

**RESOLUTION NO.: 05-0055**

**A RESOLUTION OF  
THE PLANNING COMMISSION OF THE CITY OF EL PASO DE ROBLES  
APPROVING CONDITIONAL USE PERMIT 05-004  
TO CONDITIONALLY PERMIT A CHURCH AND FELLOWSHIP HALL  
AT PROPERTY LOCATED AT THE NORTHEAST CORNER OF OAK HILL ROAD  
AND OLD SOUTH RIVER ROAD; APNs : 009-814-020 AND -021  
APPLICANTS – HALFERTY/DEBEIKES JOINT VENTURE**

**WHEREAS**, Section 21.16E.260 of the Municipal Code of the City of El Paso de Robles requires approval of a Conditional Use Permit for churches in the RC (Regional Commercial) zoning district; and

**WHEREAS**, the applicants Halferty/DeBeikes Joint Venture has filed a Conditional Use Permit application to allow construction of a church and fellowship hall for property located at the northeast corner of Oak Hill Road and Old South River Road; and

**WHEREAS**, no significant impacts or issues of concern were identified with this use at this location, and the applicant is required to record a reciprocal access and parking agreement to share access and parking spaces need for the proposed use and other uses on the site; and

**WHEREAS**, this proposed project is consistent with the City adopted General Plan and Zoning Ordinance; and

**WHEREAS**, the Development Review Committee reviewed the church proposal as part of their review of the Highlands Mixed-Use project and recommended approval of this use and proposed buildings with the other uses on the site to the Planning Commission; and

**WHEREAS**, a public hearing was conducted by the Planning Commission on June 28, 2005 to consider the facts presented in the staff report, and to accept public testimony regarding this Conditional Use Permit; and

**WHEREAS**, based upon the facts and analysis presented in the staff report, public testimony received, and subject to the conditions of approval listed below, the Planning Commission finds that the establishment, maintenance or operation for the requested use and buildings will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the surrounding neighborhood of the proposed use or be injurious or detrimental to property and improvements in the surrounding neighborhood or to the general welfare of the City.

**NOW, THEREFORE, BE IT RESOLVED**, that the Planning Commission of the City of Paso Robles does hereby approve Conditional Use Permit 05-004 subject to the following conditions:

**SITE SPECIFIC CONDITIONS**

1. The project shall be constructed so that it substantially conforms with the following exhibits and conditions established by this resolution:

EXHIBITS: A     SITE PLAN  
          B     ELEVATIONS

2. This Conditional Use Permit authorizes the construction of a 7,000 s.f. church and a 7,000 s.f. fellowship hall.
3. Any condition imposed by the Planning Commission in granting this Conditional Use Permit may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for granting the original permit. No such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties.
4. The applicant shall record a reciprocal access and parking agreement with the other property owner(s) on the site prior to issuance of a certificate of occupancy.

PASSED AND ADOPTED THIS 28<sup>th</sup> day of June 2005, by the following roll call vote:

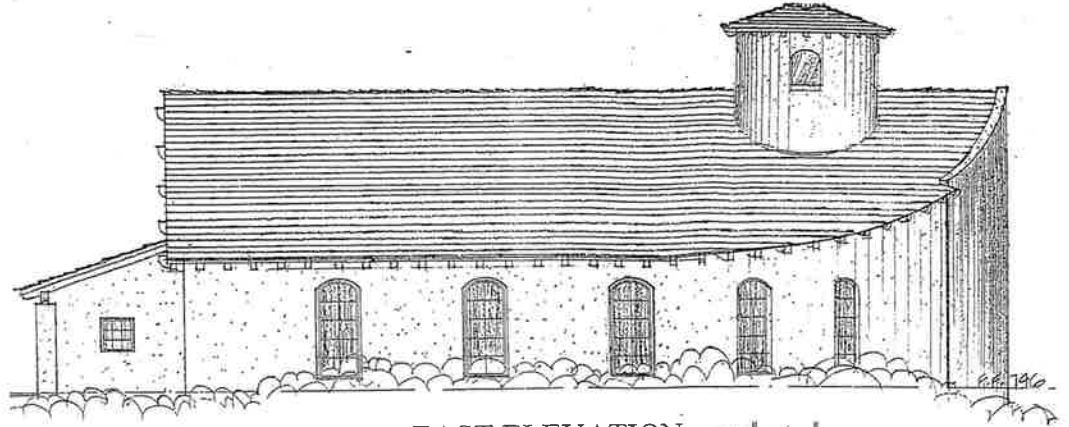
AYES: Commissioners – Flynn, Holstein, Hamon, Johnson, Menath and Chair Steinbeck  
NOES: Commissioners – None  
ABSENT: Commissioners – Matke  
ABSTAIN: Commissioners – None

  
\_\_\_\_\_  
CHAIRMAN ED STEINBECK

ATTEST:

  
\_\_\_\_\_  
ROBERT A. LATA, PLANNING COMMISSION SECRETARY





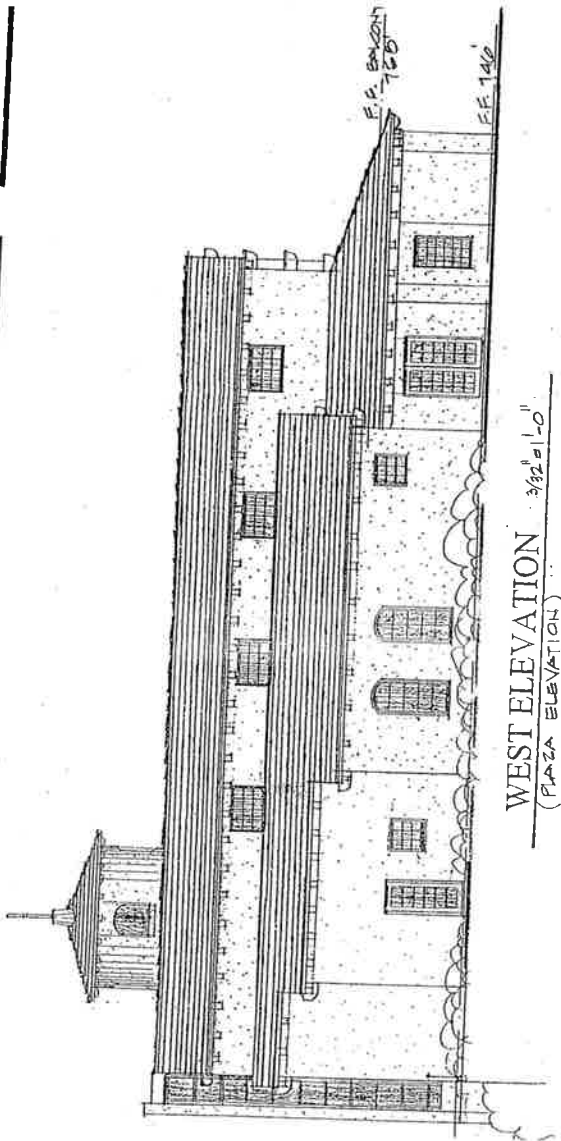
EAST ELEVATION  $\frac{3}{32}'' = 1'-0''$



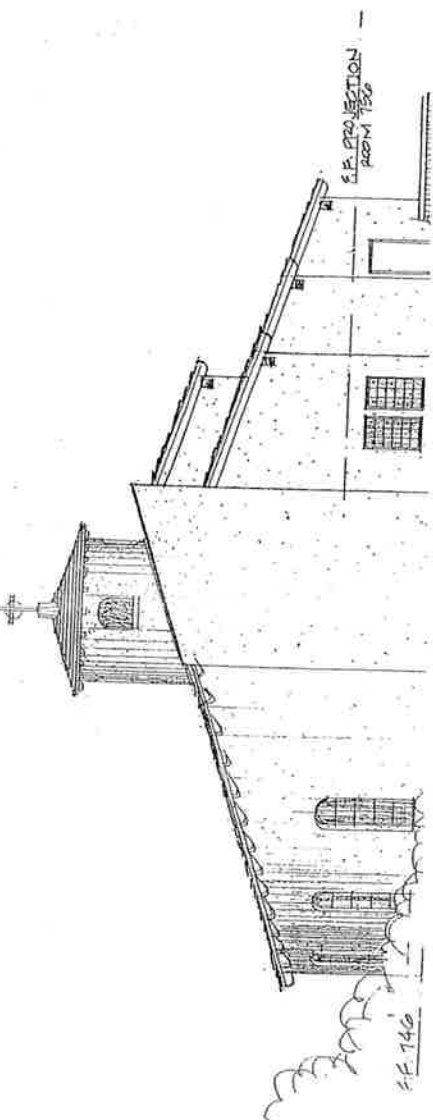
SOUTH ELEVATION  $\frac{2}{32}'' = 1'-0''$

EXTERIOR ELEVATIONS

Church

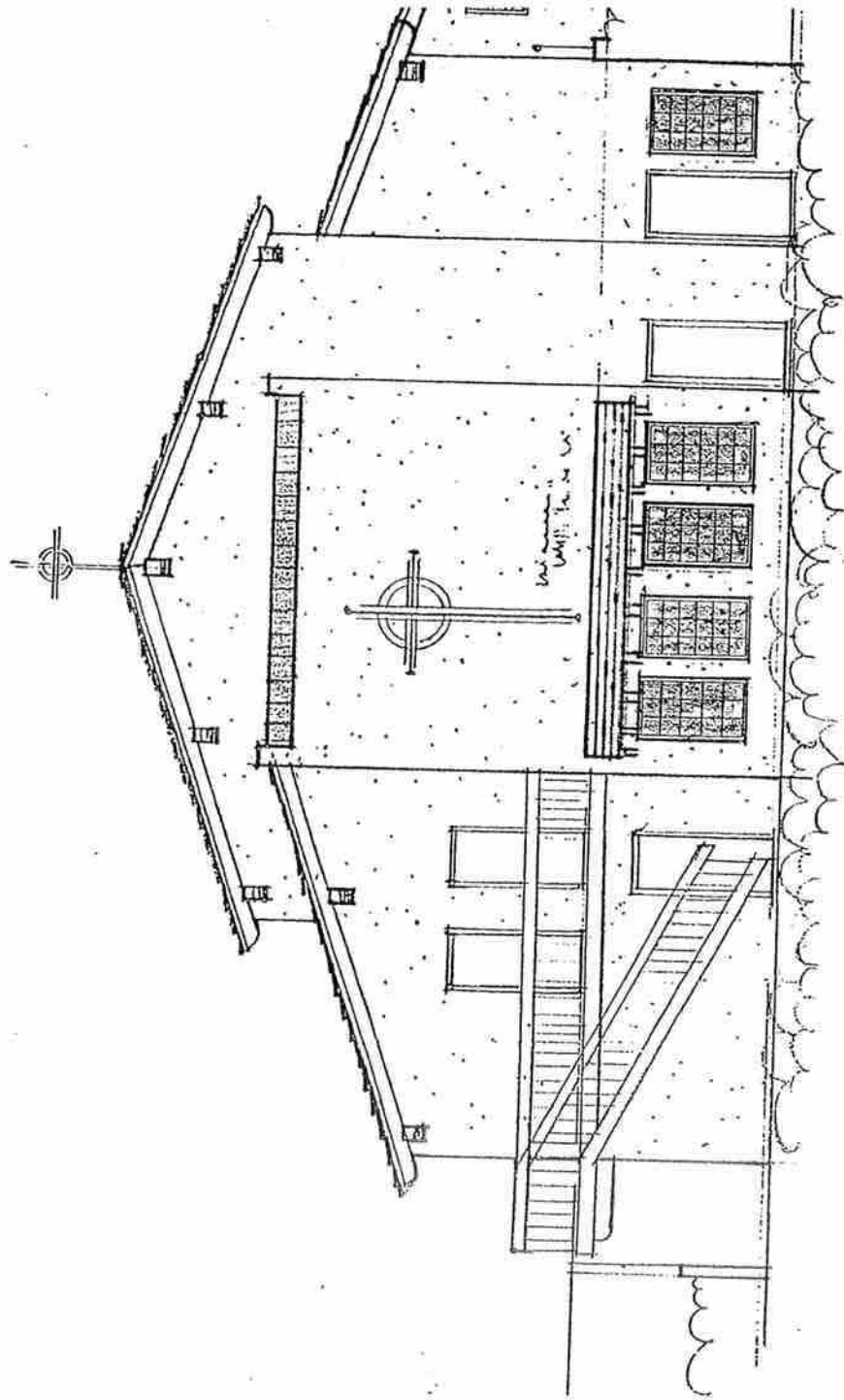


WEST ELEVATION 3'-0" x 1'-0"  
(PLAZA ELEVATION)



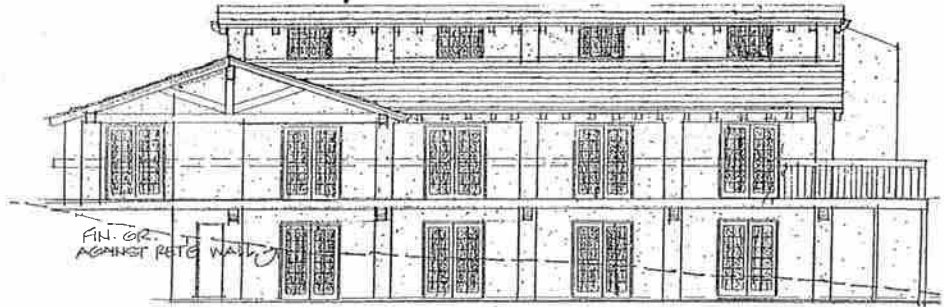
Church

Church Fellowship Hall



WEST ELEVATION 3/22-1-0

# Church Fellowship Hall

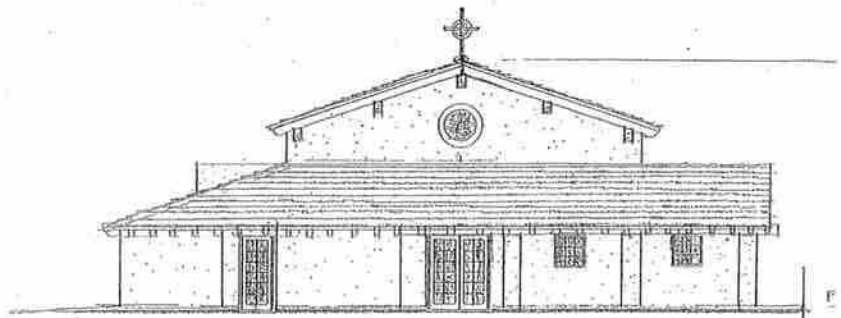
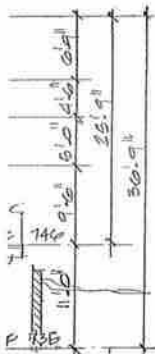


NORTH ELEVATION  $\frac{3}{32}'' = 1'-0''$



SOUTH ELEVATION  $\frac{3}{32}'' = 1'-0''$

E.E. 135



EAST ELEVATION  $\frac{3}{32}'' = 1'-0''$   
(PLAZA ELEVATION)

## EXTERIOR ELEVATIONS