans for City review.

6. All signage shall be reviewed by a separate permit and be reviewed by the Development Review Committee and receive any building permits.
7. Any waste associated with the Paso Meat & Sausage shall be handled in accordance with the County of San Luis Obispo Health Department.
8. The standards within Section 21.21.040 shall be complied with at all time (see Exhibit G).
9. No outdoor storage is permitted with this development plan.

ENGINEERING SITE SPECIFIC CONDITIONS:

10. Prior to occupancy, Riverside Avenue shall be improved in accordance with City Standard A-4 across the frontage of the property. A cul-de-sac shall be constructed in accordance with City Standard A-18. The west side of Riverside Avenue shall be constructed with a 16-foot travel lane and asphalt curb only. 28-foot wide paving shall be constructed in Riverside Avenue from the south project boundary to join existing paving in accordance with plans approved by the City Engineer. The Riverside Avenue improvements shall include a storm drain to allow the filling of the existing road-side ditch.
11. Prior to issuance of a building permit, an 8-inch water main shall be extended from a point of connection south of the project to the north boundary of the project. Fire hydrants shall be provided at 300-foot intervals.
12. Prior to occupancy, an 8-inch sewer line shall be constructed from Lift Station No. 4 to the boundary of the property.

PASSED AND ADOPTED THIS 28th of June 2005, by the following roll call vote:

AYES: Johnson, Menath, Steinbeck, Hamon, Holstine, Flynn

NOES: None

ABSENT: Mattke

ABSTAIN: None



CHAIRMAN ED STEINBECK

ATTEST:



ROBERT A. LATA, PLANNING COMMISSION SECRETARY

PASO MEAT & SAUSAGE CO.
 A NEW COMMERCIAL DEVELOPMENT FOR
 3460 RIVERSIDE AVENUE, PASO ROBLES, CA 93448
 PARCEL B OF PRPM-80-158; A.P.N.: 008-021-010

Job No.	
Drawn By	JAC
Checked By	DATE
Drawing No.	
Scale	AS NOTED
Sheet	A-1

ARCHITECT
 KEN M. MACHARA
 Principal
 610 Tenth Street, Suite 201
 Paso Robles, CA 93426
 PH: (805) 238-5501
 FAX: (805) 239-5853

No.	Description	Date

PROJECT DATA
 OWNER: THE 00807 PASO MEAT & SAUSAGE CO.
 3400 HAROLD ROAD, PASO ROBLES, CA 93422
 PROJECT ADDRESS: 3460 RIVERSIDE AVENUE, PASO ROBLES, CA 93448
 A.P.N.: 008-021-010
 PROJECT DESCRIPTION: NEW MEAT PROCESSING BUILDING

PROJECT STATISTICS

DESCRIPTION	AREA
MEAT PROCESSING AREA	245,754 SF
STORAGE AREA	171,722 SF
TOTAL AREA	417,476 SF
COMPLICITY (SIC 75-A)	NA
CONSTRUCTION TYPE	31-4-A, M.F.F.
BUILDING HEIGHT	3
AREA INCREASE (SQ. FT.)	0
PERMITTED	155
ACTUAL AREA	103,582 SF
ACTUAL AREA	103,582 SF

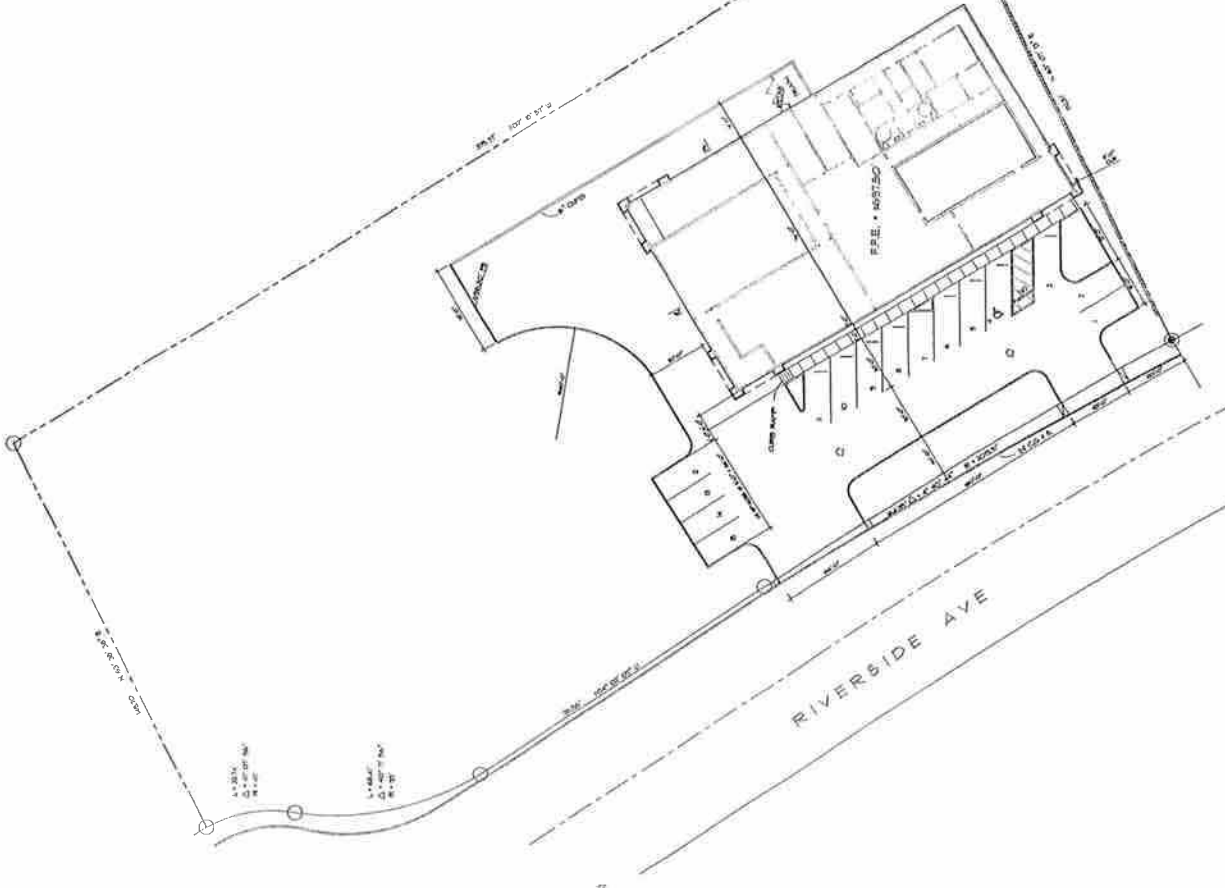
PARKING REQUIREMENTS

REQUIREMENT	REQUIREMENT
MINIMUM	155 SPACES
PROVIDED	155 SPACES
TOTAL PARKING PROVIDED	155 SPACES
MINIMUM SPACES	155 SPACES

SHEETINDEX

NO.	DESCRIPTION
A-1	USE SITE PLAN, PROJECT DATA, PROJECT STATISTICS
C-1	GRADING PLAN, SITE SECTION
L-1	LANDSCAPE PLAN
A-2	FLOOR PLAN, PROJECT DATA, PROJECT STATISTICS
A-3	FLOOR PLAN
A-4	LANDSCAPE PLAN
A-5	ACCESSIBILITY DETAILS
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE PLAN
ADA	GENERAL NOTES AND SPECIFICATIONS

- SITE PLAN CALLOUTS**
- NO DRIVE APPROX 10' WIDE FROM DRIVEWAY
 - NO DRIVE APPROX 10' WIDE FROM DRIVEWAY
 - NO DRIVE APPROX 10' WIDE FROM DRIVEWAY
 - NO DRIVE APPROX 10' WIDE FROM DRIVEWAY
- SITE PLAN NOTES:**
- NO DRIVE APPROX 10' WIDE FROM DRIVEWAY
 - NO DRIVE APPROX 10' WIDE FROM DRIVEWAY
 - NO DRIVE APPROX 10' WIDE FROM DRIVEWAY
 - NO DRIVE APPROX 10' WIDE FROM DRIVEWAY



SITE PLAN
 1" = 20'-0"

- ADDITIONAL NOTES:**
- NO DRIVE APPROX 10' WIDE FROM DRIVEWAY
 - NO DRIVE APPROX 10' WIDE FROM DRIVEWAY
 - NO DRIVE APPROX 10' WIDE FROM DRIVEWAY
 - NO DRIVE APPROX 10' WIDE FROM DRIVEWAY

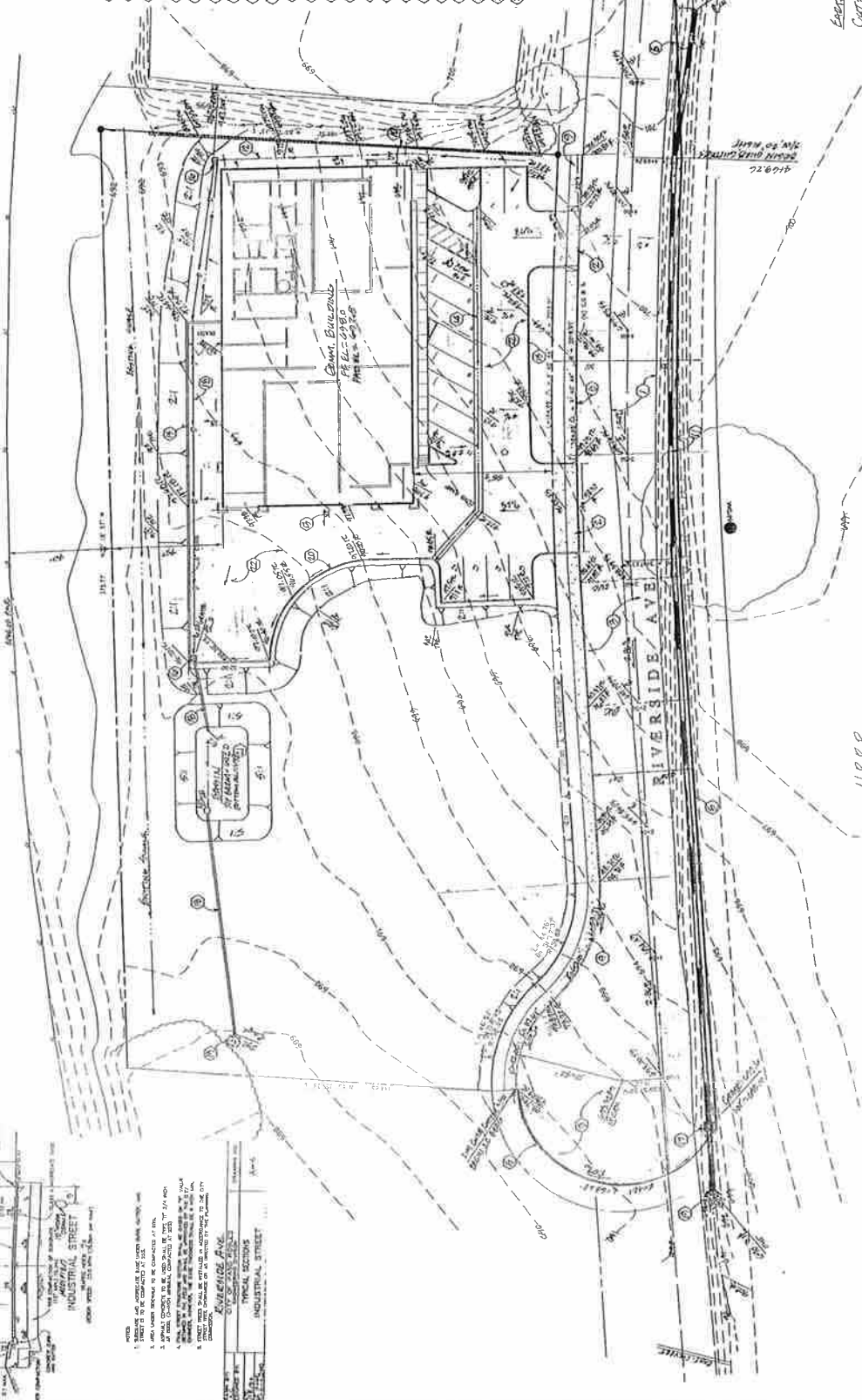
- GENERAL NOTES:**
- NO DRIVE APPROX 10' WIDE FROM DRIVEWAY
 - NO DRIVE APPROX 10' WIDE FROM DRIVEWAY
 - NO DRIVE APPROX 10' WIDE FROM DRIVEWAY
 - NO DRIVE APPROX 10' WIDE FROM DRIVEWAY

- SUPPLEMENTAL GENERAL NOTES:**
- NO DRIVE APPROX 10' WIDE FROM DRIVEWAY
 - NO DRIVE APPROX 10' WIDE FROM DRIVEWAY
 - NO DRIVE APPROX 10' WIDE FROM DRIVEWAY
 - NO DRIVE APPROX 10' WIDE FROM DRIVEWAY



Exhibit B
Site Plan
 PD 05-011
 (Paso Meat & Sausage)

US 101



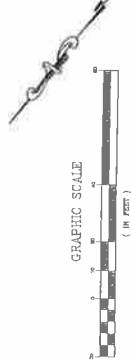
BEFORE QUANTITIES
CUT = 0 CY FILL = 2100 CY (NET)

CONSTRUCTION NOTES

- 1 Existing traveled way
- 2 Cont. concrete driveway approach per City Standard B-11
- 3 Concrete curb, 3" AC permeable P.C. Agg base sub. Final section determined by 6" rise timing of subbase with T=6.0
- 4 Hotch coating asphalt pavement
- 5 Concrete 6" asphalt base
- 6 Concrete asphalt taper to existing paving
- 7 Raising concrete curb, gutter and sidewalk
- 8 Concrete 6" PCC concrete curb with 2" gutter per City Std. B-1
- 9 Concrete 4" PCC concrete sidewalk per City Std. B-3
- 10 Construct masonry retaining wall. Design and details by others
- 11 Install 60 L.F. 18" HDPE drain pipe at S=1.64%
- 12 Concrete earth walls at S=1% min. (36" wide x 6' deep)
- 13 Grade to drain away for proposed structure at S=2% min.
- 14 Concrete 5" valley gutter at S=0.25% min.
- 15 Concrete 6" curb per City Standard B-2, Type 1
- 16 Install 24" prep laid Chewy U-31 or equal
- 17 Install drainage table per City Std. B-4
- 18 Concrete PVC drainage pipe at S=1% min.
- 19 *Interlock curb, top edge away from gutter*
- 20 Concrete 6" PCC curb with 1 1/2" gutter
- 21 Construct detention basin. Top form B1=492.0, Bottom B1=490.0
- 22 Concrete curb, 2" AC permeable P.C. Agg. Base sub. Final section determined by 6" rise timing of subbase with T=6.0



ROBERTS ENGINEERING
205 VISTA DE LA VINA
TEMPLETON, CA 94663
(805) 238-4864



Paso Robles Meat & Sausage
GRADING & DRAINAGE PLAN
RIVERSIDE AVENUE

3460 RIVERSIDE AVENUE, PASO ROBLES, CA 92448
PARCEL # OF PDR-00-159, A.P.N.: 009-081-010
DATE: 11/20/21
PROJECT: 17-20

Exhibit C
Prelim. Grading & Drainage Plan
PD 05-011
(Paso Meat & Sausage)

NO.	DESCRIPTION	DATE

A NEW COMMERCIAL DEVELOPMENT FOR:
PASO MEAT & SAUSAGE CO.
3480 RIVERSIDE AVENUE, PASO ROBLES, CA. 93446
 PARCEL B OF PMPM-90-159; A.P.N.: 008-021-010

KEN M. MCGUIRE
 610 10TH STREET, SUITE A
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 PH. (805) 238-5501
 FAX (805) 238-5853

A R C H I T E C T
 • ARCHITECTURE •
 • GRAPHICS •
 • DESIGN •

These drawings are the exclusive property of the Architect and shall not be used for any other project without the written consent of the Architect and the Client. The Architect is not responsible for any errors or omissions in these drawings.

A NEW COMMERCIAL DEVELOPMENT FOR:
PASO MEAT & SAUSAGE CO.
3480 RIVERSIDE AVENUE, PASO ROBLES, CA. 93446
 PARCEL B OF PMPM-90-159; A.P.N.: 008-021-010

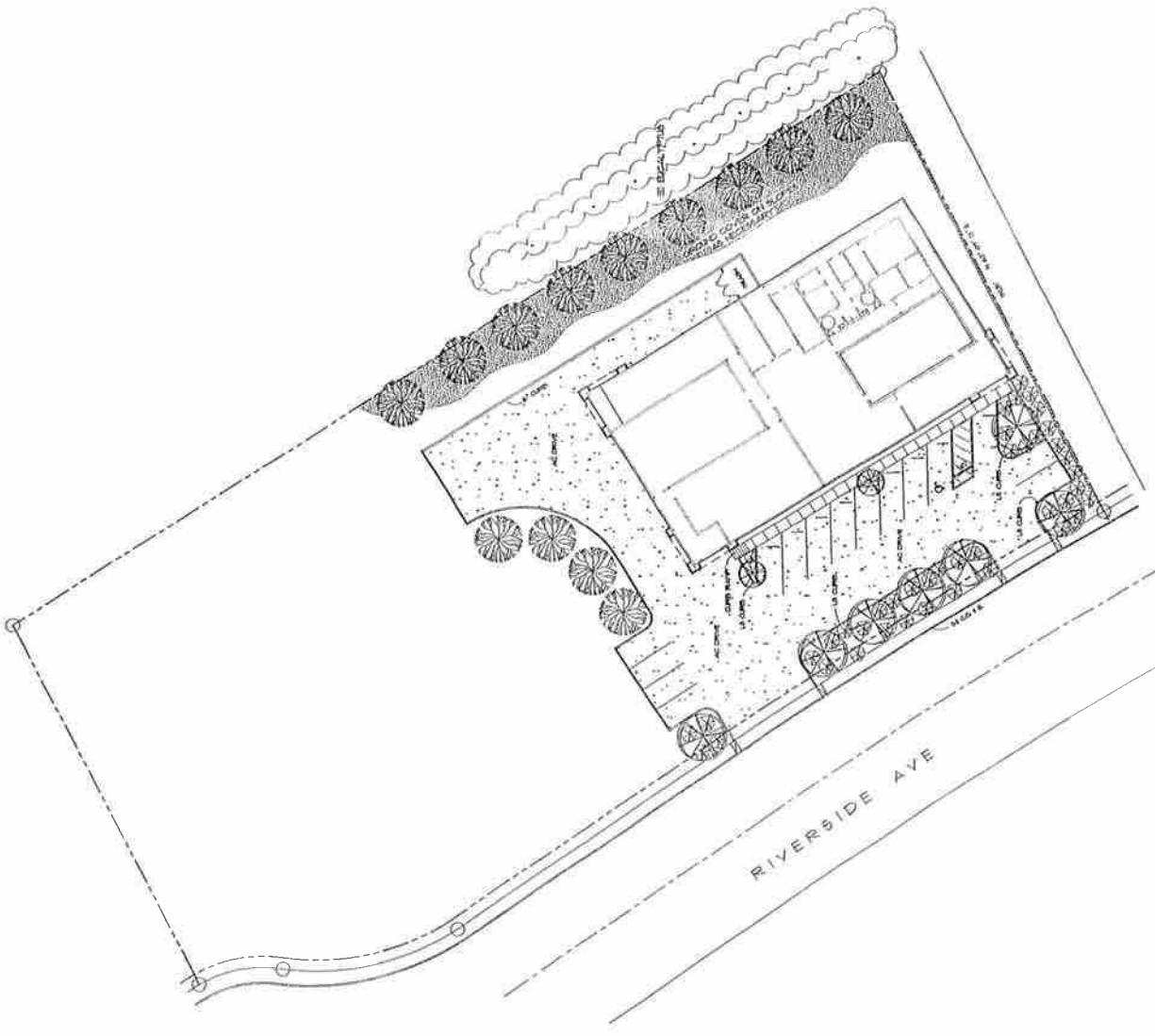
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DESIGNED BY	JRM
CHECKED BY	DATE
DRAWING NO.	SCALE: AS NOTED
SHEET	L-1

LANDSCAPE KEY SCHEDULE

1. ALL LANDSCAPE SHALL BE IRRIGATED WITH AN APPROVED SYSTEM SET ON AUTOMATIC TIMERS.
2. ALL PLANTER AREAS TO BE SPREAD WITH BARK/MULCH MATERIAL FOR PROTECTION OF PLANTS AND SOIL.
3. APPROVAL DETAILED DRAWINGS OF SHRUBS, TREES, AND GRASS LOCATIONS AND PLANTING MATERIAL TO BE PLANTED SHALL BE SUBMITTED TO THE LANDSCAPE CONTRACTOR. PLANTING MATERIAL SHALL BE USED AS SPECIFIED. APPROVAL MATERIALS TO CITY PLANNING STAFF FOR APPROVAL PRIOR TO PLANTING.
4. STREET TREES PER CITY STANDARD. TREES SHALL BE 1 1/2" CALIBER AND STAKED AS REQUIRED.

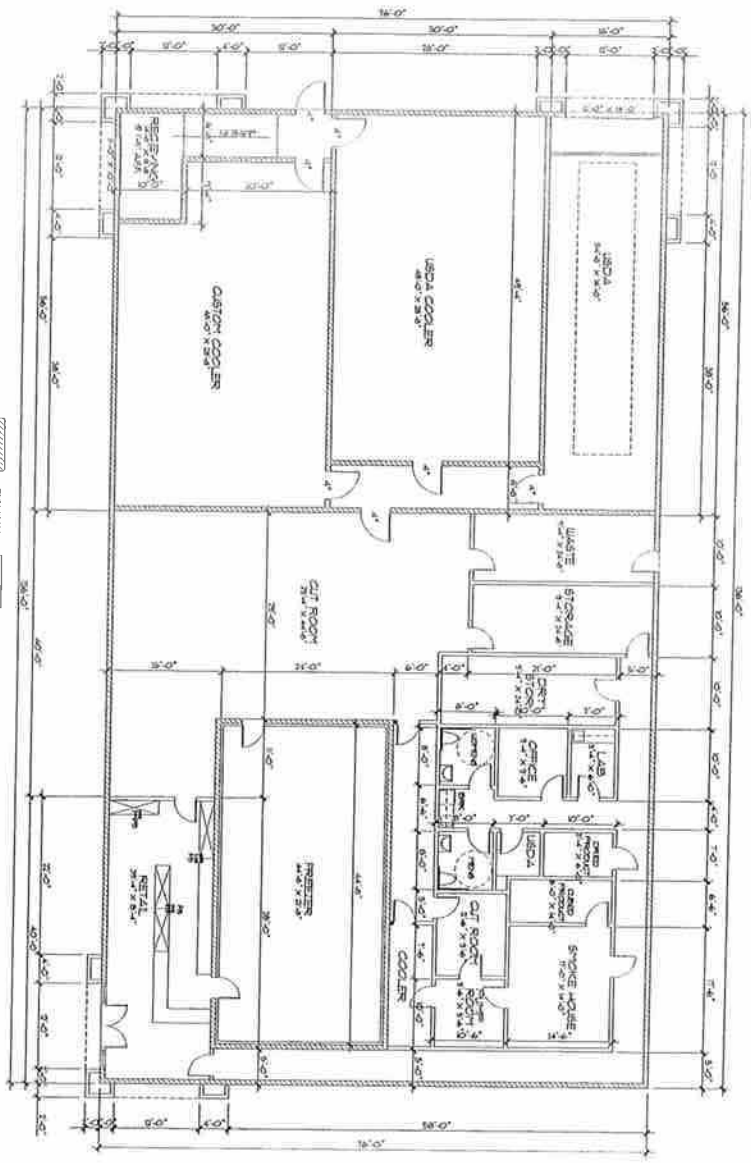
EXISTING 2:1 SLOPE AREA - HYDRATED SLOPES WITH APPROVED 10:0 FLOWER MIX IN REAR YARD AREAS ONLY. FRONT YARD AREAS SHALL BE PLANTED WITH PERENNIALS AND SHRUBS. APPROVAL MATERIALS TO CITY PLANNING STAFF FOR APPROVAL PRIOR TO PLANTING.

- CEPHALIS OXYANER (LOVE-ON-A-ROST)
- PLATANUS AERIFORMIS (LONDON PLANE TREE)
- SHRUBS (5 GALLON SIZE) UP TO 36" O.C.
 - AGAPANTHUS ORIENTALIS (LILY-OF-VALLEY) - NOTE IF DWARF VARIETY USE 1" GALLON UP TO 24" O.C.
 - PEPLOERIS INDICA (INDIA PIMPINELLE) UP TO 48" O.C.
 - PIPERAZINTIA OCCIDENTALIS (PIE PLUM)
- SOD LAWN MIX (ALL YEAR GREEN)
- VARIOUS ANNUALS AND PERENNIALS TO BE SEPARATED FROM LAWN AREA WITH BENDER BOARD
- WHERE BLDG. STEEL WALL IS
 - < 4'-0" HIGH - BAPHOLETS INDICA @ 48" O.C.
 - > 4'-0" HIGH - PHOENIX GUERNA @ 60" O.C.



LANDSCAPE PLAN
 1" = 20'-0"

Exhibit D
Prelim. Landscape Plan
PD 05-011
(Paso Meat & Sausage)



FLOOR PLAN
 AREA: 6234 SQ. FT.
 RETAIL: 440 SQ. FT.
 MEAT: 275 SQ. FT.

CHU WALL STD RAISED WALL

18' x 14'

Exhibit E
Floor Plan
 PD 05-011
 (Paso Meat & Sausage)

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A NEW COMMERCIAL DEVELOPMENT FOR:
PASO MEAT & SAUSAGE CO.
 3450 RIVERSIDE AVENUE, PASO ROBLES, CA. 93448
 PARCEL B OF PRPM-80-150; A.P.N.: 008-021-010

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- ARCHITECTURE •
- GRAPHICS •
- DESIGN •

These drawings are the exclusive property of KMA Architect and shall be used solely for the purpose of the project on this site. Any use other than the project upon which it is intended for without the written consent of KMA Architect and Ken M. Nagahara is prohibited.

Revisions	
No.	Description

Revisions	Date

ARCHITECT
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• ARCHITECTURE
 • GRAPHS
 • DESIGN

A NEW COMMERCIAL DEVELOPMENT FOR
PASO MEAT & SAUSAGE CO.
 3450 RIVERSIDE AVENUE, PASO ROBLES, CA 92448
 PARCEL B OF PRM-80-159; A.P.N.: 008-021-010

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 Checked By: DATE _____
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A - 7

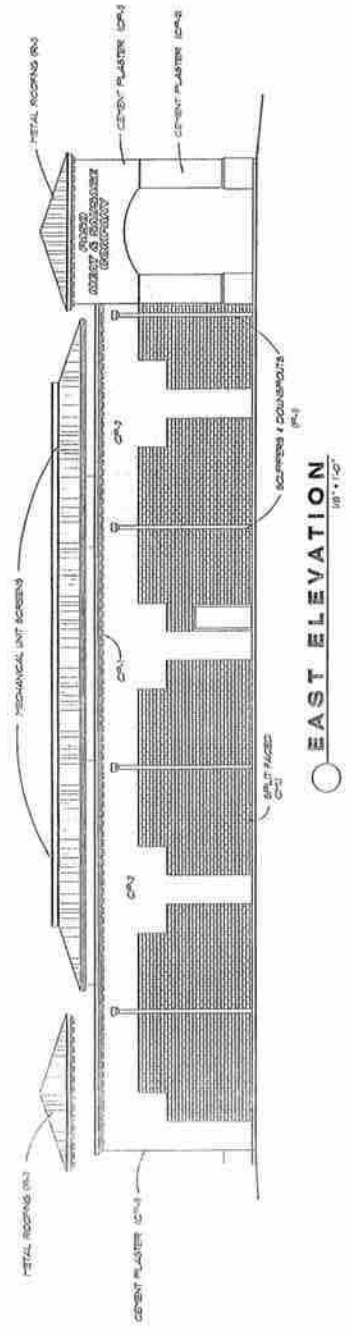
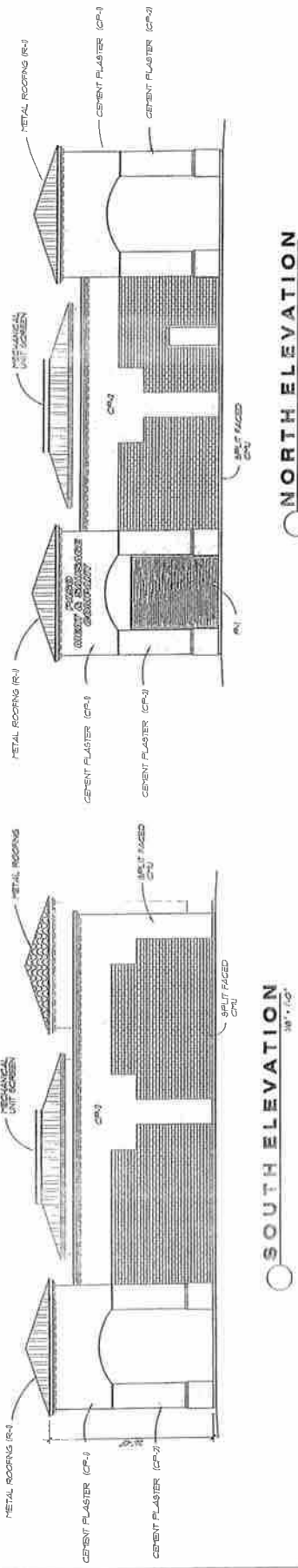
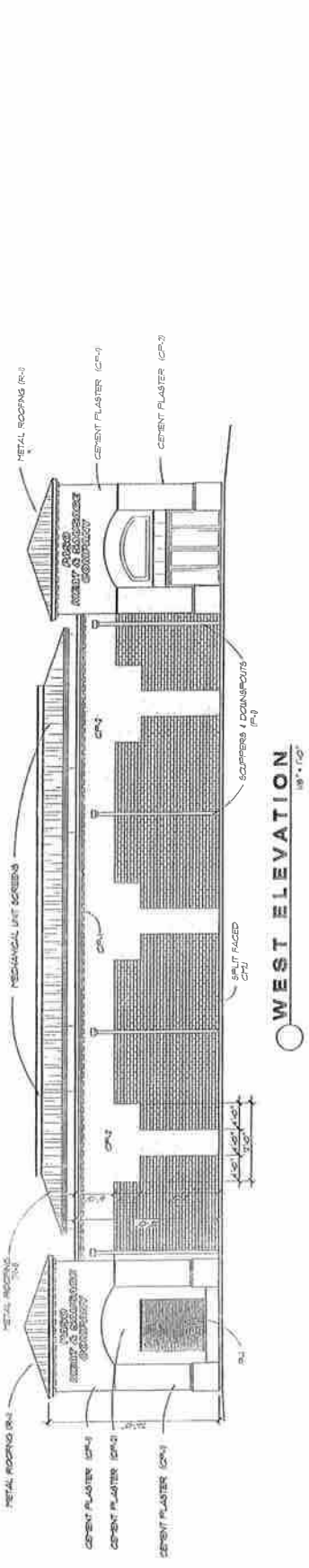


Exhibit F
Architectural Elevations
 PD 05-011
 (Paso Meat & Sausage)

21.21.040 General performance standards for all uses.

A. Fire and Explosion Hazards. All activities involving and all storage of inflammable and explosive materials shall be provided with adequate safety devices against the hazard of fire and explosion and adequate firefighting and fire-suppression equipment and devices standard in industry and as approved by the fire department. All incineration is prohibited.

B. Radioactivity or Electrical Disturbance. Devices which radiate radio-frequency energy shall be so operated as not to cause interference with any activity carried on beyond the boundary line of the property upon which the device is located. Further, no radiation of any kind shall be emitted which is dangerous to humans. All radio transmissions shall occur in full compliance with Federal Communications Commission (FCC) and other applicable regulations.

C. Noise. No land use shall increase the ambient noise level as measured at the nearest residentially zoned property line to a level that constitutes a public nuisance.

D. Vibration. No vibrations shall be permitted so as to cause a noticeable tremor measurable without instruments at the lot line.

E. Smoke. Except for fireplaces and barbecues, no emission shall be permitted at any point from any chimney which would constitute a violation of standards established by the San Luis Obispo County Air Pollution Control District (APCD).

F. Odors. Except for fireplaces and barbecues, no emission shall be permitted of odorous gases or other odorous matter in such quantities as to constitute a public nuisance.

G. Fly Ash, Dust, Fumes, Vapors, Gases and Other Forms of Air Pollution. No emission shall be permitted which can cause damage to health, animals, vegetations or other forms of property, or which can cause any excessive soiling at any point. No emissions shall be permitted in excess of the standards established by the San Luis Obispo County Air Pollution Control District (APCD).

H. Glare. No direct glare, whether produced by floodlight, high-temperature processes such as combustion or welding or other processes, so as to be visible from any boundary line of the property on which the same is produced shall be permitted. Sky-reflected glare from buildings or portions thereof shall be so controlled by reasonable means as are practical to the end that said sky-reflected glare will not inconvenience or annoy persons or interfere with the use and enjoyment of property in and about the area where it occurs.

I. Liquid or Solid Wastes. No discharge shall be permitted at any point into any public sewer, private sewage disposal system or stream, or into the ground, of any materials of such nature or temperature as can contaminate any water supply, interfere with bacterial processes in sewage treatment, or otherwise cause the emission of dangerous or offensive elements, except in accord with standards approved by the California Department of Health or such other governmental agency as shall have jurisdiction over such activities. Manufacturing, processing, treatment and other activities involving use of toxic or hazardous materials shall be designed to incorporate the best available control technologies and wherever technically feasible shall employ a "closed loop" system of containment.

J. Transportation Systems Impacts. Vehicular, bikeway and/or pedestrian traffic, directly attributable to the proposed land use, shall not increase to a significant extent without implementation of adequate mitigation measures in a form to be approved by the city

engineer. In determining significance of impacts, consideration shall be given to cumulative (projected build-out) capacity of streets and highways serving the land use. Mitigation measures required may include but not be limited to curb, gutter, sidewalk, street and/or alley, bikeway, transit related improvements and traffic signalization. Mitigation may be required as pursuant to the California Environmental Quality Act (CEQA), or as a condition of a discretionary review. (Ord. 665 N.S. 28, 1993: (Ord. 405 N.S. 2 (part), 1977)