

RESOLUTION NO.: 02-075
A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
TO APPROVE AN AMENDMENT TO PLANNED DEVELOPMENT 97001
(FIRESTONE BREWERY/ADAM FIRESTONE)

APN: 009-633-003

WHEREAS, an amendment to Planned Development 97001 has been filed by Adam Firestone, to amend an existing development plan to add a warehouse/storage building of approximately 6,000 square feet, located at 1400 Ramada Drive, and

WHEREAS, Planned Development 97001 was approved by the Planning Commission on March 10, 1997, which allowed the construction of a 15,630 square foot beer brewing facility with ancillary offices, tasting room and retail sales area, and

WHEREAS, the brewing facility has determined that additional storage space is needed for barrels and glass, and

WHEREAS, a Negative Declaration was adopted with the original approval of PD 97001. The proposed amendment would not change the findings of the Negative Declaration and this proposed project would continue to be subject to all mitigation measures of the original determination, and

WHEREAS, Condition 13 of Resolution 97-013 approving Planned Development 97001 required installation of pretreatment wastewater facilities onsite. These facilities have only partially been installed. The construction of the proposed warehouse would not displace the area required to accommodate six (6) holding tanks with a combined capacity of approximately 180,000-gallons for pretreatment of organic waste, and

WHEREAS, the Development Review Committee reviewed this project at its meeting of October 21, 2002 and recommended approval of the project to the Planning Commission, and

WHEREAS, a public hearing was conducted by the Planning Commission on November 12, 2002, to consider facts as presented in the staff report prepared for this project, and to accept public testimony regarding this proposed development plan amendment, and

WHEREAS, based upon the facts and analysis presented in the staff reports, public testimony received and subject to the conditions of approval listed below, the Planning Commission makes the following findings:

The proposed Planned Development is consistent with the purpose, intent and regulations set forth in Chapter 21.16A (Planned Development Overlay District Regulations) as follows:

- a. The granting of this permit will not adversely affect the policies, spirit and intent on the general plan, applicable specific plans, the zoning code, policies and plans of the City;
- b. The proposed project is designed to be sensitive to, and blend in with, the character of the site and surrounding area;
- c. The proposed project's design and the density of the developed portion of the site is compatible with surrounding development and does not create a disharmonious or disruptive element to the surrounding area;
- d. The development would be consistent with the purpose and intent of this chapter and would not be contrary to the public health, safety and welfare;

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles, does hereby approve an amendment to Planned Development 97001 subject to the following conditions:

STANDARD CONDITIONS:

- 1. The project shall conform to the site specific and standard conditions of approval, incorporated within and attached as Exhibit A to Resolution 97-013 for Planned Development 97001.
- 2. The project shall be constructed so as to substantially conform to the following listed exhibits and conditions established by this resolution:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Site Plan
B	New Parking Spaces
C	Future Wastewater Treatment Schematic Plan
D	Memo from Adam Firestone re: traffic
E*	Elevations
F*	Colors and Materials Board

*Indicates that exhibit is on file in the Community Development Department.

- 3. Any site specific condition imposed by the Planning Commission in approving this project may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the approval of this project. No such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring

properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use for this approval.

4. Prior to issuance of building permits for the warehouse, the Applicant shall demonstrate to the satisfaction of the Public Works Department that the area reserved for pretreatment facilities and the proposed 180,000 gallon holding area will be sufficient to accommodate the needs of the Brewery facility.
5. All parking lot landscape planters shall have a minimum outside dimension of six feet and shall be separated from parking and driving areas by a six-inch high solid concrete curb.
6. A final landscape plan shall be submitted for review and approval by the Development Review Committee. At a minimum, the landscape plan shall provide for landscaping in the parking area, landscaping along Vendels Circle and additional landscaping around the existing pretreatment facilities currently onsite to provide screening from neighboring properties.
7. Exterior light fixtures including parking lot pole lights and building mounted lights shall be designed to be fully shielded and shall be subject to planning staff review prior to issuance of construction permits.
8. In the event that pretreatment facilities needs to be built on site, plans shall be submitted for review and approval by the Public Works Department and the Development Review Committee prior to issuance of building permits for the pretreatment facilities.

PASSED AND ADOPTED THIS 12th day of November 2002, by the following Roll Call Vote:

AYES: WARNKE, McCARTHY, STEINBECK, JOHNSON, CALLOWAY, KEMPER

NOES:

ABSENT: FERRAVANTI

ABSTAIN:



CHAIRMAN ED STEINBECK

ATTEST:



ROBERT A. LATA, PLANNING COMMISSION SECRETARY



**VLADIMIR
MILOSEVIC
ARCHITECT**

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Palo Alto, CA 94304
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**NEW
WAREHOUSE**

FOR

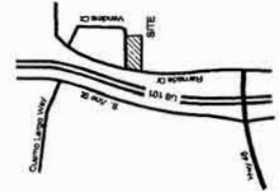
**FIRESTONE
WALKER
BREWING
COMPANY**

1400 RAMADA DR.
PASO ROBLES, CA
TEL: 805-238-2680

PLANS ISSUED FOR CONSTRUCTION		DATE	DATE
NO.	DESCRIPTION	ISSUED	FOR CONSTRUCTION
1	DATE	10/31/01	X
2	DATE	10/31/01	X
3	DATE	10/31/01	X
4	DATE	10/31/01	X
5	DATE	10/31/01	X
6	DATE	10/31/01	X
7	DATE	10/31/01	X
8	DATE	10/31/01	X
9	DATE	10/31/01	X
10	DATE	10/31/01	X
11	DATE	10/31/01	X
12	DATE	10/31/01	X
13	DATE	10/31/01	X
14	DATE	10/31/01	X
15	DATE	10/31/01	X
16	DATE	10/31/01	X
17	DATE	10/31/01	X
18	DATE	10/31/01	X
19	DATE	10/31/01	X
20	DATE	10/31/01	X

LATEST
ISSUE VOUCHER
DRAWINGS

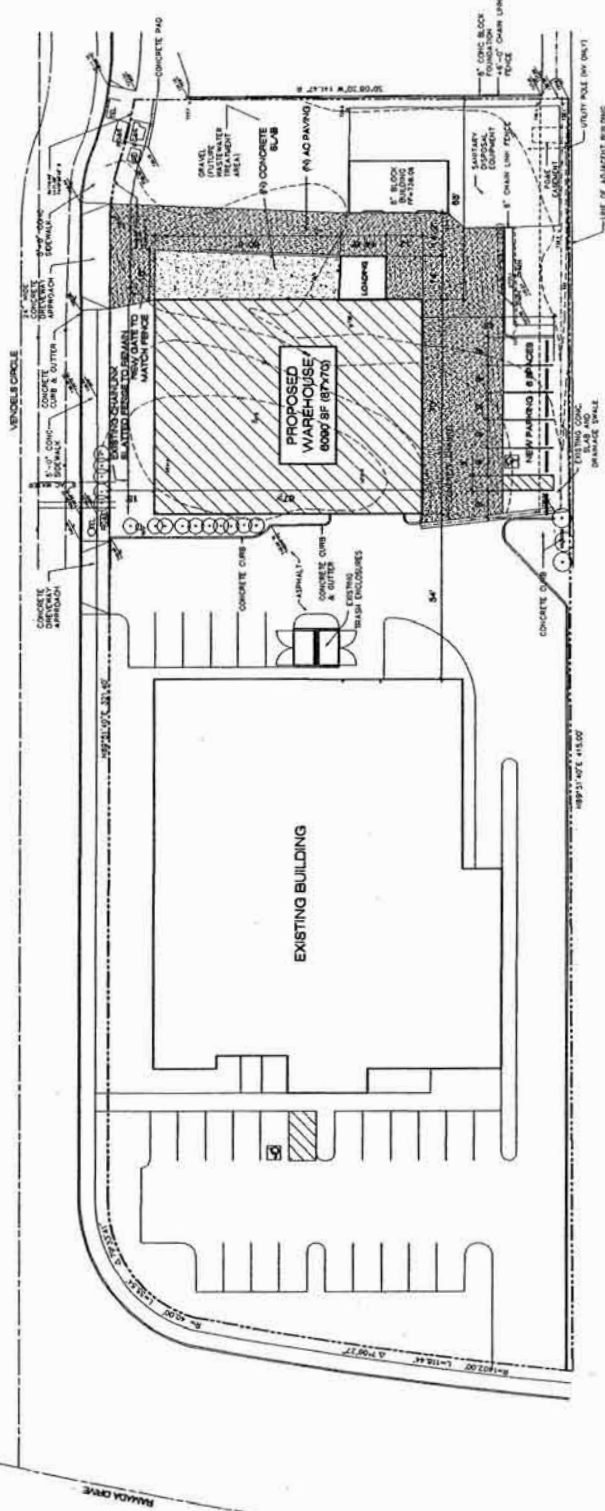
SCALE	NOTED
FILE NO.	0128 818
SHEET	
PD-1	
OF	10



VICINITY

PROJECT
NEW WAREHOUSE
FOR
PRESTONE WALKER BREWING COMPANY
P.O. BOX 244
LOS OLIVOS, CA 95041

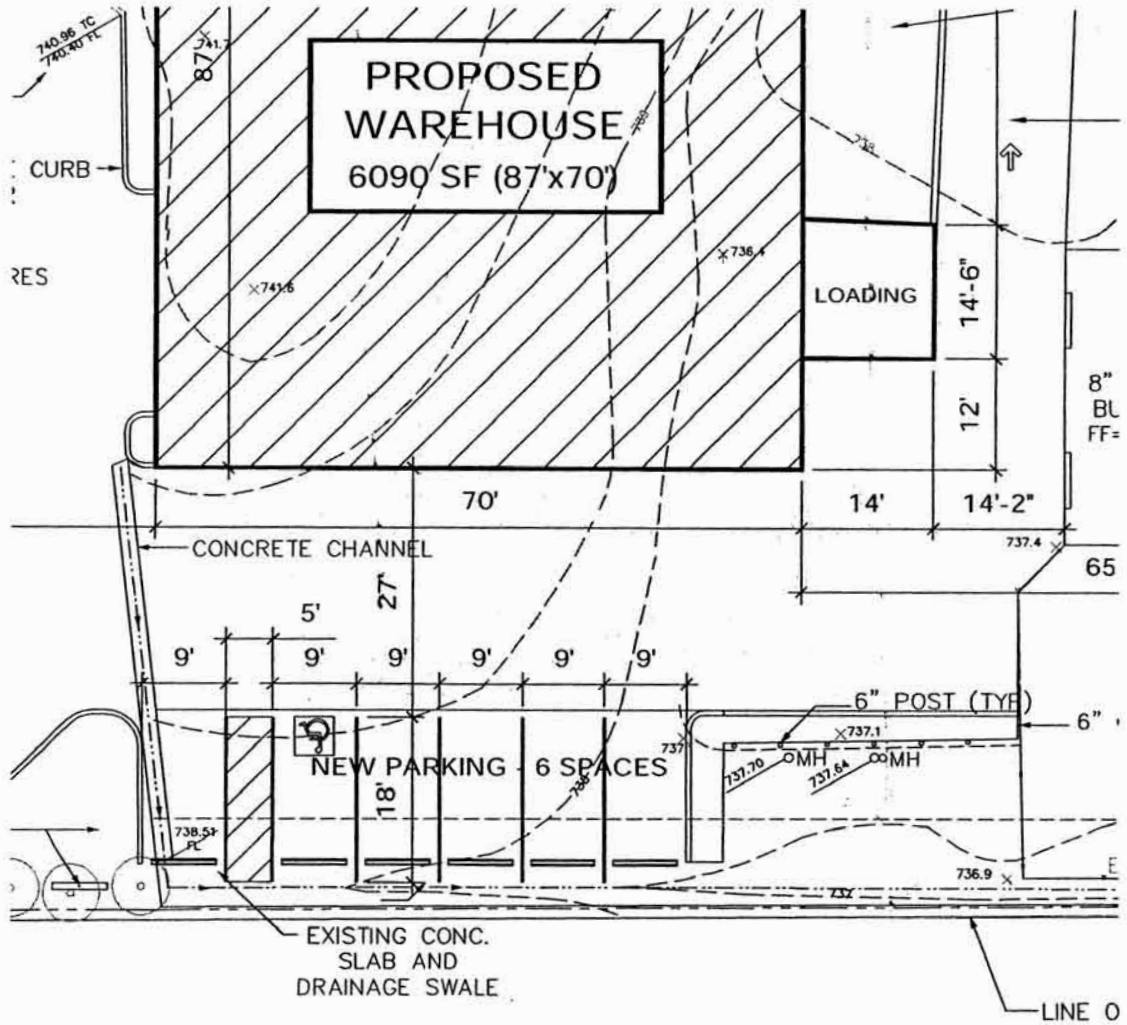
**EXHIBIT A
SITE PLAN
FIRESTONE BREWERY
PD 97001 AMENDMENT**



SCALE 1" = 20'

SITE PLAN

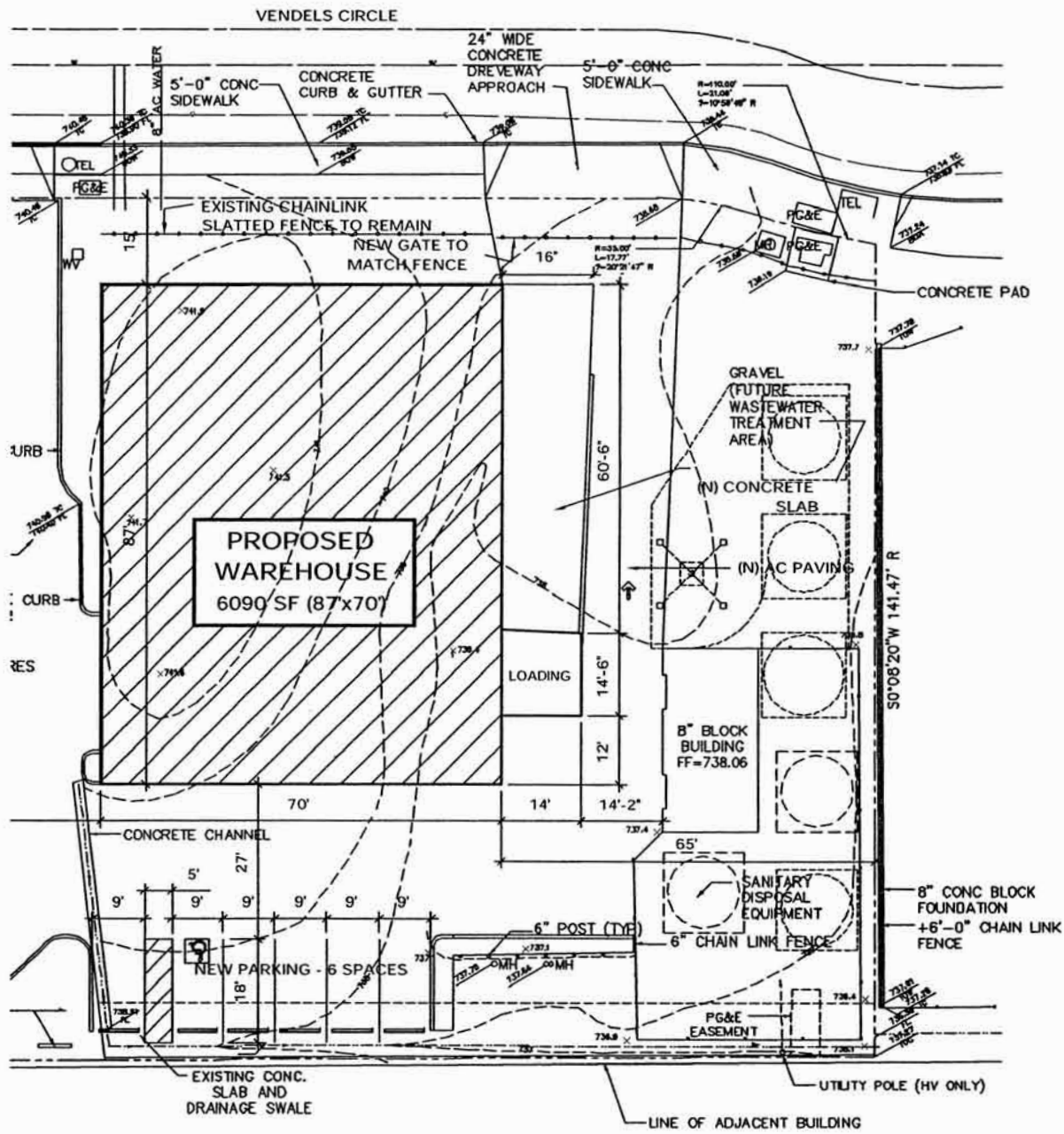
RECEIVED
JUL 23 2002
Community Development



REVISED PARKING EXHIBIT

DATED: AUGUST 12, 2002

EXHIBIT B
 NEW PARKING SPACES
 FIRESTONE BREWERY
 PD 97001 AMENDMENT



FUTURE WASTEWATER TREATMENT SCHEMATIC PLAN

EXHIBIT C
 FUTURE WASTEWATER TREATMENT PLAN
 FIRESTONE BREWERY
 PD 97001 AMENDMENT



FIRESTONE WALKER BREWING COMPANY

From: Adam Firestone
To: City of Paso Robles
Attn: Kerry Margason
Date: October 17, 2002
Subject: Traffic Related to Storage Building

Kerry,

Please let this memo confirm our discussions regarding traffic generated by the brewery on Ramada Drive.

When the brewery was first proposed, it was assumed that a storage building would be constructed on the rear lot. This was to accommodate storage of glass and other materials needed in the operation. Financial troubles prevented the prior ownership from completing the storage building and they commenced operations without it. As a result, the plant lacked proper storage requiring partial deliveries of glass and other supplies as full truck loads cannot be accomplished. Splitting delivery loads effectively doubled the incoming truck traffic to the plant.

The storage building will not change the scale of the operation nor add additional employees. It will simply house materials that are already on site and stored outside or inefficiently. It will allow the ownership to receive full truck loads of supplies. Therefore, the deliveries will be larger and less frequent. This will save the operation considerable expense and save Ramada Drive from unnecessary trucking.

