

RESOLUTION NO.: 05-0039

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
TO APPROVE CONDITIONAL USE PERMIT 05-001
(Robert Hawthorne)
APN: 008-233-015

WHEREAS, Section 21.18 of the Municipal Code of the City of El Paso de Robles requires approval of a Conditional Use Permit for the construction of multiple dwelling units in the Office Professional (OP) zone; and

WHEREAS, Robert Hawthorne submitted a Conditional Use Permit application for the construction of a new duplex unit on the existing 2,600 square foot lot located at 627 19th Street; and

WHEREAS, concurrently with the project, the applicant is requesting the ability to have tandem parking spaces in front of each garage door for a total of four off-street parking spaces; and

WHEREAS, a public hearing was conducted by the Planning Commission on April 26, 2005 to consider the facts as presented in the staff report prepared for this project, and to accept public testimony regarding this Conditional Use Permit request; and

WHEREAS, this application is Categorically Exempt from environmental review per Section 1503 of the State's Guidelines to Implement CEQA; and

WHEREAS, based upon the facts and analysis presented in the staff report, public testimony received and subject to the conditions of approval listed below, the Planning Commission finds that the establishment, maintenance or operation for the requested use or building applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort, convenience and general welfare of the persons residing or working in the neighborhood of such proposed use, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles does hereby approve Conditional Use Permit 05-001 subject to the following conditions:

1. The project shall be constructed so as to substantially conform with the following listed exhibits and conditions established by this resolution:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Site Plan
B	Site Plan / First Floor Plan
C	Floor Plans
D	West & South Elevations
E	East & North Elevations

2. This Conditional Use Permit (CUP) authorizes the construction of a duplex on the existing 2,600 square foot site located at 627 19th Street, with tandem parking spaces in front of each garage door for a total of four parking spaces for the duplex, subject to the conditions of approval contained in this resolution.
3. Any condition imposed by the Planning Commission in granting this Conditional Use Permit may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the granting of the original permit. No such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use under the conditional use permit.
4. Prior to occupancy, curb, gutter and sidewalk shall be repaired on Oak Street at the direction of the City Engineer.
5. Prior to occupancy, the applicant shall slurry seal the existing alley paving and place an alley approach per City Standard B-6 on 19th Street.
6. Prior to occupancy, the existing overhead services to the existing residence shall be relocated underground. The applicant shall enter into an agreement not to protest the formation of an assessment district to underground existing overhead utilities in the block.
7. Prior to occupancy, the applicant shall install a fire hydrant at the northeast corner of 15th and Oak Streets.
8. The applicant shall take the steps necessary to annex to or form a City Community Facilities District (CFD) in order to provide funding for City services for each new parcel or dwelling unit in the proposed development. The agreement to form or annex to a CFD shall be in a manner to be approved by the City Attorney. Participation in a City CFD for services is intended to fully mitigate the incremental impact of new residential development on City services and maintain such services at the standards established in the General Plan

If for any reason, applicant does not take the necessary steps to have the development included within a CFD, applicant shall in a manner subject to approval by the City Council and City Attorney, provide for alternative means of fiscal mitigation at a level equal to the special taxes established in the Rate and Method of Apportionment applicable to CFD 2005-1, as they may be adjusted from time to time. The alternative means of fiscal mitigation could include, but would not be limited to, equivalent funding being provided by a Homeowners Association, a perpetual endowment to cover the incremental costs of City services (including adjustments similar to those established for the CFD), a City road maintenance assessment district, or a combination of such tools to insure full fiscal mitigation of impacts to City services.

PASSED AND ADOPTED THIS 26th day of April 2005, by the following roll call vote:

AYES: Menath, Johnson, Mattke, Steinbeck, Flynn, Hamon, Holstine

NOES: None

ABSENT: None

ABSTAIN: None

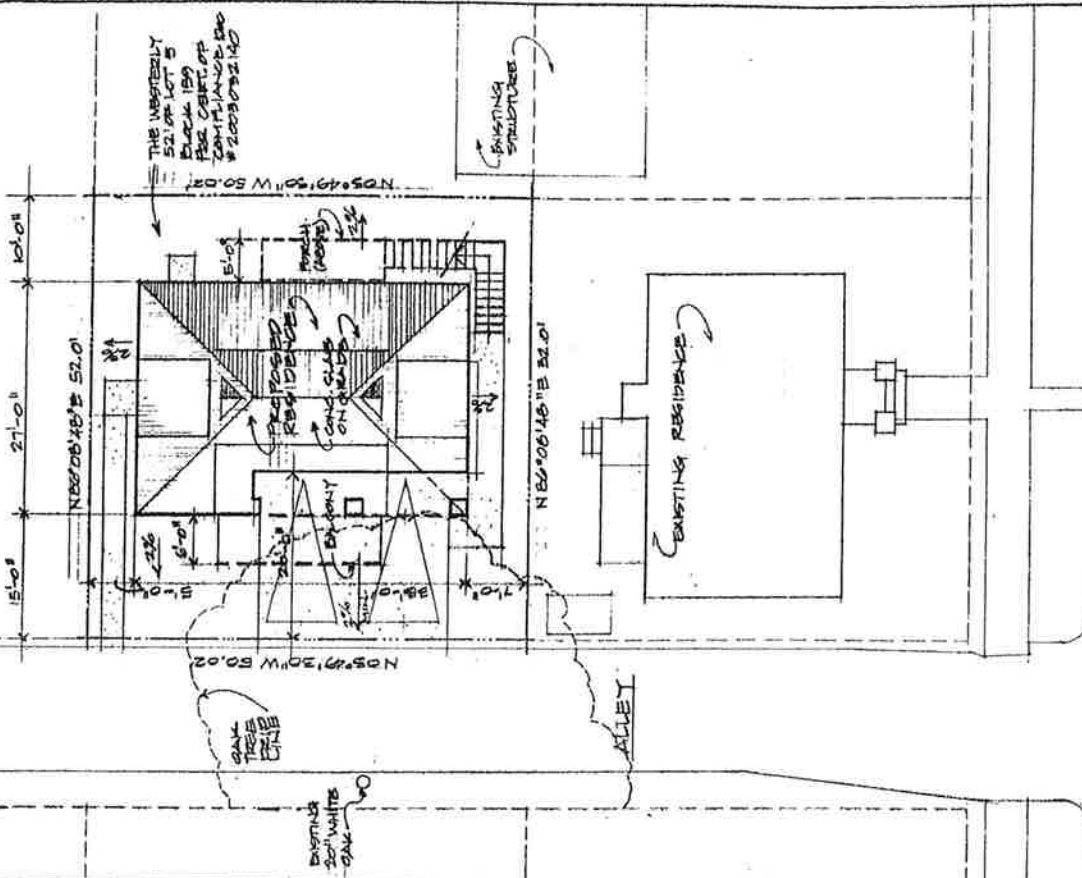


CHAIRMAN ED STEINBECK

ATTEST:



ROBERT A. LATA, PLANNING COMMISSION SECRETARY



19th STREET

A101 SITE PLAN

SCALE 1" = 10'

NOTE: THE SITE PLAN IS BASED ON SITE PLAN PREPARED BY VAUGHAN EMMETS, INC., DATED 5/00/2009



PROPOSED HAWTHORNE RESIDENCE
 LIST OF DRAWINGS AND
 GENERAL NOTES

Exhibit A
 Site Plan
 CUP 05-001
 (Hawthorne)

A-1
 1-12-05

521

10' WALKWAY

LANDSCAPING W/ IRRIGATION SYSTEM (TYPICAL)

STUDIO 350#

15' FRONT

EXISTING PAVED ALLEY

RECYCLED CONCRETE PAVING AT PARKING & WALKWAYS

4 CAR - PARKING

LANDSCAPING W/ IRRIGATION SYSTEM (TYPICAL)

SITE PLAN / FLOOR PLAN
CONCEPT (LOT C)
627 19TH STREET

10' REAR

50'

5' FRONT (ABOVE)

GARAGE #1 261#

GARAGE #2 261#

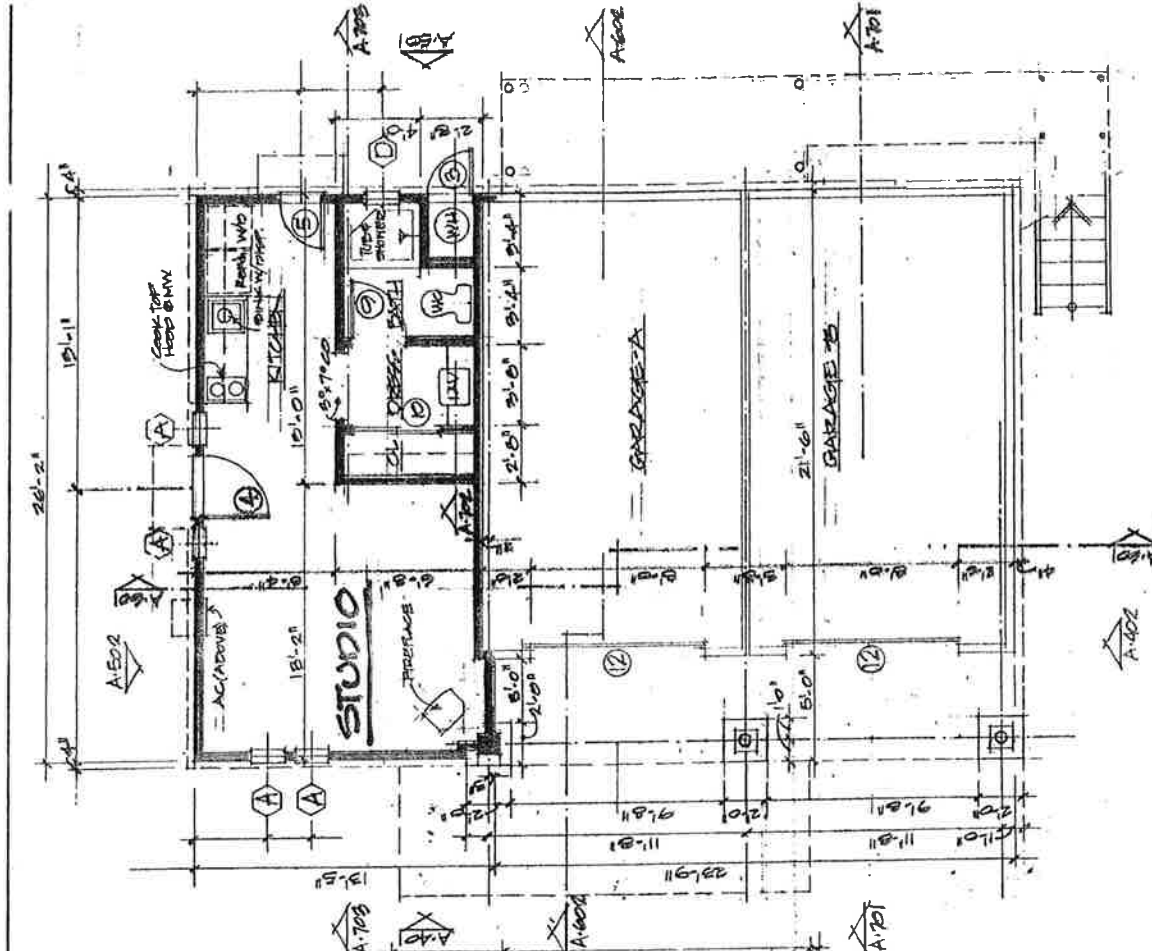
EXIT STAIRS



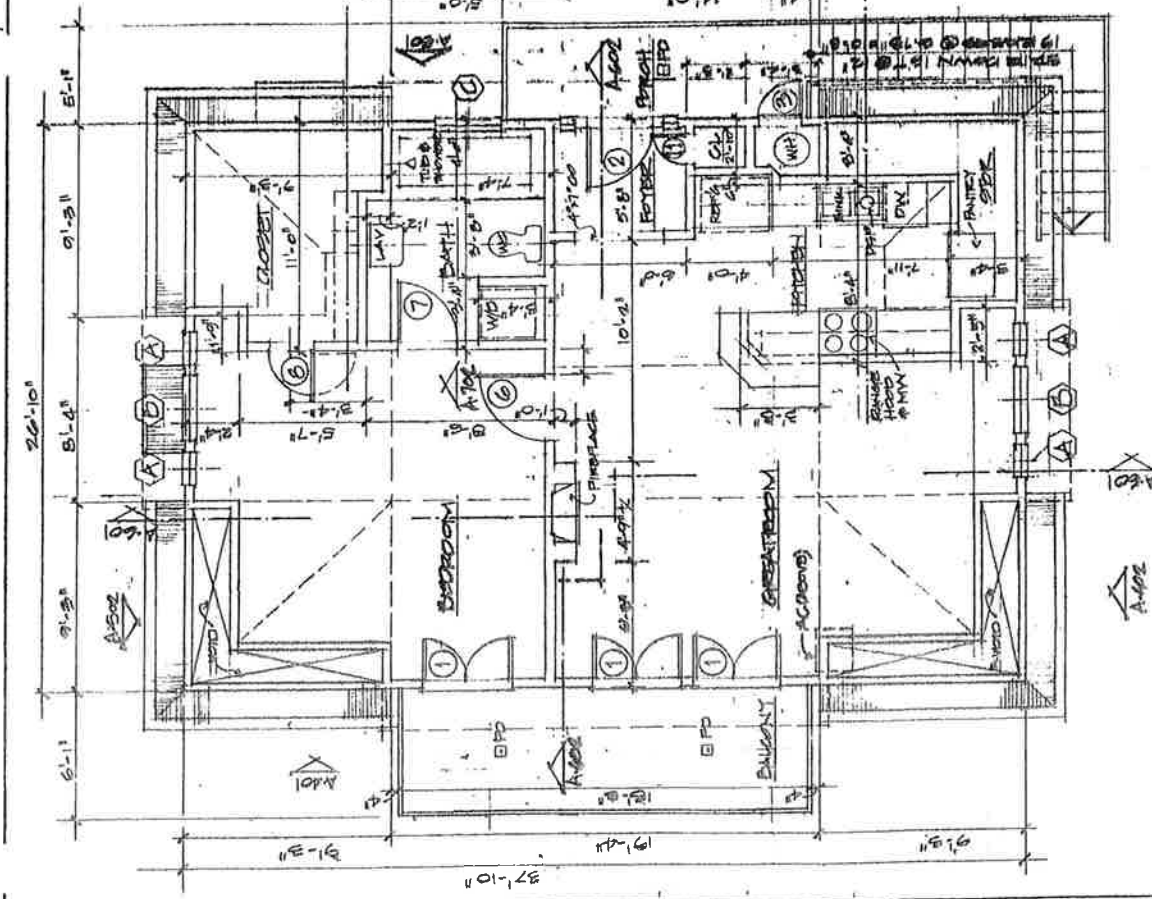
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CAR GARAGE
OIL RAH
SECTION LOT 5 BLOCK 157

Exhibit B
Site Plan/First Floor Plan
CUP 05-001
(Hawthorne)



A-202 FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

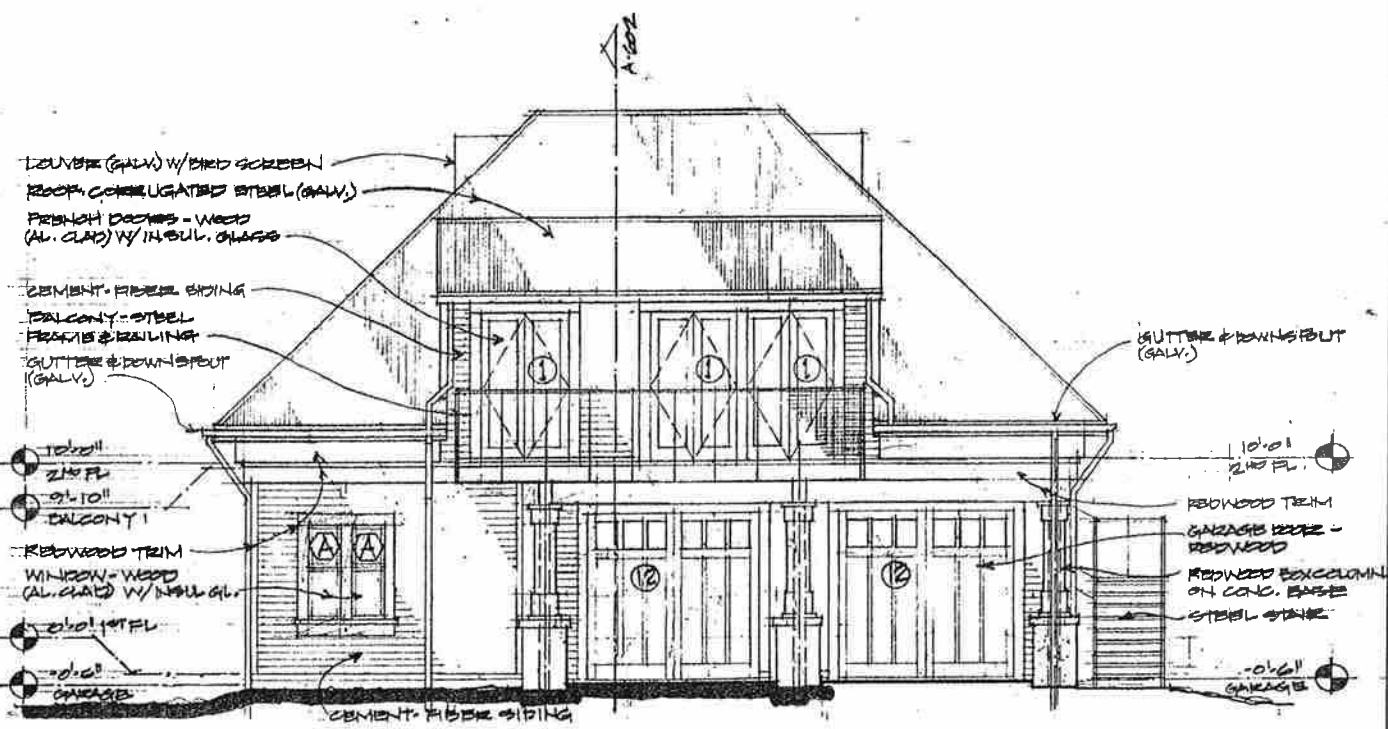


A-201 SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

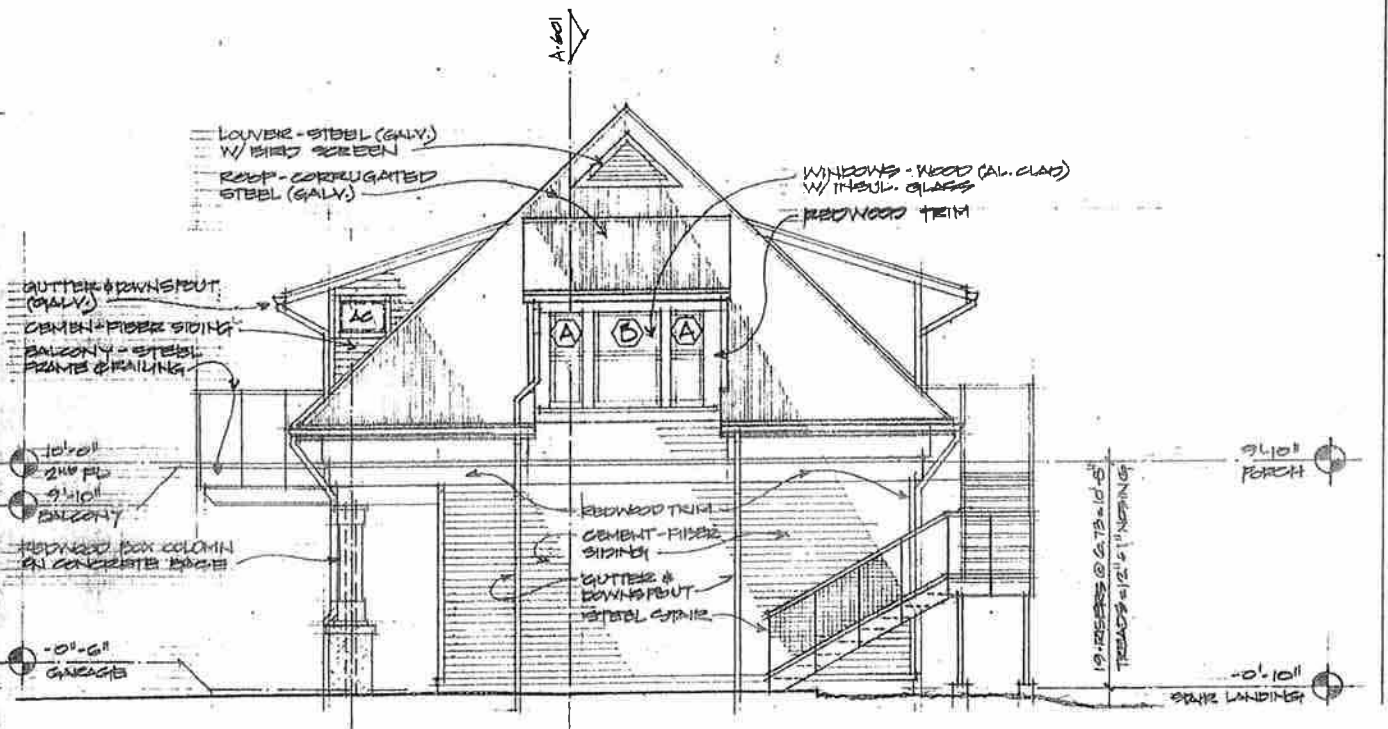
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Exhibit C
Floor Plans
CUP 05-001
(Hawthorne)

PROCESSED HAWTHORNE RESIDENCE
SET CONTRACT FOR ROBERT CARPANO
CONTRACT NO. HAWTHORNE RES 050019187
A-2
1-12-05
FIRST & SECOND FLOOR PLANS



A-401 WEST ELEVATION
SCALE 1/4" = 1'-0"

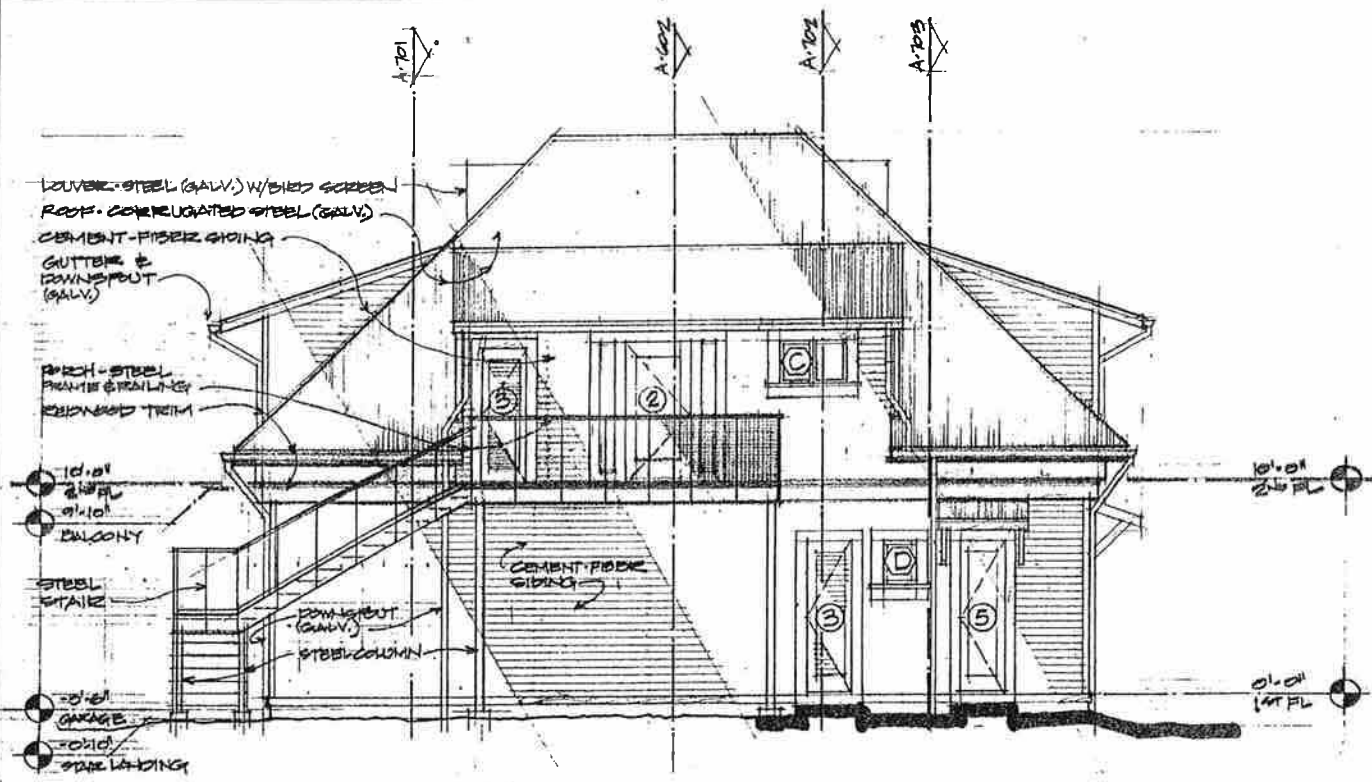


A-402 SOUTH ELEVATION
SCALE 1/4" = 1'-0"

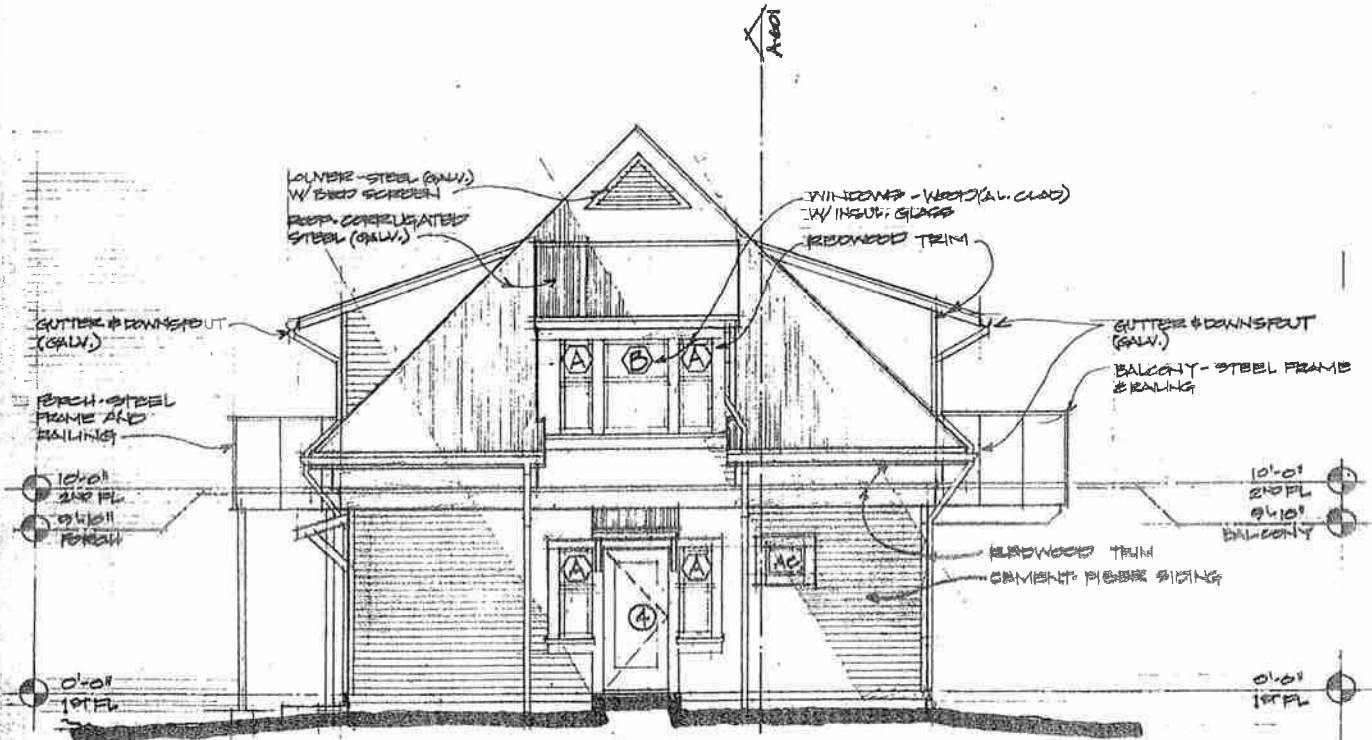
Exhibit D
West & South Elevations
CUP 05-001
(Hawthorne)

PROPOSED HAWTHORNE RESIDENCE
 201 WEST STREET, HAWTHORNE, CALIFORNIA 94508
 CONTRACT: BOB HAWTHORNE, 8855504978
 WEST & SOUTH ELEVATION
 A-4
 1-12-05

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A-501 EAST ELEVATION
SCALE 1/4" = 1'-0"



A-502 NORTH ELEVATION
SCALE

Exhibit E
East & North Elevations
CUP 05-001
(Hawthorne)

PROPOSED HAWTHORNE RESIDENCE
 2217TH STREET AND 20TH AVENUE, SPOKANE, IDAHO
 CONTRACT: BOB HAWTHORNE, BOB BROWNE

A-5
 1-15-05