

RESOLUTION NO.: 04-0138

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
TO APPROVE CONDITIONAL USE PERMIT 04-012
(Sabin Office Conversion)
APN: 008-315-004

WHEREAS, Section 21.18.A of the Municipal Code of the City of El Paso de Robles requires approval of a Conditional Use Permit for the conversion of residences to professional office uses in the R2,OP zone; and

WHEREAS, Randy Sabin and Jolie Cazier submitted a Conditional Use Permit application for the conversion of the property located at 1520 Oak Street; and

WHEREAS, a public hearing was conducted by the Planning Commission on December 14, 2004 to consider the facts as presented in the staff report prepared for this project, and to accept public testimony regarding this Conditional Use Permit request; and

WHEREAS, this application is Categorically Exempt from environmental review per Section 1503 of the State's Guidelines to Implement CEQA; and

WHEREAS, based upon the facts and analysis presented in the staff report, public testimony received and subject to the conditions of approval listed below, the Planning Commission finds that the establishment, maintenance or operation for the requested use or building applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort, convenience and general welfare of the persons residing or working in the neighborhood of such proposed use, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles does hereby approve Conditional Use Permit 04-012 subject to the following conditions:

STANDARD CONDITIONS

1. The project shall be constructed so as to substantially conform with the following listed exhibits and conditions established by this resolution:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Site Plan/Architectural Elevations
B	Floor Plan

SITE SPECIFIC CONDITIONS

2. This Conditional Use Permit (CUP) authorizes the conversion of the existing residential structure to a professional office, with associated site improvements such as parking lot and landscaping, subject to the conditions of approval contained in this resolution.
3. Prior to installation, any sign plans for the office shall be submitted via the sign review process to be reviewed and approved by the Development Review Committee. Building permits will be required as necessary.
4. Any condition imposed by the Planning Commission in granting this Conditional Use Permit may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the granting of the original permit. No such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use under the conditional use permit.
5. The applicant shall enter into an agreement not to protest the formation of an assessment district to underground the existing overhead utilities in the block.
6. Any exterior lighting shall be reviewed and approved by Planning Staff and get any necessary building permits prior to installation.
7. All necessary building codes shall be met prior to occupancy of the structure as an office use.
8. Prior to occupancy, curb, gutter and sidewalk shall be repaired on Oak Street at the direction of the City Engineer.
9. Prior to occupancy, the applicant shall patch the existing alley paving and slurry seal the paving from the project to 15th Street.
10. Prior to occupancy, the existing overhead services to the existing residence shall be relocated underground. The applicant shall enter into an agreement not to

protest the formation of an assessment district to underground existing overhead utilities in the block.

11. Prior to occupancy, the applicant shall install a fire hydrant at the southeast corner of 16th and Oak Streets.

PASSED AND ADOPTED THIS 14th day of December 2004, by the following roll call vote:

AYES: Mattke, Kemper, Steinbeck, Flynn, Johnson, Hamon, Ferravanti
NOES: None
ABSENT: None
ABSTAIN: None



CHAIRMAN TOM FLYNN

ATTEST:



ROBERT A. LATA, PLANNING COMMISSION SECRETARY

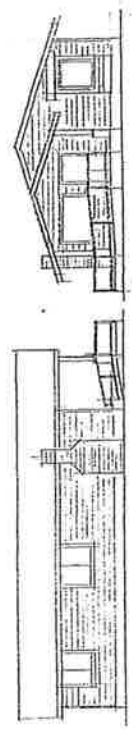
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BATHROOM REMODEL FOR
 JOLIE CAZAR
 AND
 RANDY SABIN

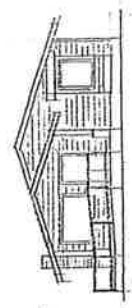


HERMAN
 LEWIS
 ARCHITECT
 1110 SPRING ST.
 PASO ROBLES, CA
 93448
 (805) 238-2260

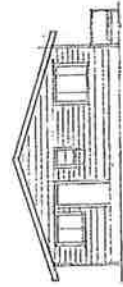
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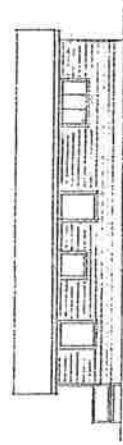
LEFT SIDE ELEVATION
 1/8"=1'0"



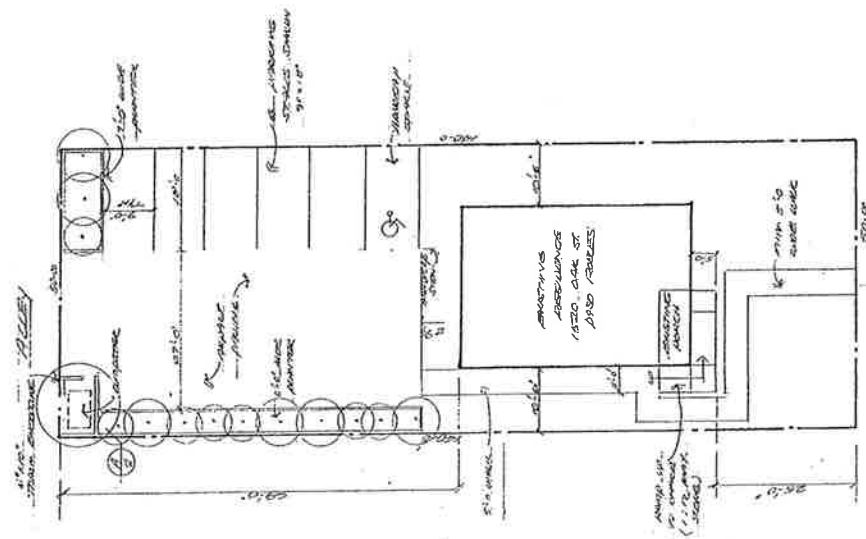
FRONT ELEVATION
 1/8"=1'0"



REAR ELEVATION
 1/8"=1'0"



RIGHT SIDE ELEVATION
 1/8"=1'0"



ELON
 10/1/10

EXHIBIT A
 Site Plan / Architectural Elevations
 CUP 04-012
 (Cazier / Sabin)

TRASH ENCLOSURE
 1/8"=1'0"

FRONT ELEVATION
 1/8"=1'0"

CONCRETE WALL DETAIL
 SCALE 3/4"=1'0"

6" X 10" ZIRCON ENCLOSURE
 SCALE 3/4"=1'0"



FRONT ELEVATION
 1/8"=1'0"

REVISIONS	

BATHROOM REMODEL FOR
 JOLIE CAZAR
 AND
 RANDY SABIN

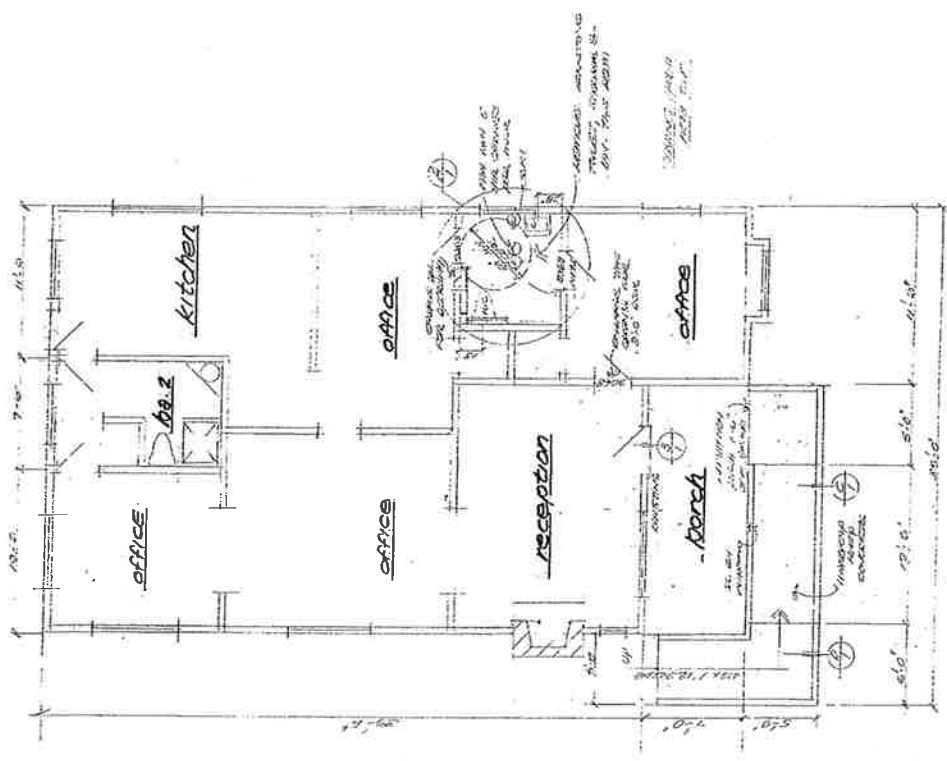


HERMAN
 LEWIS
 ARCHITECT
 1414 BRONS ST.
 PALM BEACH, FL
 33480
 (800) 238-2280

DATE: 02/15/07
 JOB NO.
 DRAWN BY:
 SCALE

1

NOTES: DESIGN SHALL HAVE PRECEDENCE OVER SCALE. PROVIDER. CHECKER AND SEAL TO BE PROVIDED FOR DESIGNER AND CONTROL OF JOB. ARCHITECT HAS BEEN ADVISED BY THE CLIENT THAT THE DESIGNER, CHECKER, SEAL AND SCALE ARE THE PROPERTY OF THE CLIENT.



FLOOR PLAN
 1/8" = 1'-0"

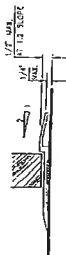


EXHIBIT B
 Floor Plan
 CUP 04-012
 (Cazier / Sabin)

