

RESOLUTION NO.: 02-074
A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
TO APPROVE CONDITIONAL USE PERMIT 02-023
(Food 4 Less)

APN: 009-571-020

WHEREAS, Conditional Use Permit 02-023 has been filed by East Village Associates to construct an approximate 2,700 square foot fast food restaurant with drive through, within the East Village Shopping Center, and

WHEREAS, the Shopping Center is currently under construction at the northeast corner of Creston Road and Sherwood Road, and

WHEREAS, the subject property has a Land Use designation of Community Commercial (CC) and a Zoning designation of General Commercial with a Planned Development Overlay (C1-PD), and

WHEREAS, Table 21.16.200 requires the approval of a Conditional Use Permit to establish a restaurant with a drive through within the C1,PD zone, and

WHEREAS, the Planning Commission on August 13, 2002, via Resolutions 02-043, 02-044 & 02-045, approved Planned Development 02-003 & Conditional Use Permit 02-009 allowing the construction of a 52,400 square foot Food 4 Less grocery store, an approximate 18,400 square foot Drug Store and approximately 20,000 square feet of other retail uses including fuel sales with the possibility of a accessory car wash, and

WHEREAS, the subject restaurant would be considered part of the 20,000 square foot of retail uses, and

WHEREAS, a public hearing was conducted by the Planning Commission on November 12, 2002, to consider facts as presented in the staff report prepared for this project, and to accept public testimony regarding this project proposal, and

WHEREAS, based upon the facts and analysis presented, and public testimony received, the Planning Commission finds that, subject to the conditions of approval listed below, that the establishment, maintenance and operation for the requested use applied for, will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort,

convenience and general welfare of the persons residing or working in the neighborhood of such proposed use, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City, and

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles does hereby approve Conditional Use Permit 02-023 subject to the following conditions:

STANDARD CONDITIONS:

1. The project shall be constructed so as to substantially conform to the following listed exhibits and conditions established by this resolution:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
B	Preliminary Site Plan (Shopping Center)
C	Preliminary Site Plan (Building 'F')
D1-D4	Preliminary Exterior Elevations
E	Preliminary Grading Plans
F	Preliminary Landscaping Plans
G	Preliminary Site Utility Plan
H	Color and Materials Board (On file)

*Large copies of plans are on file in the Community Development Department

2. This Conditional Use Permit (CUP 02-023) would allow the construction of an approximate 2,700 square foot fast food restaurant with drive through.
3. Mechanical rooftop equipment, condensers, refrigeration equipment, and air conditioners should be designed to incorporate low profile units with noise ratings of 8.5 Bels or less (alternatively expressed as 65 dBA at ten feet) Exhaust fans shall not exceed the rating of ten sones. Alternately, submit roof top plans and equipment for supplemental review.
4. Any rooftop equipment shall be screened by the parapet or placed on the ground (with adequate screening).
5. This project approval shall expire on November 12, 2004 unless a time extension request is filed with the Community Development Department prior to expiration.
6. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Planned Development process shall not waive

compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.

7. Prior to occupancy, all conditions of approval shall be completed to the satisfaction of the City Engineer and Community Developer Director or his designee.
8. Any site specific condition imposed by the Planning Commission in approving this project may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the approval of this project. No such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use for this approval.
9. This project is subject to the California Environmental Quality Act (CEQA) which requires the applicant submit a \$25.00 filing fee for the Notice of Determination payable to "County of San Luis Obispo". The fee should be submitted to the Community Development Department within 24 hours of project approval which is then forwarded to the San Luis Obispo County Clerk. Please note that the project may be subject to court challenge unless the required fee is paid.
10. The site shall be kept in a neat manner at all times and the landscaping shall be continuously maintained in a healthy and thriving condition.
11. All signs shall be subject to review and approval as required by Municipal Code Section 21.19 and shall require a separate application and approval prior to installation of any sign.
12. All trash enclosures shall be constructed of decorative masonry block compatible with the main buildings. Gates shall be view obscuring and constructed of durable materials such as painted metal or chain link with plastic slatting.
13. All existing and/or new ground-mounted appurtenances such as air-conditioning condensers, electrical transformers, backflow devices etc., shall be screened from public view through the use of decorative walls and/or landscaping subject to approval by the Community Development Director or his designee. Details shall be included in the building plans.
14. All existing and/or new roof appurtenances such as air-conditioning units, grease hoods, etc. shall be screened from public view. The screening shall be architecturally integrated with

the building design and constructed of compatible materials to the satisfaction of the Community Development Director or his designee. Details shall be included in the building plans.

15. All existing and/or new lighting shall be shielded so as to be directed downward in such a manner as to not create off-site glare or adversely impact adjacent properties. The style, location and height of the lighting fixtures shall be submitted with the building plans and subject to approval by the Community Development Director or his designee.
16. All existing and/or new landscaping shall be installed with automatic irrigation systems.
17. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
18. All parking lot landscape planters shall have a minimum outside dimension of six feet and shall be separated from parking and driving areas by a six inch high solid concrete curb.
19. It is the property owner's responsibility to insure that all construction of private property improvements occur on private property. It is the owner's responsibility to identify the property lines and insure compliance by the owner's agents.
20. Two sets of the revised Planning Commission approved plans incorporating all Conditions of Approval, standard and site specific, shall be submitted to the Community Development Department prior to the issuance of building permits.
21. Prior to the issuance of building permits, the Development Review Committee shall approve the final landscaping plan.
22. Pursuant to submittal requirements and Standard Condition B-1 of Attachment A, prior to occupancy the applicant shall provide on a 3.5 inch disk or IBM-compatible CD a copy of all signed and stamped approved plans, exhibits, resolutions, and all submittal materials and other documentation pertaining to approval of this application for electronic archiving. The applicant may elect to have the City send out the documents for scanning at the applicant's expense.
23. There shall be a 25 foot landscaped setback required from both the Sherwood Road property line and the Creston Road property line. The drive through lane or parking may not

encroach into this area. Prior to the issuance of a Building Permit, a revised site plan showing compliance with the setback shall be submitted for Staff review.

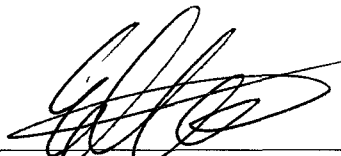
PASSED AND ADOPTED THIS 12th day of November, 2002 by the following roll call vote:

AYES: Warnke, McCarthy, Steinbeck, Johnson, Calloway, Kemper

NOES: None

ABSENT: Ferravanti

ABSTAIN: None



CHAIRMAN ED STEINBECK

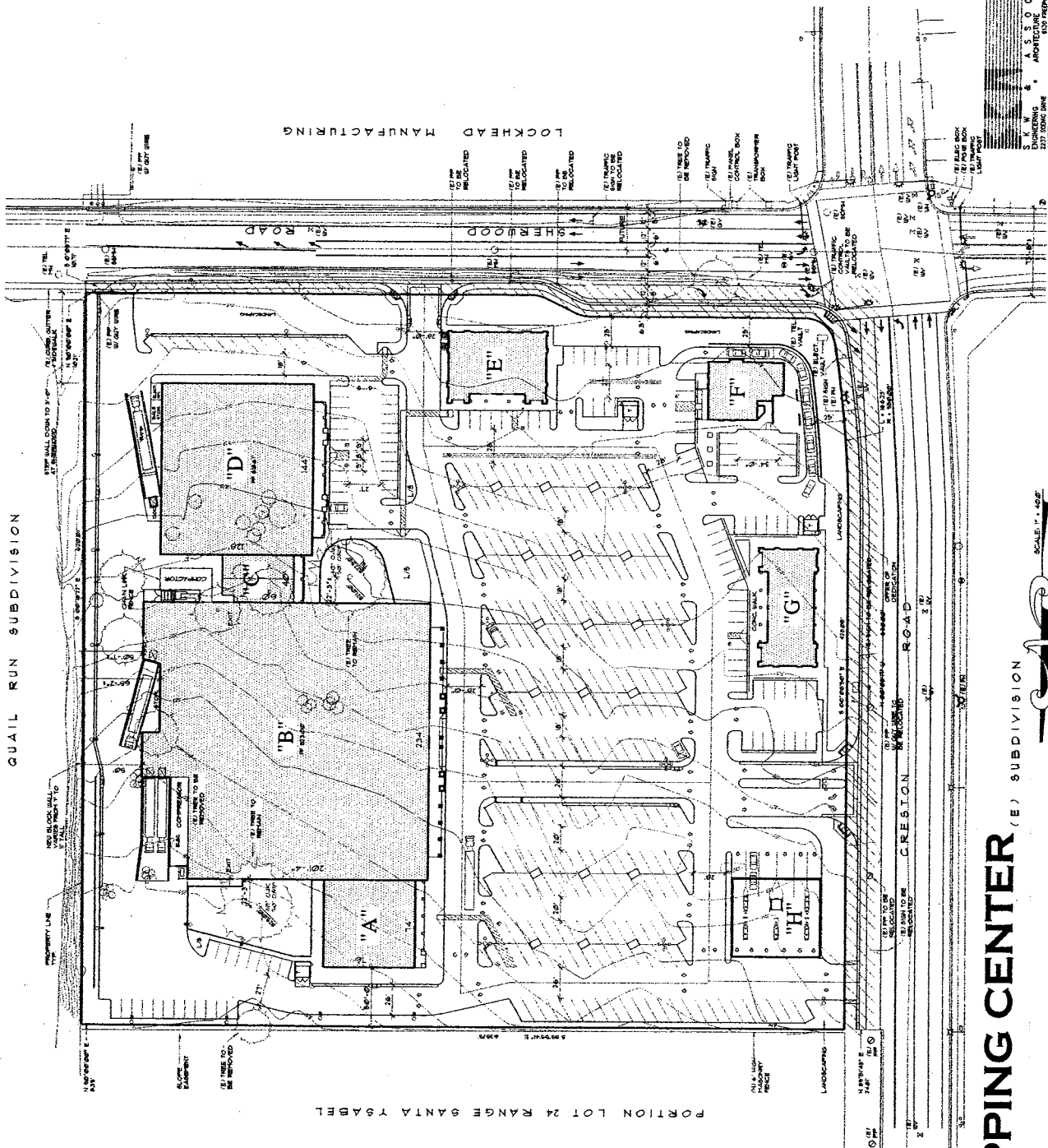
ATTEST:



ROBERT A. LATA, PLANNING COMMISSION SECRETARY

darren/cup/EastVillageFastFood/CUP Res

QUAIL RUN SUBDIVISION

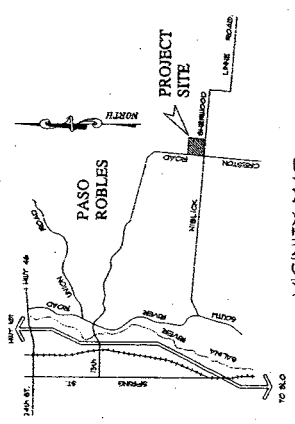


APPROVED FOR THE CITY OF PASO ROBLES
 ENGINEERING
 227 2000 W. 10TH ST.
 PASO ROBLES, CA 93257
 TEL: (805) 331-3333
 FAX: (805) 331-3333



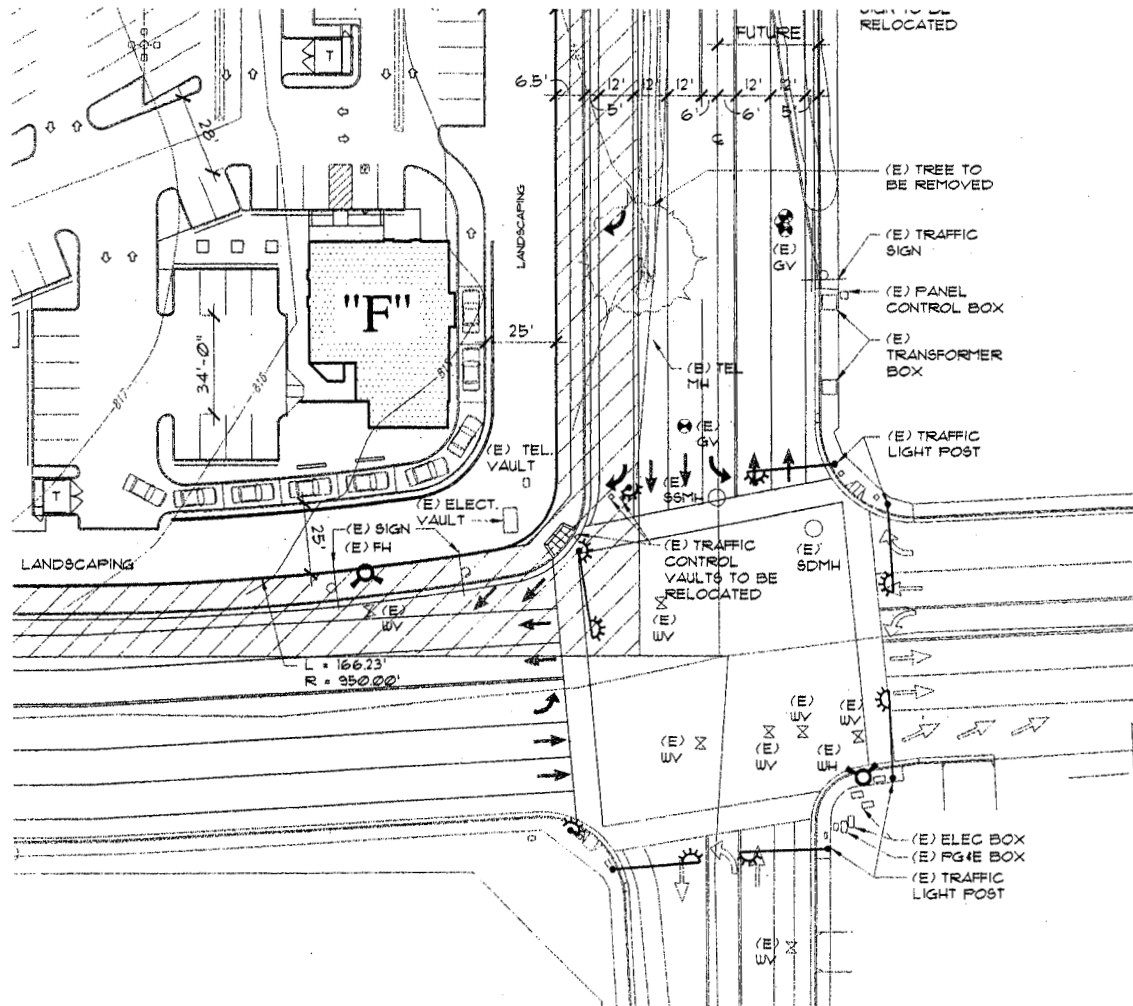
PRELIMINARY SITE PLAN FOR:
BUILDING "F"
EAST VILLAGE SHOPPING CENTER
 CRESTON & SHERWOOD ROAD
 PASO ROBLES, CALIFORNIA

EXHIBIT B
 SHOPPING CENTER SITE PLAN
 CUP 02-023



VICINITY MAP

PROJECT DATA	
SITE AREA	396,640 SQ. FT. (9.1 ACRES)
ZONING	CP-PD NEIGHBORHOOD COMMERCIAL
BUILDING AREA	91,207 SQ. FT. 23%
PAVED AREA	237,837 SQ. FT. 60%
LANDSCAPED AREA	68,894 SQ. FT. 17%
HAUL/PARKING AREA	201 SPACES 51%
LANDSCAPING	7,844 SF 2%
PARKING	201 SPACES
201' x 6' x 1456' x 1344' . . . OK	
BUILDING SUMMARY	
PAD "A"	5,674 SF LEASE SPACE
PAD "B"	53,160 SF FOOD-4-LEAS
PAD "C"	7,469 SF LEASE SPACE
PAD "D"	19,433 SF DRUG STORE
PAD "E"	4,844 SF LEASE SPACE
PAD "F"	2,631 SF LEASE SPACE
PAD "G"	4,176 SF LEASE SPACE
PAD "H"	CANOPY ONLY FUEL STATION
TOTAL	91,207 SF
PARKING SUMMARY	
PARKING REQUIRED	
1	SPACE PER 150 SF OF GROSS FLOOR AREA
PARKING REQUIRED = 345	
TOTAL PROVIDED:	
STANDARD	143 SPACES
COMPACT II	SPACES
MANICAP II	SPACES
TOTAL	364 SPACES

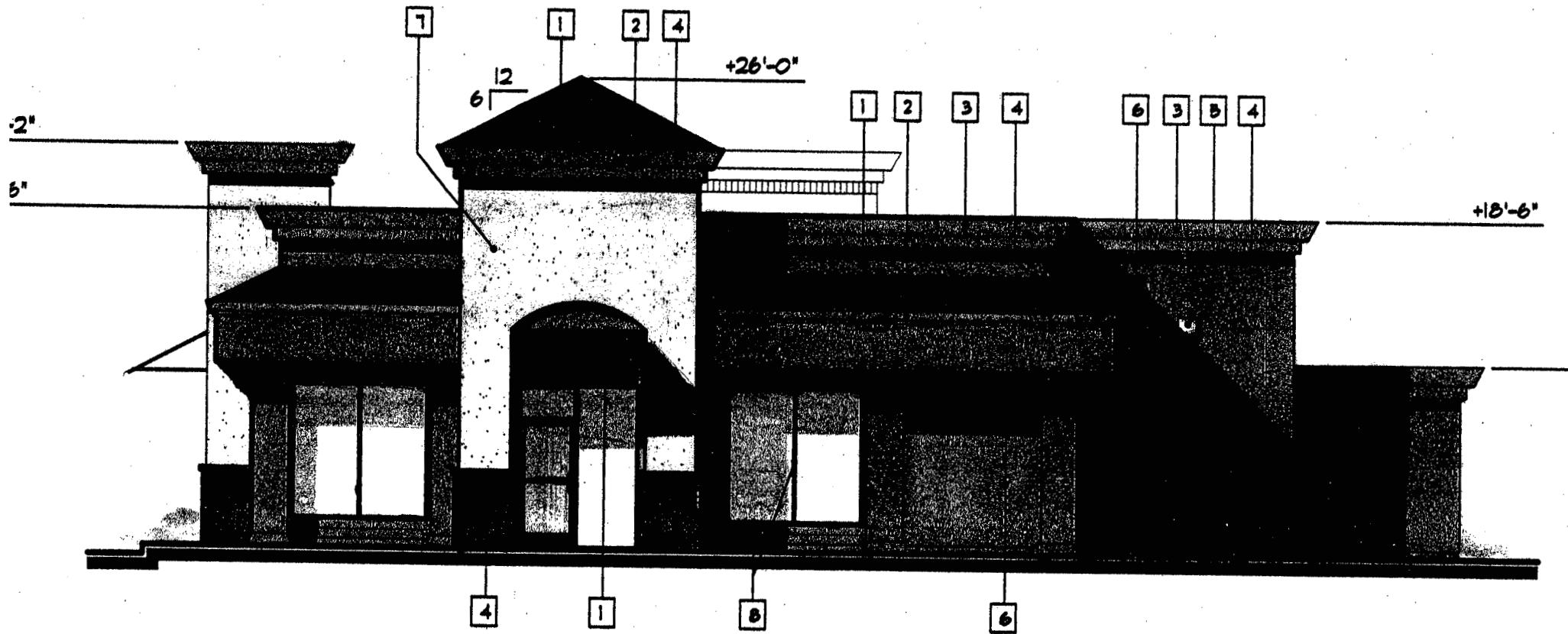


PRELIMINARY ENLARGED SITE PLAN FOR:
BUILDING "F"
EAST VILLAGE SHOPPING CENTER
 CRESTON & SHERWOOD ROAD
 PASO ROBLES, CALIFORNIA

EXHIBIT C
 SITE PLAN (Building F)
 CUP 02-023



SKW & ASSOCIATES
 ENGINEERING ARCHITECTURE SURVEYING
 2227 SERRANO DRIVE 4130 FREEMONT BLVD. SUITE 101 A
 MIDWEST CITY, OKLAHOMA 73102 SACRAMENTO, CALIFORNIA 95822
 TEL: (405) 833-8333 TEL: (916) 429-2900
 FAX: (405) 529-7804 FAX: (916) 429-2550

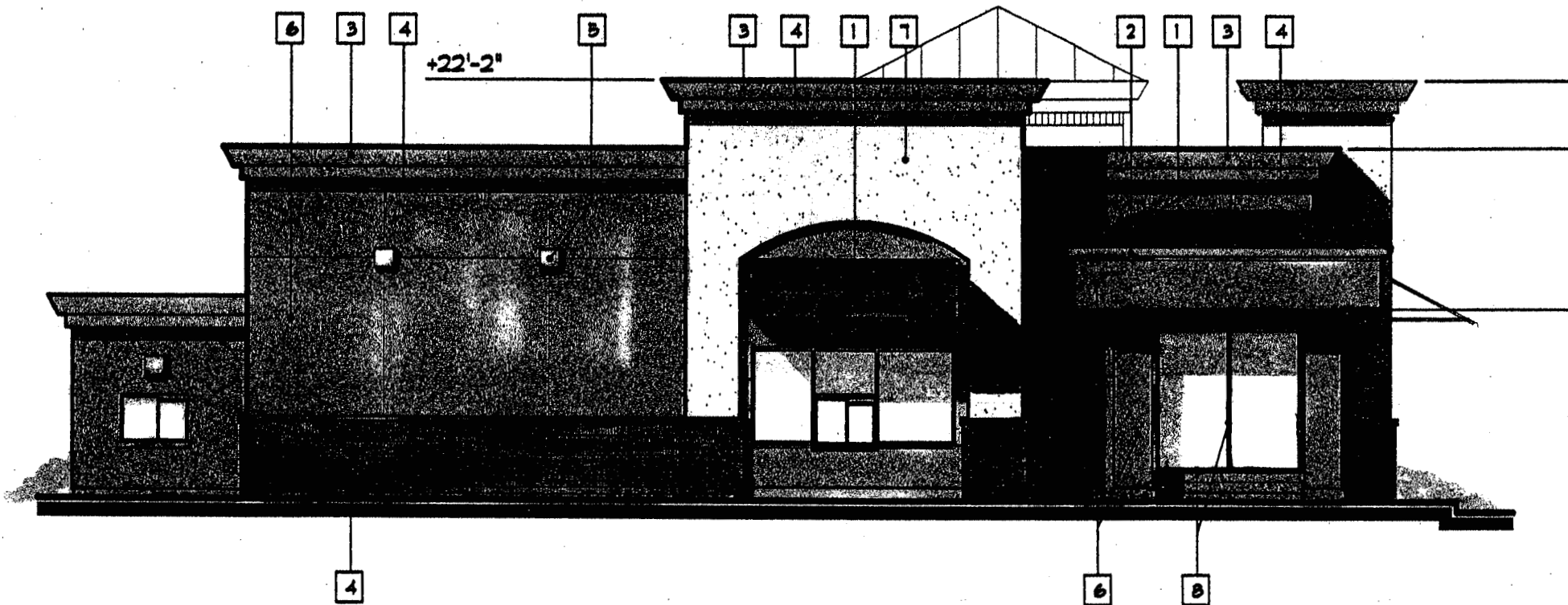


NORTH ELEVATION

MATERIALS AND COLOR SCHEDULE

1	METAL ROOFING / AWNING	TO MATCH CENTER
2	METAL GUTTER	'DUNN EDWARDS' MISSION BROWN 251
3	SHAPED CORNICE	'DUNN EDWARDS' MISSION BROWN 251
4	BRICK	'HC MIDDOX' OLD TOWN RED 040
5	LIGHT FIXTURE	UP/DOWN LIGHT WHITE LENS
6	CEMENT PLASTER	'DUNN EDWARDS' MESA TAN SP 7
7	CEMENT PLASTER	'DUNN EDWARDS' PC 2240
8	STOREFRONT FRAME	DARK BRONZE ANODIZED

EXHIBIT D-1
 EXTERIOR ELEVATIONS - NORTH
 CUP 02-023
 (East Village Associates)



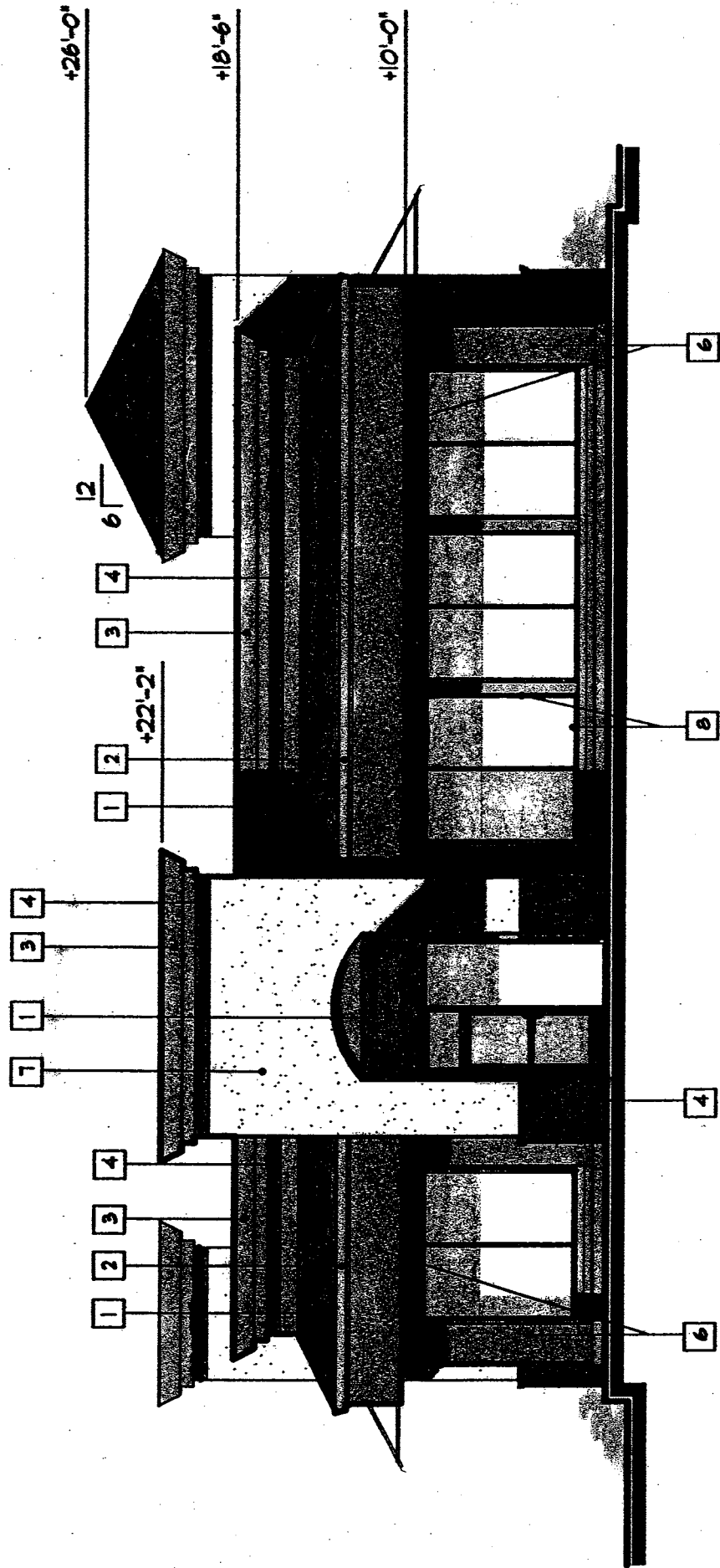
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

MATERIALS AND COLOR SCHEDULE

1	METAL ROOFING / AWNING	TO MATCH CENTER
2	METAL BUTTER	'DUNN EDWARDS' MISSION BROWN 251
3	SHAPED CORNICE	'DUNN EDWARDS' MISSION BROWN 251
4	BRICK	'KC MIDDOK' OLD TOWN RED 040
5	LIGHT FIXTURE	UP/DOWN LIGHT WHITE LENS
6	CEMENT PLASTER	'DUNN EDWARDS' MESA TAN SP 7
7	CEMENT PLASTER	'DUNN EDWARDS' PG 2240
8	STOREFRONT FRAME	DARK BRONZE ANODIZED

EXHIBIT D-2
 EXTERIOR ELEVATIONS - SOUTH
 CUP 02-023
 (East Village Associates)

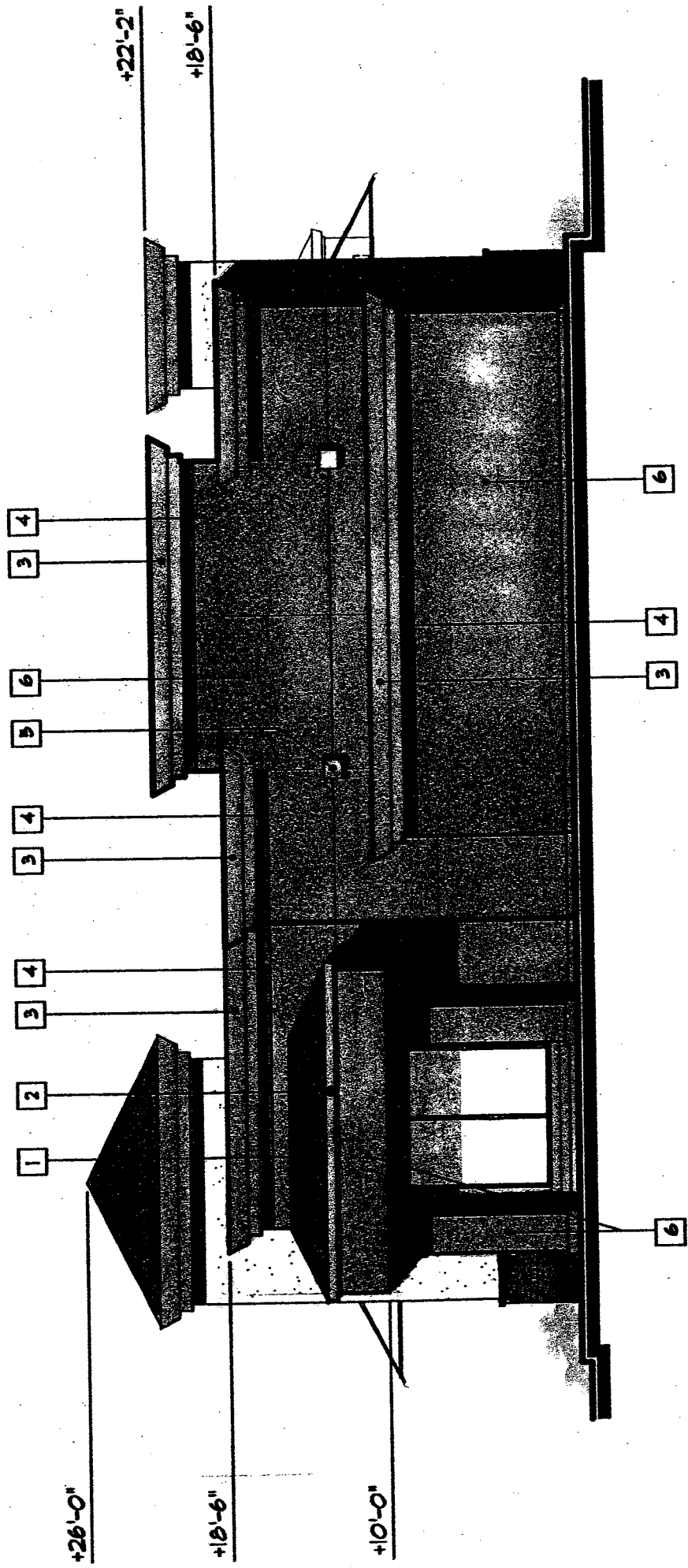


EAST ELEVATION

SCALE: 1/8" = 1'-0"

MATERIALS AND COLOR SCHEDULE	
1	METAL ROOFING / AWNING TO MATCH CENTER
2	METAL GUTTER
3	SHAPED CORNICE
4	BRICK
5	LIGHT FIXTURE
6	CEMENT PLASTER
7	CEMENT PLASTER
8	STONEFRONT PLATE

EXHIBIT D-3
EXTERIOR ELEVATIONS - EAST
 CUP 02-023
 (East Village Associates)



WEST ELEVATION

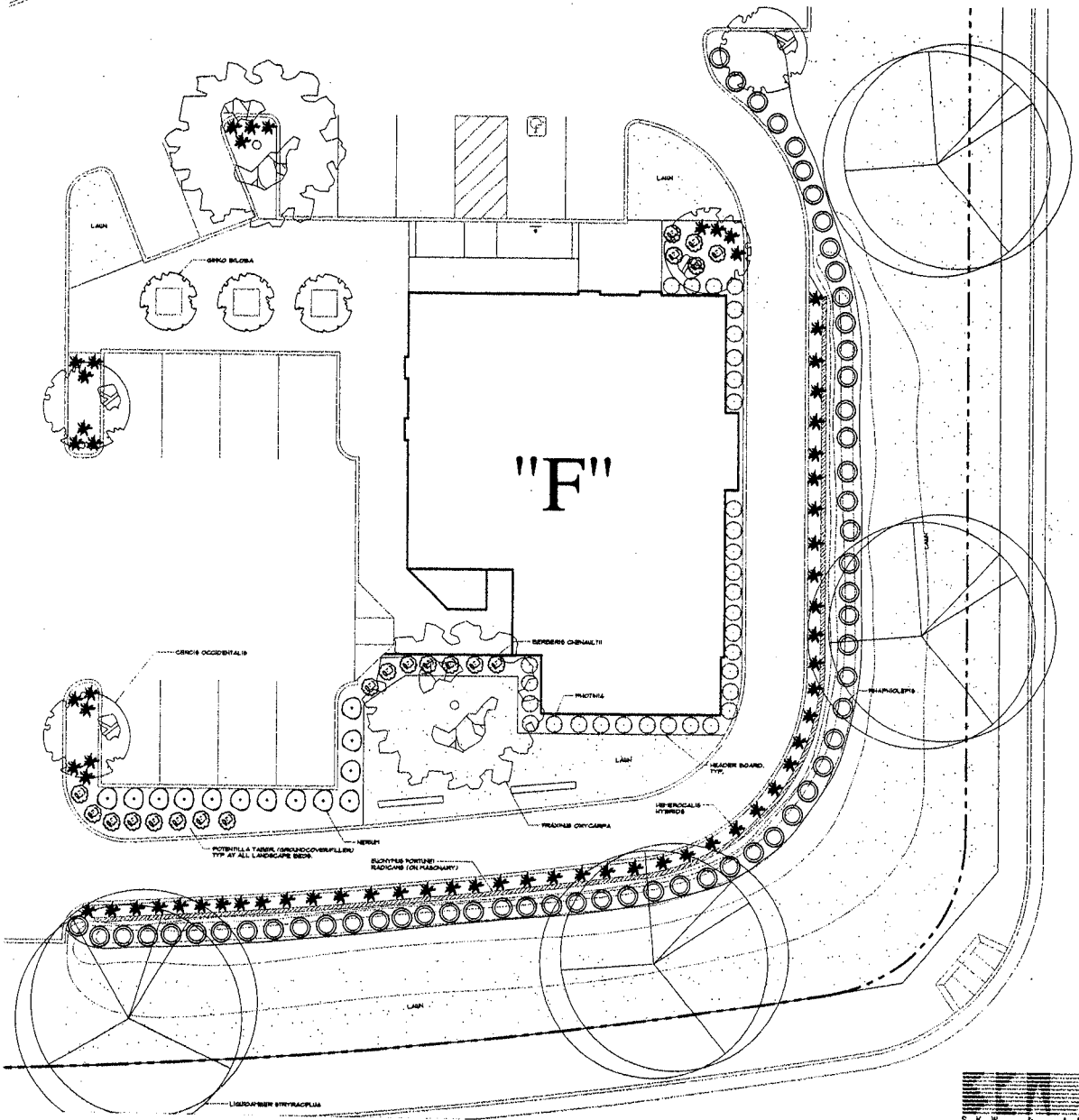
SCALE: 1/8" = 1'-0"

EXHIBIT D-4
 EXTERIOR ELEVATIONS - WEST
 CUP 02-023
 (East Village Associates)

MATERIALS AND COLOR SCHEDULE	
1	METAL ROOFING / ANNING TO MATCH CENTER
2	METAL BUTTER 'DANN EDWARDS' MISSION BROWN 251
3	SHARED CORNICE 'DANN EDWARDS' MISSION BROWN 251
4	BRICK 'MC HADDON' OLD TOWN RED 840
5	LIGHT FIXTURE UP/DOWN LIGHT WHITE LENS
6	CEMENT PLASTER 'DANN EDWARDS' MESA TAN SF 7
7	CEMENT PLASTER 'DANN EDWARDS' FC 2240
8	STONEFRONT FRAME DARK BRONZE ANODIZED

PLANT LEGEND:

TREES:	SIZE:
LIQUIDAMBER STYRACIFLUA (AMERICAN SWEET GUM)	15 GALLON
GINKGO BILOBA (MAIDENHAIR TREE)	15 GALLON
FRAXINUS OXYCARPA (FRAXINUS OXYCARPA)	15 GALLON
CERCIS OCCIDENTALIS (WESTERN REDBUD)	15 GALLON
SHRUBS:	SIZE/SPACING:
PHOTINIA (INDIAN PRINCESS)	5 GALLON/6' OC.
NERIUM (PETITE OLEANDER)	5 GALLON/6' OC.
RHAPIOLEPIS (INDIAN HAWTHORNE)	5 GALLON/5' OC.
BERBERIS CHENAULTI (BARBERRY)	5 GALLON/5' OC.
HEMEROCALLIS HYBRIDS (EVERGREEN DAYLILLY)	5 GALLON/VARIED
GROUND COVER/VINES:	SIZE/SPACING:
ROSMARINUS PROSTRATUS (DWARF ROSEMARY)	1 GALLON/5' OC.
POTENTILLA TABERNAEMONTANI (SPRING CINQUEFOIL)	FLATS/18" OC.
EUONYMUS FORTUNEI RADICANS (COMMON WINTER CREEPER)	FLATS/6' OC.



PRELIMINARY LANDSCAPE PLANTING PLAN FOR:
BUILDING "F"
EAST VILLAGE SHOPPING
CENTER
 CRESTON & SHERWOOD ROAD
 PASO ROBLES, CALIFORNIA

EXHIBIT F
LANDSCAPING PLAN
CUP 02-023
 (Fast Village Associates)



SKW & ASSOCIATE
 ENGINEERING ARCHITECTURE SURVEYS
 2237 SOMER DRIVE 4150 FREEDOM BLVD. SUITE 101
 SACRAMENTO, CA 95833 SACRAMENTO, CA 95832
 TEL: (916) 522-8355 TEL: (916) 429-2800
 FAX: (916) 522-7804 FAX: (916) 429-2553

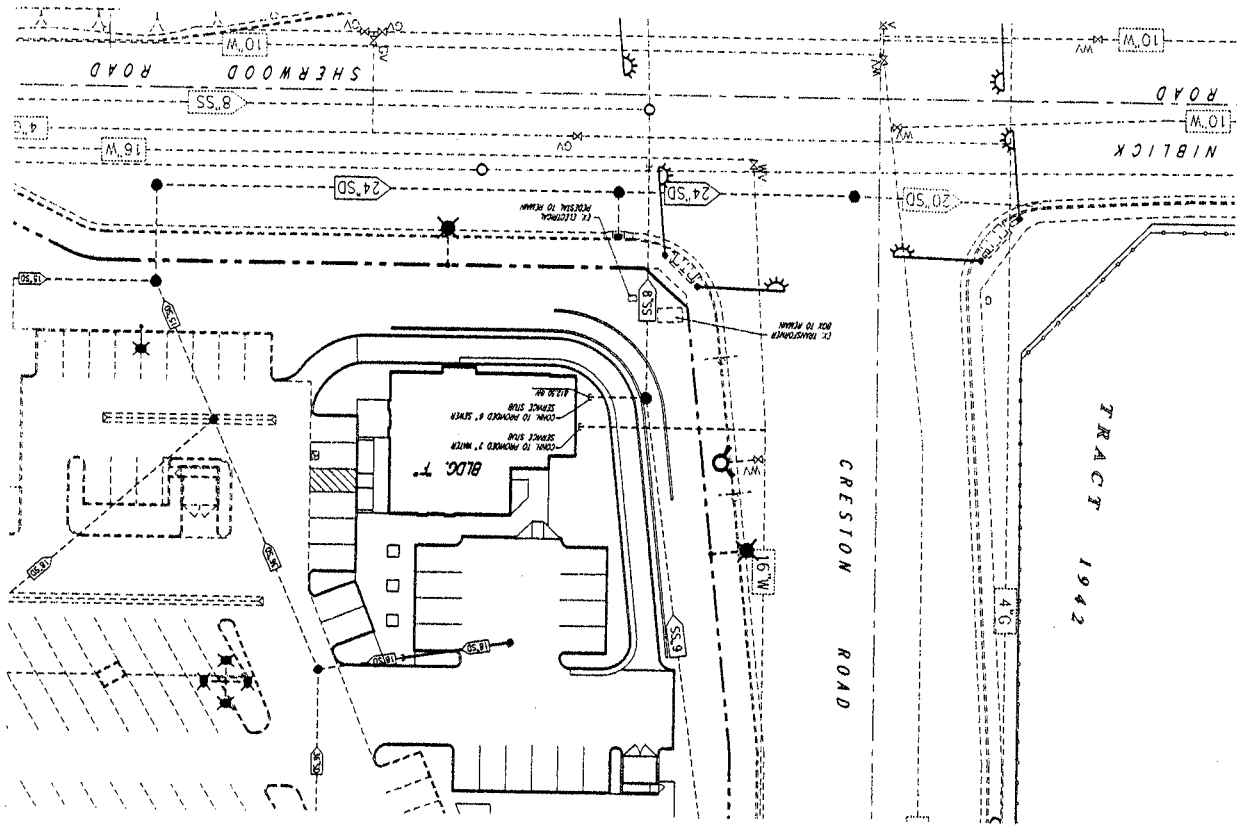
EXHIBIT G
SITE UTILITY PLAN
 CUP 02-023
 (East Village Association)



NO.	DESCRIPTION	DATE	BY	BY

NOTES: 1. REFER TO EAST VILLAGE SHARED OPENING PLANS FOR ADDITIONAL UTILITY INFORMATION.

S. K. W. & ASSOCIATES ARCHITECTURE & PLANNING 2222 MARKET ST., SUITE 200 SAN FRANCISCO, CA 94114 TEL: (415) 774-8888 FAX: (415) 774-8889		RECORD DATE: _____ CHECKED BY: _____ DESIGNED BY: _____
DEPARTMENT OF PUBLIC WORKS CITY OF PASO ROBLES, CALIFORNIA		SCALE: AS SHOWN ACCEPTED BY: _____ DATE: _____
PRELIMINARY SITE UTILITIES PLAN		



SCALE: 1" = 20'

