



## City of Paso Robles Planning Commission Agenda Report

From: Darren Nash, Associate Planner

Subject: **Oak Park Housing – Phase 4, Planned Development (PD 10-001)**  
Request to amend Phase 4 of PD 10-001, Oak Park Public Housing, to introduce a new housing type and modify site plan to accommodate new housing type. There is also a request to remove four additional oak trees from Phase 4. (APN 008-072-007).  
Applicant –Paso Robles Housing Authority, David Cooke

Date: January 23, 2018

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### Facts

1. This project is located at 3350 Park Street, the southeast corner of 34<sup>th</sup> and Park Streets. See Attachment 1, Vicinity Map.
2. On June 1, 2010, the City Council approved PD 10-001 (Res. 10-071), allowing for the demolition of 148 residential units and replacing them with 302 affordable housing units along with community center and offices, in four phases.
3. Phases 1 and 2 have been completed and occupied. Construction permits have been issued for Phase 3, and the demolition of Phases 3 and 4 are near completion.
4. The Housing Authority along with Real Estate Development Services (REDS) is working on the design for Phase 4. The design includes introducing a new housing type (Bldg. Type F) which is a 2-story building that would have 12 one-bedroom units. In order to accommodate the Type F building, the Site Plan needs to be modified from the original approved with PD 10-001. This PD Amendment is a request for approval of the new Site Plan. See Site Plan, Attachment 4.
5. In addition to the change in the Site Plan, there is also a request for the removal of four additional oak trees. The original plan approved the removal of three oak trees for Phase 4. The request with this amendment is to allow for four additional trees for a total of seven oak tree removals. See Arborist Letter, Attachment 5.
6. Pursuant to the California Environmental Quality Act (CEQA), an Environmental Impact Report (EIR) along with mitigation measures was approved concurrent with the approval of PD 10-001, to address any potential impacts associated with the project. The proposed amendment to PD 10-001 to allow for the modification of the site plan to accommodate the new housing type, and the proposed oak tree removals would be consistent with the mitigation measures outlined in the EIR for the Oak Park project.

### Options

1. Adopt Draft Resolution A (Attachment 4), recommending approval of the amendment to Planned Development 10-001.
2. Refer the project back to staff for additional analysis on specific issues identified, and continue the public hearing to a date-certain.
3. Make a recommendation to deny the requested amendment to Planned Development 10-001, based on specific findings.

## Agenda Item 2

### **Analysis and Conclusions**

Phase 4 is the final phase of the Oak Park Redevelopment Project. The applicants are taking the necessary steps for approval of this phase, including applying to the State for funding, seeking City Council's approval of fee deferrals (consistent with Phases 1-3), and requesting approval of the proposed changes to the site plan, including additional oak removals.

Adding Building Type-F to Phase 4 provides additional 1-bedroom units, which is a housing type that is in demand for the Oak Park project.

The request for the Planning Commission is to review the proposed changes to the site plan to accommodate the new Building Type F, and recommend that the City Council approve changes.

Adding the Type F Building seems reasonable since it would allow for an additional building type to meet various floor plan demands, while retaining the existing architectural style, colors and materials.

The Arborist has provided a letter that outlines the oak removal requests and the rationale for requesting an additional four trees in Phase 4.

### **Analysis of Options**

#### **1. Option 1**

For the Planning Commission to make a recommendation to the City Council to approved PD 10-001 Amendment. The applicant is proposing changes to the site plan to accommodate a new 12-unit two story apartment building design, along with the request to remove four trees in Phase 4. The project would be consistent with the General Plan, Zoning Ordinance, Uptown/Town Center Specific Plan, and Economic Strategy.

#### **2. Option 2**

The Commission may wish to make suggestions to the site plan or architecture, and continue the public hearing to provide staff and the applicant time to address issues raised.

#### **3. Option 3**

If the Planning Commission may decide not recommend approval of PD 10-001 Amendment to the City Council, based on not being consistent with City policies and/or standards.

### **Fiscal Impact**

The Phase 4 Amendment would result in the number of units being consistent with the originally approved 302 units for the entire project; therefore the proposed amendment would not have a fiscal impact. The Oak Park Redevelopment Project is a positive project for the City, which provides affordable housing for the Community.

### **Recommendation**

Approve Draft Resolution A, recommending that the City Council approve Planned Development Amendment (PD 10-001).

### **Attachments**

1. Vicinity Map
2. Project Description
3. Draft Resolution A, to approve PD 10-001 Amendment
4. Mail affidavit
5. Newspaper affidavit



## *Oak Park 4*

### *Project Description*

Oak Park 4 (Project) is an affordable multifamily housing community consisting of 75 units including a manager's unit and containing one, two three-bedroom units on approximately 3.98 acres. The project is the fourth and final phase of the Oak Park Community Redevelopment project in the City of Paso Robles. Phase 1 was completed 2014 and Phase 2 was completed in February 2016; both are fully leased. Phase 3 is under construction and anticipated to be completed by April of 2019. The project will consist of 21 one-bedroom, 34 two-bedroom and 20 three-bedroom units. Square footages range from approximately 679 sq. ft. to 1,338 sq. ft. The target population primarily consists of residents from the City of Paso Robles and north San Luis Obispo County. One-hundred percent of the units will be rent restricted with incomes ranging from 30% to 60% of the area median income.

The Project will utilize the 4,097 square foot resident center that is being built in Phase 3 and is proposed to include a fully-furnished community/meeting room with television and video capabilities, a kitchen, restroom facilities, and manager office space. The Project site is conveniently located within ¼ mile of a bus stop to provide residents access to public transportation. The site is within half a mile from Rite Aid Pharmacy and a mile of Smart & Final. Also located in close proximity are banks, restaurants and other services the residents can easily access.

All of the units will incorporate *universal design* elements, which include, but are not limited to the following; no-step entries, minimum 34-inch doorways and passageways, accessible bathrooms with reinforcements for grab bars, hallway widths of at least 42-inches, and levered door handles and faucets. In addition, all first floor units will be fully accessible and adaptable for those individuals requiring adjustments in their units for ADA accessibility. Within each unit, residents will directly benefit from standard features such as Energy Star® rated refrigerators and dishwashers, exhaust fans, sink disposals, ranges with ovens as well as generous counter, cabinet and storage space throughout the unit.

Central California Housing Corporation (CCHC) which is a dba of Affordable Housing Development Corporation will be the co-developer with the Paso Robles Housing Authority (PHRA) and Affordable Housing Paso Robles (AHPR), a 501(c)(3) and affiliate of PHRA. CCHC has vast experience in the development of affordable housing communities throughout the state of California. CCHC developed and currently owns and operates 33 projects in 20 cities, which provide between 38 and 313 housing units per project totaling 3,965 residences. PHRA recently completed Oak Park 1 and 2 totaling 150 units serving its mission of providing quality, affordable housing that promotes quality of life through a healthy community.

The primary sources of financing will be in Low Income Housing Tax Credits through the California Tax Credit Allocation Committee (CTCAC). It is the intention of CCHC and PHRA to apply for a nine percent tax credit allocation from CTCAC before February 28, 2018. The Project has requested County HOME funds, local Housing Trust Funds, and Project-Based

## Agenda Item 2

Vouchers from the Housing Authority of San Luis Obispo. If funding applications are successful, the financing could become available in December 2018 with construction commencing immediately thereafter.

The following changes are being requested to the existing Planned Development 10-001 permit for Phase 4:

- A new two-story Building Type F that is 2 stories with 12 one-bedroom units. The building is designed to match previously approved buildings, materials, details and color.
- Per the revised Arborist's report and site plan, removing additional 4 oak trees for a total of 14 removed for the completed project. The original permit approved the removal of 10 oak trees.

Draft Resolution A

RESOLUTION 18-xxx

**A RESOLUTION OF THE PLANNING COMMISSION  
OF THE CITY OF EL PASO DE ROBLES RECOMMENDING THAT  
THE CITY COUNCIL APPROVE PLANNED DEVELOPMENT AMENDMENT (PD 10-001)  
OAK PARK REDEVELOPMENT – PHASE 4  
APPLICANT– PASO ROBLES HOUSING AUTHORITY  
3350 PARK STREET, APN: 008-072-007**

WHEREAS, Oak Park Phase 4 is located at 3350 Park Street, the southeast corner of 34<sup>th</sup> and Park Streets; and

WHEREAS, on June 1, 2010, the City Council approved PD 10-001 (Res. 10-071), allowing for the demolition of 148 residential units and replacing them with 302 affordable housing units along with community center and offices, in four phases; and

WHEREAS, Phases 1 and 2 have been completed and are being lived in and construction permits have been issued for Phase 3, and the demolition of Phases 3 and 4 are near completion; and

WHEREAS, the Housing Authority along with REDS is working on the design for Phase 4, which includes introducing a new housing type (Bldg. Type F) which is a 2-story building that would have 12 one-bedroom units; and

WHEREAS, in order to accommodate the Type-F building, the Site Plan needs to be modified from the original approved with PD 10-001; and

WHEREAS, in addition to the change in the Site Plan, there is also a request for the removal of four additional oak trees for a total of seven oak trees in Phase 4; and

WHEREAS, Pursuant to the California Environmental Quality Act (CEQA), an Environmental Impact Report (EIR) along with mitigation measures was approved concurrent with the approval of PD 10-001, to address any potential impacts associated with the project. The proposed amendment to PD 10-001 to allow for the modification of the site plan to accommodate the new housing type, and the proposed oak tree removals would be consistent with the mitigation measures outlined in the EIR for the Oak Park project; and

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles does hereby make a recommendation to the City Council approval of an amendment to Planned Development 10-001, subject to the following conditions of approval:

Section 1. The above recitals are true and correct and incorporated herein by reference.

Section 2. Findings. In accordance with Zoning Ordinance Section 21.23B.050, Findings for Approval of Development Plans, and based upon the facts and analysis presented in the staff report and the attachments thereto, the public testimony received, and subject to the Conditions of Approval listed below, the Planning Commission makes the following findings:

## Attachment 3

1. The project is consistent with the goals and policies established by the General Plan, since the project would provide for a variety of affordable housing types.
2. The project is consistent with and supports the intent of the T-4 Neighborhood (T4-N) zone in the Uptown/Town Center Specific Plan since it would help provide for a range of housing types in the multi-family zoning district.
3. The project is a “permitted” use in the T-4 Neighborhood (T4-N) Zone in the Uptown/Town Center Specific Plan (UTCSP), and complies with all applicable development standards in the UTCSP and Zoning Ordinance.
4. The proposed development plan will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the person residing or working in the neighborhood, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the city since the property is surrounded by similar land uses, and it would not result in significant noise, traffic, light, glare, or other potential effects.
5. The proposed development plan accommodates the aesthetic quality of the city as a whole since it is designed consistent with the plans for Oak Park Housing that have been established with Phases 1-3.
6. The proposed development plan is compatible with, and is not detrimental to, surrounding land uses and improvements, provides an appropriate visual appearance, and is an infill development project that would not impact environmental resources, and is consistent with the EIR approved for the project, under the California Environmental Quality Act.
7. The proposed development plan is compatible with existing surrounding development and historic buildings, as noted in #4 above.
8. The proposed development plan contributes to the orderly development of the city as a whole by providing a well-designed project that is suitable for the location where it is proposed and surrounding land uses in the vicinity.
9. The removal of the four additional trees in Phase 4 is necessary to accommodate the site planning and takes in consideration the preservation of healthier oak trees.

Section 3. Conditions. The Planning Commission recommends that the City Council approve Planned Development 10-001 Amendment, subject to the following Conditions of Approval.

1. That the conditions of approval and associated mitigation measures within Resolution 10-071 shall remain in full effect, except that Phase 4 shall be constructed in substantial conformance with the following Exhibits:

EXHIBITS	DESCRIPTION
A.	Overall Site Plan
B.	Phase 4 Site Plan
C.	Tree Protection Plan
D.	Bldg. F – First Floor Plan
E.	Bldg. F – Second Floor Plan
F.	Bldg. F – Roof Plan
G.	Bldg. F – North & West Elevations
H.	Bldg. F – South & East Elevations
I.	Arborist Letter

PASSED AND ADOPTED THIS 23<sup>rd</sup> day of January, 2018 by the following Roll Call Vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

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Chairman, John Donaldson

ATTEST:

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Warren Frace, Planning Commission Secretary



Owner:  
PASO ROBLES  
INDUSTRIAL AUTHORITY

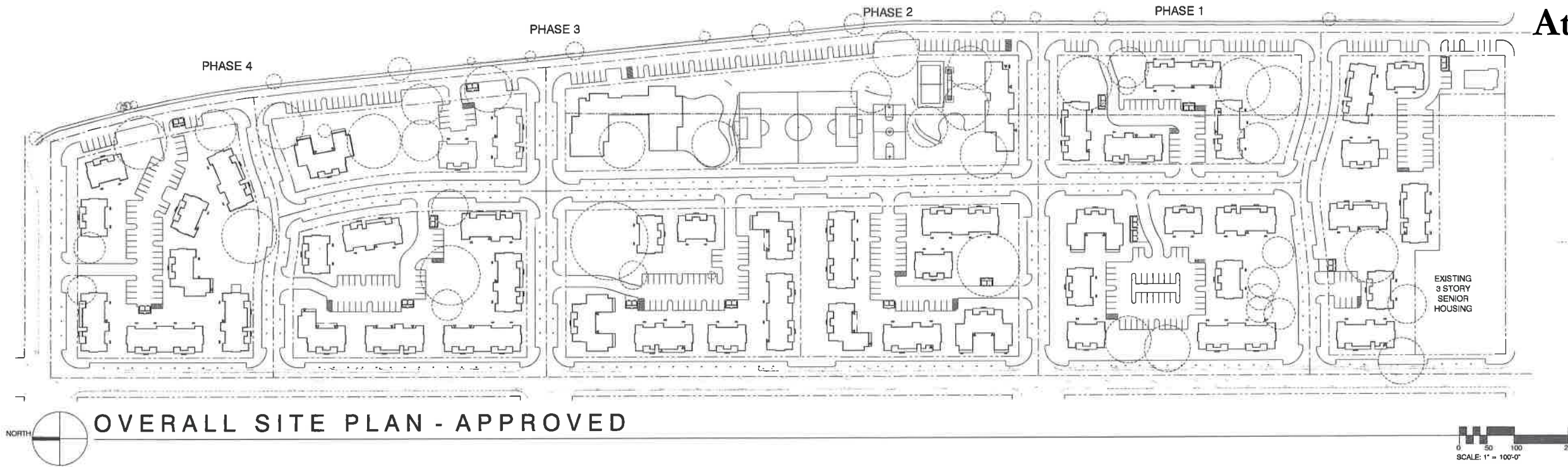
Developer:  
CENTRAL CALIFORNIA  
HOUSING CORPORATION

Project:  
**OAK PARK  
COMMUNITY**  
PARK STREET, PASO ROBLES, CA

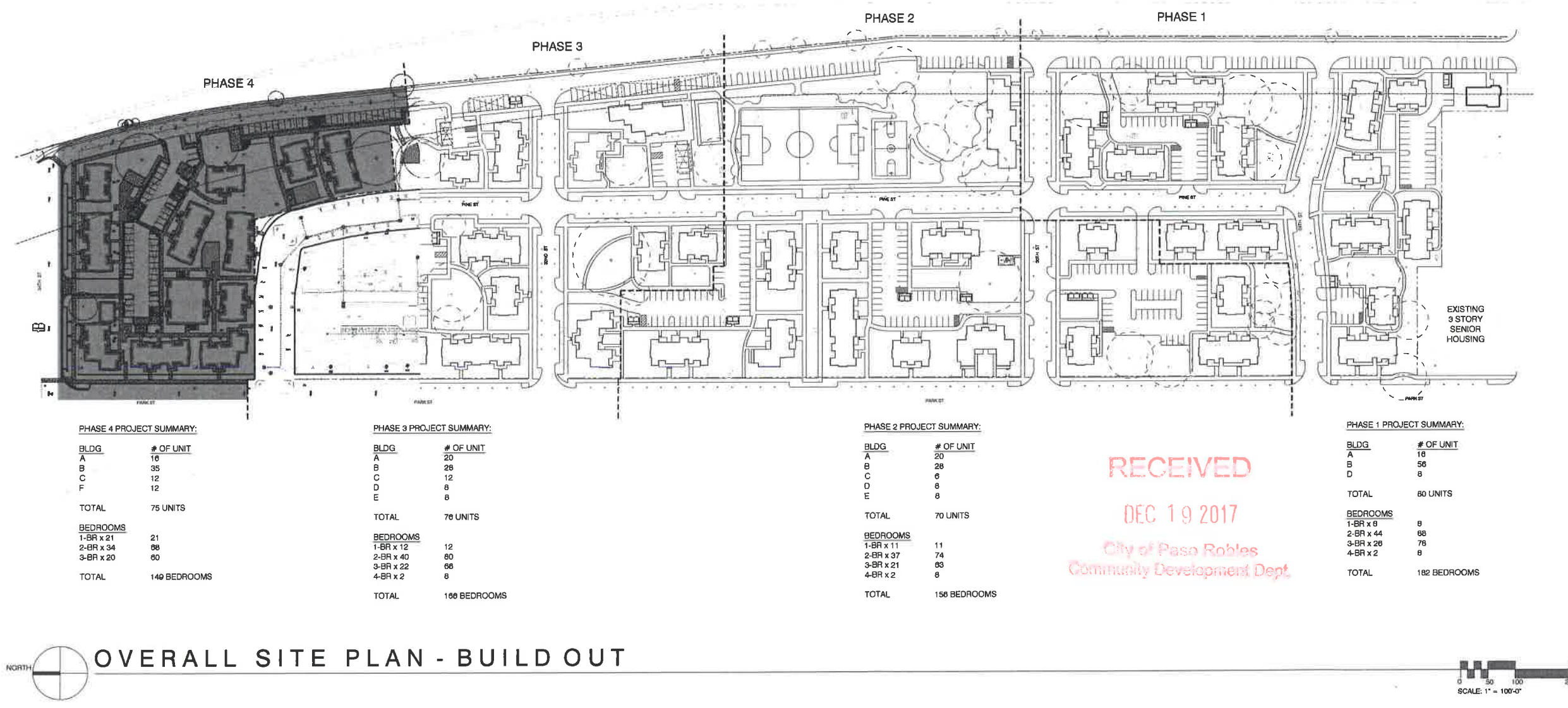
PHASE 4

**THE  
PAUL DAVIS  
PARTNERSHIP**  
ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
286 Eldorado Street  
Menlo Park, CA 94028  
(831) 373-2794 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com



OVERALL SITE PLAN - APPROVED



PHASE 4 PROJECT SUMMARY:

BLDG	# OF UNIT
A	16
B	35
C	12
F	12
<b>TOTAL</b>	<b>75 UNITS</b>
<b>BEDROOMS</b>	
1-BR x 21	21
2-BR x 34	68
3-BR x 20	60
<b>TOTAL</b>	<b>149 BEDROOMS</b>

PHASE 3 PROJECT SUMMARY:

BLDG	# OF UNIT
A	20
B	26
C	12
D	6
E	6
<b>TOTAL</b>	<b>76 UNITS</b>
<b>BEDROOMS</b>	
1-BR x 12	12
2-BR x 40	60
3-BR x 22	66
4-BR x 2	6
<b>TOTAL</b>	<b>160 BEDROOMS</b>

PHASE 2 PROJECT SUMMARY:

BLDG	# OF UNIT
A	20
B	28
C	6
D	6
E	6
<b>TOTAL</b>	<b>70 UNITS</b>
<b>BEDROOMS</b>	
1-BR x 11	11
2-BR x 37	74
3-BR x 21	63
4-BR x 2	6
<b>TOTAL</b>	<b>156 BEDROOMS</b>

PHASE 1 PROJECT SUMMARY:

BLDG	# OF UNIT
A	16
B	56
D	6
<b>TOTAL</b>	<b>80 UNITS</b>
<b>BEDROOMS</b>	
1-BR x 6	6
2-BR x 44	68
3-BR x 26	76
4-BR x 2	6
<b>TOTAL</b>	<b>162 BEDROOMS</b>

RECEIVED  
DEC 19 2017  
City of Paso Robles  
Community Development Dept.

Drawn By: ML, VO  
Drawing Date: 08.29.17  
Project Number: 1831

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Sheet Title:  
**OVERALL  
SITE PLAN**

Sheet Number:

OVERALL SITE PLAN - BUILD OUT

Z:\Projects\Projects 2016\1631\_CCHC-Oak Park Phase 4\Plot Sheets\VAL O Siteplans.dwg, 12/15/2017 11:46:01 AM, ARCH full bleed D (36.00 x 24.00 Inches)

SHEET NOTES

Attachment 3

Owner:  
PASO ROBLES HOUSING AUTHORITY

Developer:  
CENTRAL CALIFORNIA HOUSING CORPORATION

Project:  
**OAK PARK COMMUNITY**  
PARK STREET, PASO ROBLES, CA

PHASE 4

**THE PAUL DAVIS PARTNERSHIP**  
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- ACCESSIBLE PATH OF TRAVEL
- 6W STRIPED CROSSWALK w/ MAX. CROSS SLOPE < 2%
- 6W x 3D TRUNCATED DOMES. SEE DETAIL 14/A8.1
- FENCE - SEE LANDSCAPE DWGS FOR DETAILS
- AT END OF CONSTRUCTION, REMOVE EXISTING FENCE AND INSTALL NEW 6' HIGH CHAIN LINK FENCE WITH VINES TO MATCH PHASE 1
- CARPORT / PV SOLAR PANEL LOCATION
- TRASH ENCLOSURE, SEE DETAIL 7/A8.1
- POST OFFICE MAIL BOXES, TYP., SEE DETAIL 19/A8.1
- RAMP, SEE DETAILS 17, 18 & 19/A8.1
- STAIRS, SEE DETAIL 2/A8.1
- RETAINING WALL, SEE CIVIL DWGS
- DOWNSPOUT, TYP
- (F) ELECTRIC VEHICLE PARKING SPACE (6 TOTAL). PROVIDE CONDUIT TO FUTURE CHARGING STATION WITH DEDICATED CIRCUIT
- AT END OF CONSTRUCTION, REMOVE EXISTING FENCE AND INSTALL NEW 6' HIGH CHAIN LINK FENCE WITH VINES TO MATCH PHASE 2
- SEE LANDSCAPE DRAWINGS FOR VINYL FENCE DETAILS
- BUILDING ADDRESS
- BIKE RACK, TYP
- BENCH, TYP

EXTERIOR PATH OF TRAVEL  
WALKING SURFACES WITH A SLOPE LESS THAN 5% AND A MAXIMUM CROSS SLOPE OF 2%. THE SURFACE SHALL BE STABLE, FIRM AND SLIP RESISTANT. CHANGES IN LEVEL SHALL BE MAXIMUM 1/2" WITHOUT EDGE TREATMENT AND 1/2" MAXIMUM IF TOP 1/2" IS BEVELED MAX. 2.1" WALKWAYS SHALL BE A MINIMUM 4'-0" CLEAR WIDTH. ABRUPT CHANGES IN LEVEL OF ADJACENT GRADE TO THE SIDEWALK EXCEEDING 4" SHALL BE IDENTIFIED BY WARNING CURBS AT LEAST 6" IN HEIGHT ABOVE SIDEWALK SURFACE.

NOTES:

- ◇ Symbols identify signage. See sheet A0.B for sign legend.
- Provide building address number along Park St. even if buildings do not face street.  
See detail 18/A0.3

PHASE 4 PROJECT SUMMARY:

BLDG	# OF UNIT
A	18
B	35
C	12
F	12
TOTAL	75 UNITS

BEDROOMS	
1-BR x 12	21
2-BR x 40	68
3-BR x 22	60
TOTAL	149 BEDROOMS

PARKING TOTAL = 65 SPACES

BUILDING LEGEND

- 22 - BUILDING NUMBER
- A1 - BUILDING TYPE

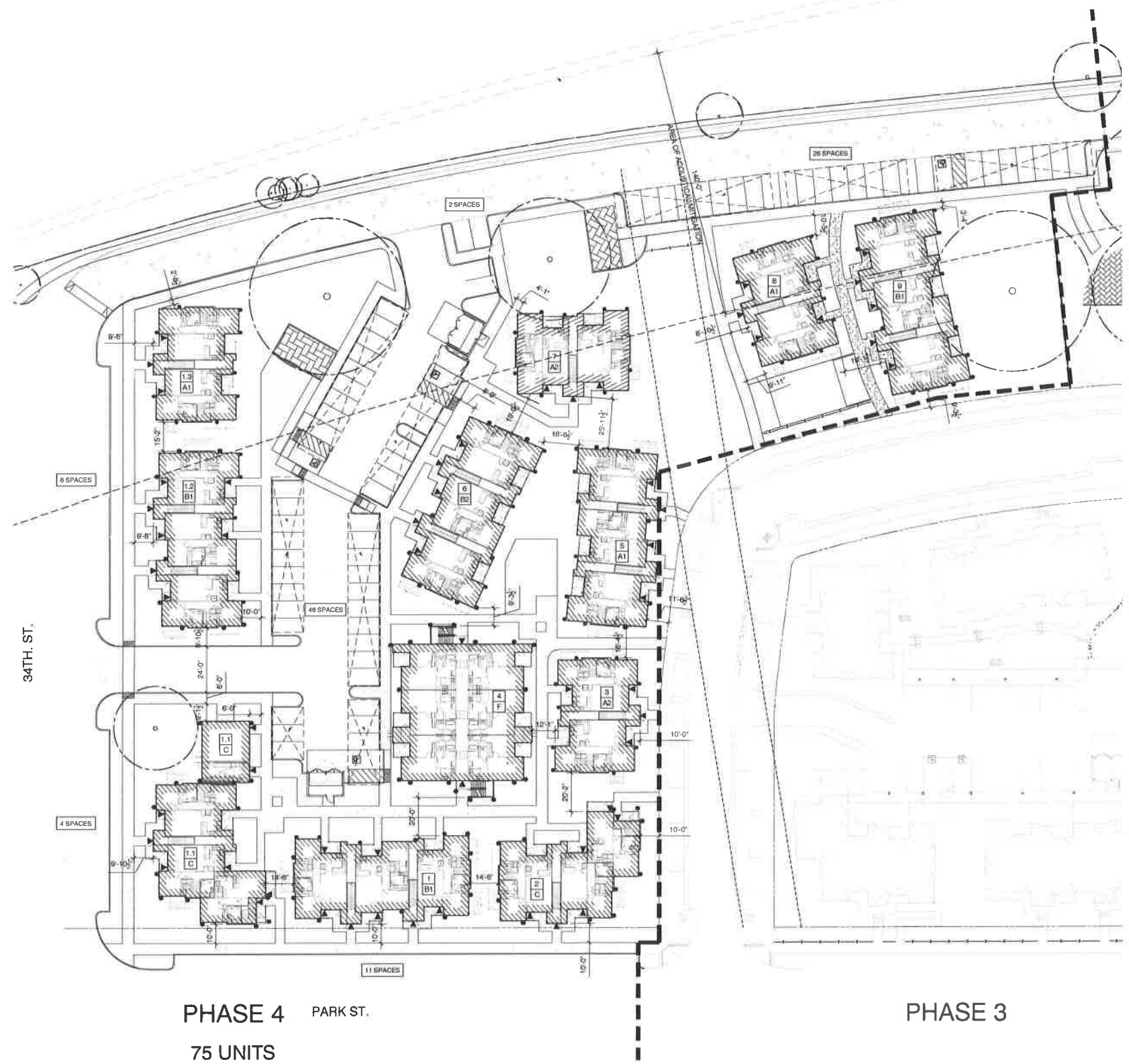
ACOUSTICAL MITIGATION AREA:

- PROVIDE WINDOWS & SLIDING GLASS DOORS WITH MIN. 34 STC RATING
- VENTS TO HAVE ACOUSTICAL BAFFLES
- VOIDS AROUND WINDOWS SHALL BE FILLED WITH INSULATION & WOOD BLOCKING AND PERIMETER OF WINDOWS & DOORS THOROUGHLY CAULKED
- INSTALLATION OF AN AIR CONDITIONING SYSTEM OR MECHANICAL VENTILATION SYSTEM SO THAT WINDOWS IN EXPOSED UNITS CAN REMAIN CLOSED
- EXTERIOR DOORS SHALL BE SOLID CORE WITH SWEEPS AND SEALS THAT MAKE A POSITIVE CLOSURE

Drawn By: ML, VQ  
Drawing Date: 08.29.17  
Project Number: 1631  
Revisions:

Sheet Title:  
**SITE PLAN**

Sheet Number:

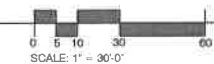


PHASE 4 PARK ST.  
75 UNITS

PHASE 3

SITE PLAN - PHASE 4

- UNIT MAIN ENTRANCE & ACCESSIBLE ENTRIES - SEE DETAIL 15/A0.2
- ACCESSIBLE UNIT (8 TOTAL) 10% OF 76 UNITS
- ADAPTABLE
- ADAPTABLE MULTI-STORY UNIT (13 TOTAL)
- SENSORY IMPAIRED UNITS (4 TOTAL), 4% OF 76 UNITS



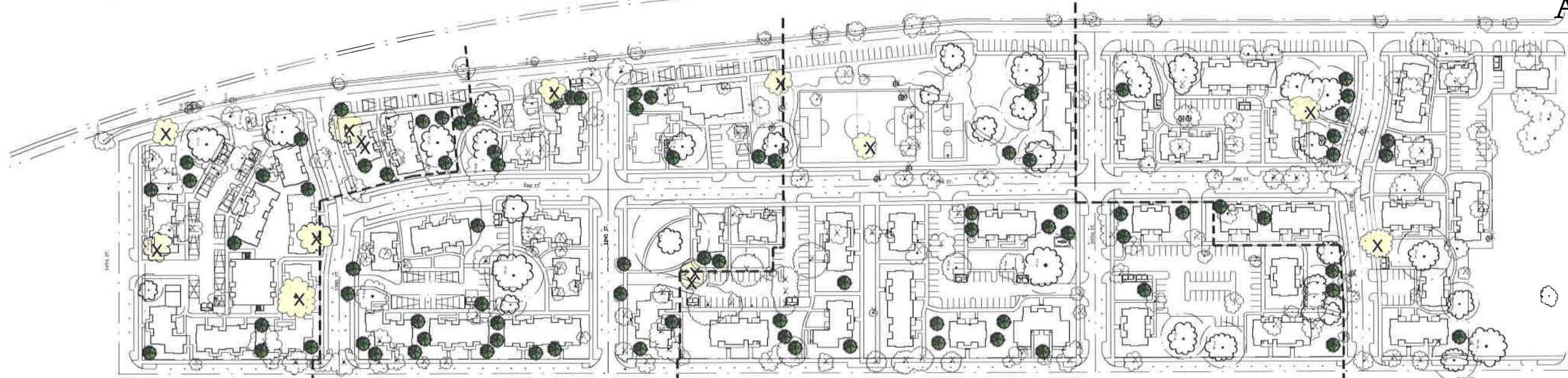
A1.1

Owner:  
PASO ROBLES  
HOUSING AUTHORITY  
Developer:  
Central California  
Housing Corporation

Project:  
**OAK PARK  
COMMUNITY**  
PARK STREET, PASO ROBLES, CA

**THE  
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**Phase 4**  
Removed Oaks: 7 proposed  
Replacement Oaks: 17 minimum

**Phase 3**  
Removed Oaks: 2 removed  
Replacement Oaks: 35 replaced

**Phase 2**  
Removed Oaks: 3 removed  
Replacement Oaks: 26 replaced

**Phase 1**  
Removed Oaks: 2 removed  
Replacement Oaks: 11 replaced

**Tree Protection & Safety Measures**

- Compliance with the measures outlined in the Oak Park Community Tree Preservation Plan prepared by Chip Tamagni of A & T Arborists and City of Paso Robles Ordinance No. 835 shall be required during construction for all Oak trees on site.
- All other tree species to remain shall have protective fencing & signage, trunk protection as needed, directed pruning of crown and roots as applicable, hand dug trenches within the crown and limited excavation within 10 feet of the trunk as well as any other measures deemed necessary by the Arborist.
- The design intent is to retain the maximum feasible number of existing canopy trees. Certain trees identified in the arborist report will require root pruning and other measures to insure the health of retained trees.
- The project arborist will inspect and evaluate designated trees to be retained prior to, or at, construction. Arborist will make a determination on the safety of the retained tree and propose a contingency plan that may include removal and replacement.

**Oak Tree Replacement Scheme at CUP Stage**

- 273" of Oak trees removed per Draft Arborist Report dated January 20, 2010
- 273 (.25) = 68.25" of Oaks to be planted as replacement trees

**Replacement Trees**  
Quantity will be based on caliper of replacement trees: approximately 35 to 46 trees with 1.5" to 2" caliper. (Final quantity to be determined by Arborist.)

**Arborist Calculation for Phases 1-4 letter dated 10-30-17:**  
447 inches diameter removed  
112 inches replacement required

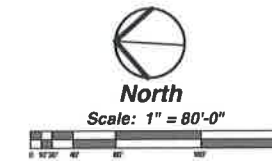
**Oak Tree Replacement Status at Phase 4**  
Replacement Trees

Phase 1 & 2: 37 Oak trees 24" box 1 to 1.5 inch dia.  
Phase 3: 35 Oak Trees 24" box 1 to 1.5 inch dia.  
Phase 4: 17 (approximate proposed number) 24" box

**Total:** 89 replacement Oak trees approximately 133 diameter inches

**LEGEND**

- ☁ Oak Tree to be retained per Arborist Report (36)
- ☁ Tree to be retained (19)
- 36" LO Trunk diameter and species per Survey
- ☀ Oak Tree to be removed per Arborist Report (14)
- X Tree to be removed (183)
- Oak Critical Root Zone



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Project Number:

Revisions:

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**Oak Tree  
Preservation,  
Removal &  
Replacement Plan**

Sheet Number:

SHEET NOTES

1. ROOF & WALL OUTLINE OF FIRST FLOOR BELOW
2. TYPICAL GUARDRAIL

Owner:  
PASO ROBLES HOUSING AUTHORITY

Developer:  
CENTRAL CALIFORNIA HOUSING CORPORATION

Project:  
**OAK PARK COMMUNITY**  
PARK STREET, PASO ROBLES, CA  
PHASE 4

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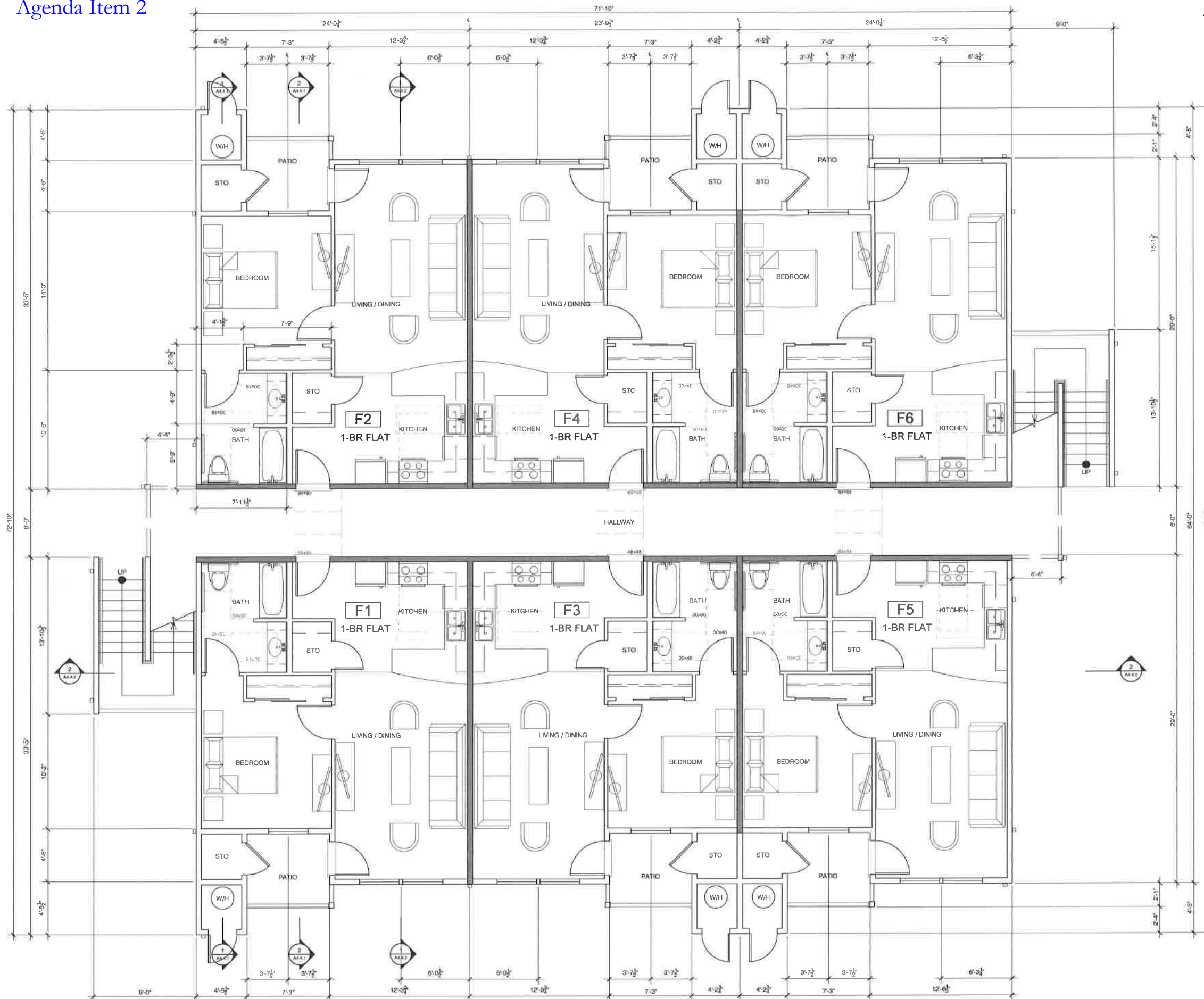
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Drawing Date: 08.20.17  
Project Number: 1631

Revisions:

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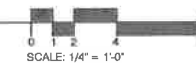
Sheet Title:  
**F - BLDG  
1ST FLOOR PLAN**

Sheet Number:



**FIRST FLOOR PLAN - BUILDING "F"**

SCALE: 1/4" = 1'-0"



— FIRE-RATED PARTY WALL  
SEE SECTIONS & DETAILS  
— NON RATED WALL

**A2.4.1**

1. ROOF & WALL OUTLINE OF FIRST FLOOR BELOW
2. TYPICAL GUARDRAIL

Developer:  
**CENTRAL CALIFORNIA HOUSING CORPORATION**

Project:  
**OAK PARK COMMUNITY**  
PARK STREET, PASO ROBLES, CA  
**PHASE 4**

**THE PAUL DAVIS PARTNERSHIP**  
ARCHITECTS & PLANNERS

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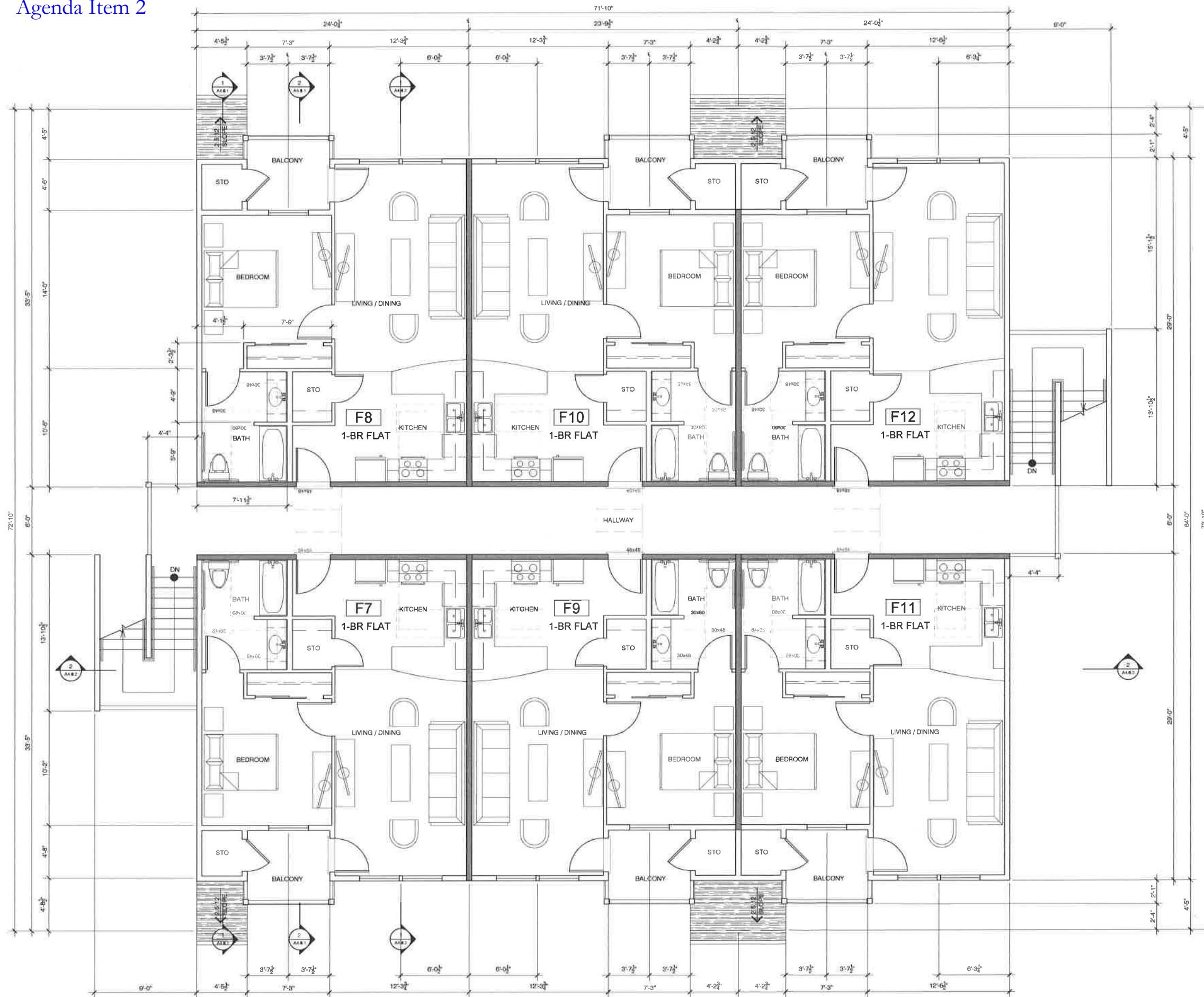
Drawn By: **ML VQ**  
Drawing Date: **08.29.17**  
Project Number: **1631**

Revisions:

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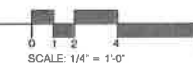
Sheet Title:  
**F - BLDG  
2ND FLOOR PLAN**

Sheet Number:



**SECOND FLOOR - BUILDING "F"**

SCALE: 1/4" = 1'-0"



- FIRE-RATED PARTY WALL, SEE SECTIONS & DETAILS
- NON RATED WALL

**A2.4.2**

Owner:  
PASO ROBLES  
HOUSING AUTHORITY


Developer:  
CENTRAL CALIFORNIA  
HOUSING CORPORATION

Project:  
**OAK PARK  
COMMUNITY**  
PARK STREET, PASO ROBLES, CA

PHASE 4

**THE  
PAUL DAVIS  
PARTNERSHIP**  
ARCHITECTS & PLANNERS

  
The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2794 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com

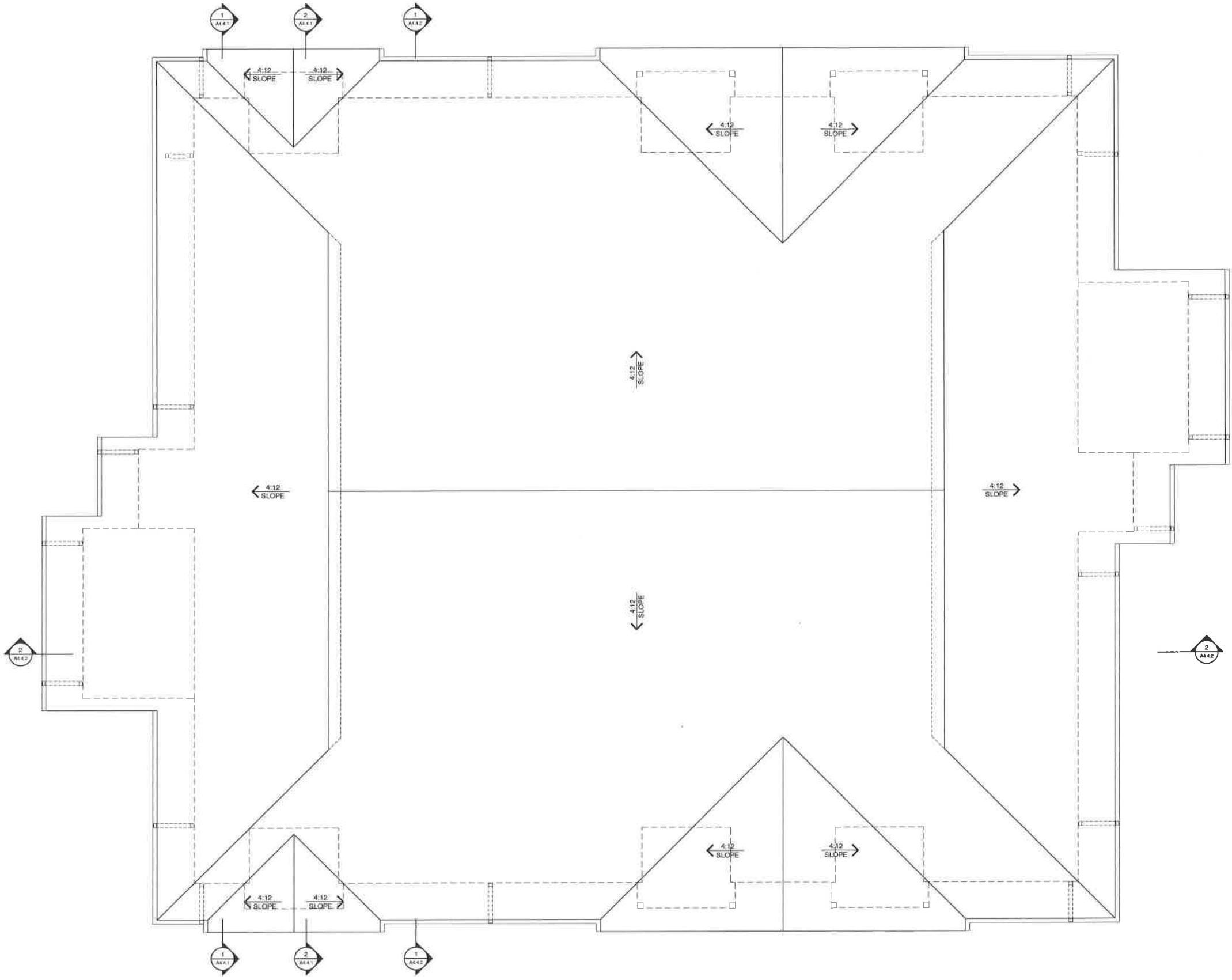
  
Drawn By: ML, VQ  
Drawing Date: 08.29.17  
Project Number: 1631

Revisions:

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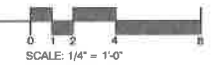
Sheet Title:  
**F - BLDG  
ROOF PLAN**

Sheet Number:



**ROOF PLAN**

**BUILDING "F"**  
SCALE: 1/4" = 1'-0"



**A2.4.3**

Z:\Projects\Projects\_2016\1631\_CCHC-Oak Park-Phase 4\Plot Sheets\A2.4.3\_F.dwg, 12/7/2017 10:58:17 AM, ARCH full bleed D (56.00 x 24.00 inches)

SHEET NOTES  
1. xxx

Owner:  
PASO ROBLES  
HOUSING AUTHORITY

Developer:  
CENTRAL CALIFORNIA  
HOUSING CORPORATION

Project:  
**OAK PARK  
COMMUNITY**  
PARK STREET, PASO ROBLES, CA

PHASE 4

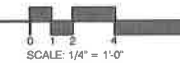
**THE  
PAUL DAVIS  
PARTNERSHIP**  
ARCHITECTS & PLANNERS

The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-3794 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com

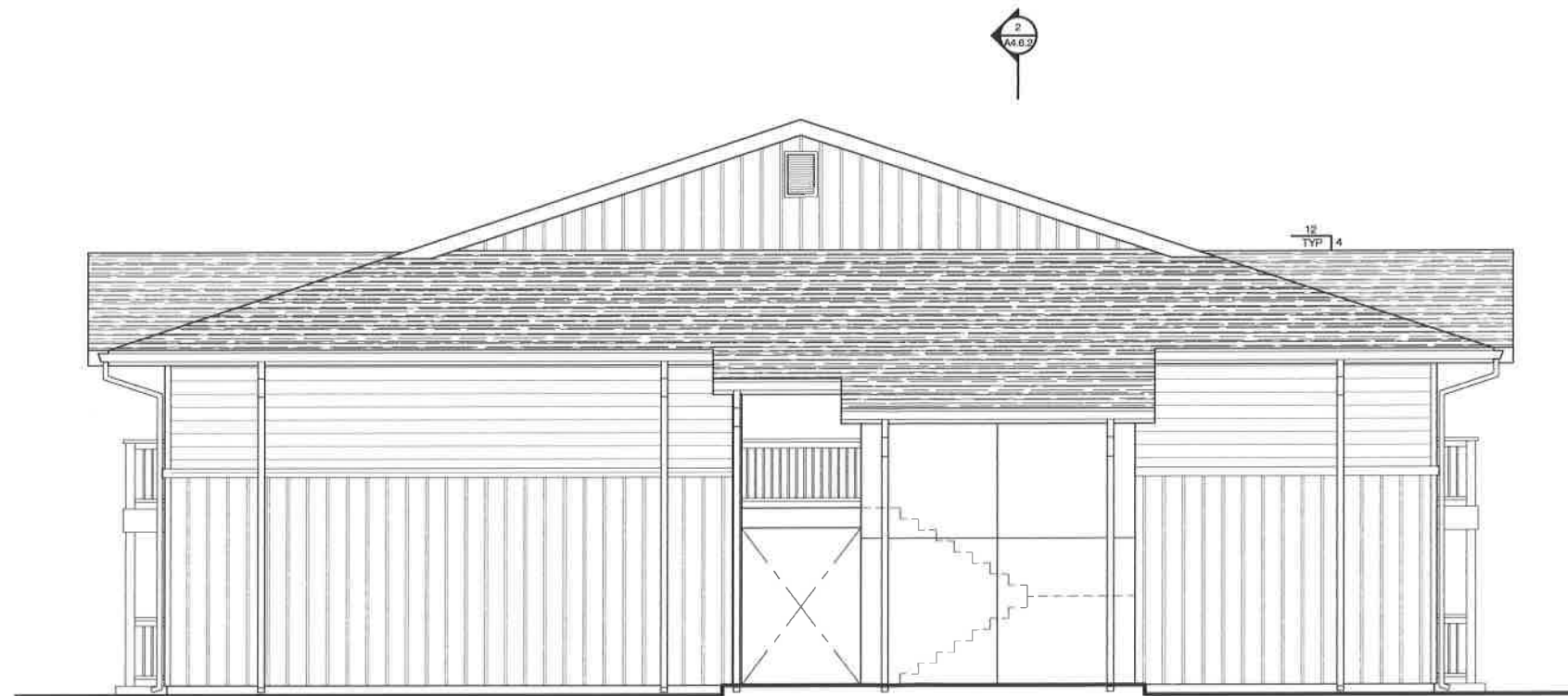


① NORTH ELEVATION - BUILDING F

SCALE: 1/4" = 1'-0"

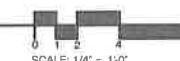


SCALE: 1/4" = 1'-0"



② WEST ELEVATION - BUILDING F

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

Drawn By: ML, VQ  
Drawing Date: 08.29.17  
Project Number: 1631

Revisions:

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Sheet Title:  
**EXTERIOR  
ELEVATIONS  
BUILDING F**

Sheet Number:

A3.6.1

Owner:  
PASO ROBLES HOUSING AUTHORITY

Developer:  
CENTRAL CALIFORNIA HOUSING CORPORATION

Project:  
**OAK PARK COMMUNITY**  
PARK STREET, PASO ROBLES, CA

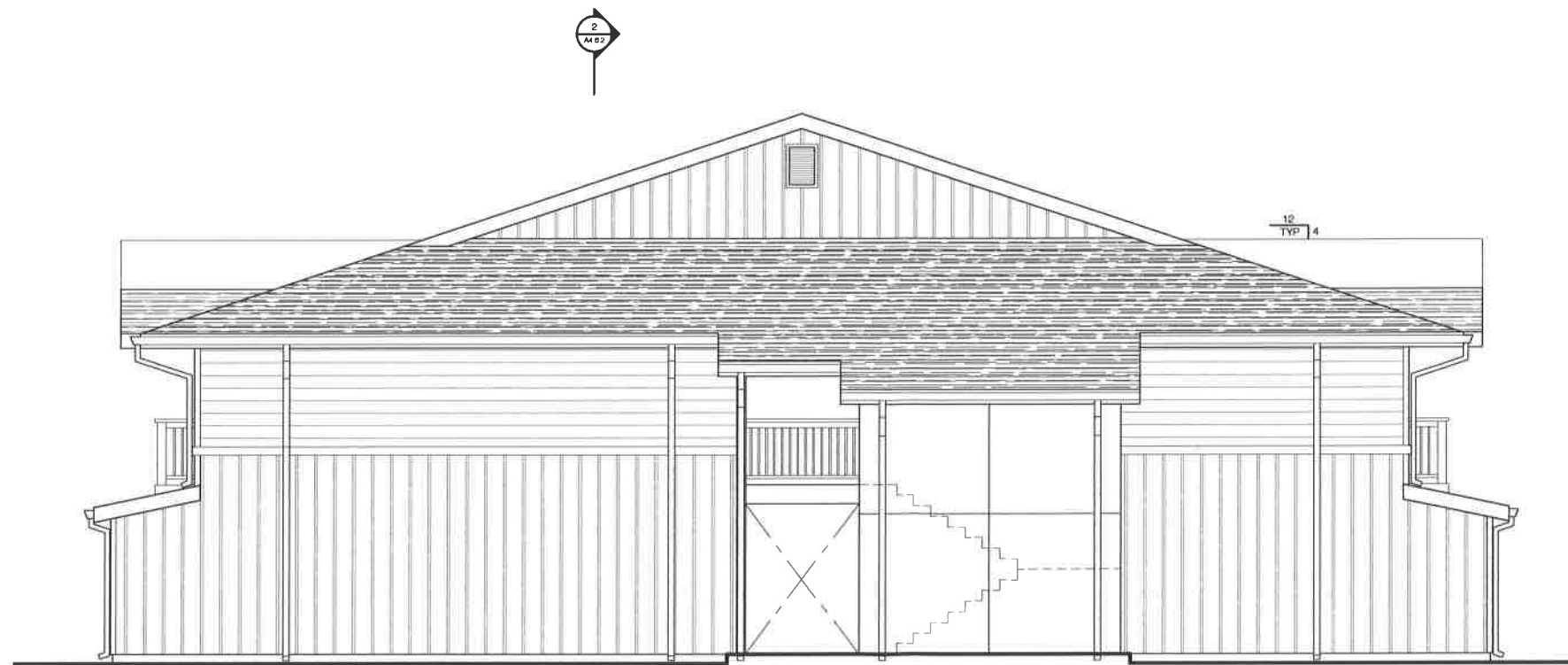
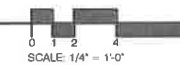
PHASE 4

**THE PAUL DAVIS PARTNERSHIP**  
ARCHITECTS & PLANNERS

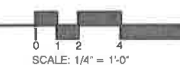
The Paul Davis Partnership, LLP  
286 Eldorado Street  
Monterey, CA 93940  
(831) 373-2704 FAX (831) 373-7459  
EMAIL: info@pauldavispartnership.com



① SOUTH ELEVATION - BUILDING F  
SCALE: 1/4" = 1'-0"



② EAST ELEVATION - BUILDING F  
SCALE: 1/4" = 1'-0"



Drawn By: ML, VQ  
Drawing Date: 08.29.17  
Project Number: 1631

Revisions:

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Sheet Title:  
**EXTERIOR ELEVATIONS BUILDING F**

Sheet Number:

Z:\Projects\Projects\_2016\1631\_CCHC-Oak Park Phase 4\Plot Sheets\A3.4.2\_F\_BLDG.dwg, 12/7/2017 10:58:25 AM, ARCH full bleed D (36.00 x 24.00 inches)





10-30-2017

Darren Nash, City of Paso Robles Planning Department

Re: Oak Park Oak Trees

For phases #1 and #2, oak tree removals were kept to plan. There were no trades from saving one tree and removing another. All trees appear healthy although one tree in Phase 1 started to decline during construction but we were able to get it to turn around and now it looks much better and it should survive long term.

Phase three had tree 12 added as a removal as it has drastically declined and has not had any impacts. In phase four, tree #6 had a massive failure this past summer and the remainder of the tree has now been structurally jeopardized and pruning the tree is not an option due to the weakening of the tree from the failure. While trying to redesign this phase and achieve the correct number of units, we felt tree #2 and #48 would also have to be removed. The total number of trees being removed has changed from 10 to 14. The additional inches of removals has increased by 140 inches of diameter which would then be 35 inches of additional replacement oaks.

Included is the spreadsheet which has been updated to reflect these changes.

Chip Tamagni  
Certified Arborist #WE 6436-A  
California State Pest Control Advisor #75850  
Certified Hazard Risk Assessor #1209  
Cal Poly B.S. Forestry and Natural Resources Management





**CITY OF EL PASO DE ROBLES**

*"The Pass of the Oaks"*

**AFFIDAVIT**

**OF MAIL NOTICES**

**PLANNING COMMISSION/CITY COUNCIL PROJECT NOTICING**

I, Megan Miller, employee of the City of El Paso de Robles, California, do hereby certify that the mail notices have been processed as required for appeal of Planned Development 10-001, on this 11<sup>th</sup> day of January, 2018.

City of El Paso de Robles  
Community Development Department  
Planning Division

Signed: \_\_\_\_\_

Megan Miller

RECEIVED

JAN 16 2018

City of Paso Robles  
Community Development Dept

**THE** *Newspaper of the Central Coast*  
**TRIBUNE**

3825 South Higuera • Post Office Box 112 • San Luis Obispo, California 93406-0112 • (805) 781-7800

In The Superior Court of The State of California  
In and for the County of San Luis Obispo

AD #3473851  
CITY OF PASO ROBLES

STATE OF CALIFORNIA

ss.

County of San Luis Obispo

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen and not interested in the above entitled matter; I am now, and at all times embraced in the publication herein mentioned was, the principal clerk of the printers and publishers of THE TRIBUNE, a newspaper of general Circulation, printed and published daily at the City of San Luis Obispo in the above named county and state; that notice at which the annexed clippings is a true copy, was published in the above-named newspaper and not in any supplement thereof – on the following dates to wit; JANUARY 12, 2018 that said newspaper was duly and regularly ascertained and established a newspaper of general circulation by Decree entered in the Superior Court of San Luis Obispo County, State of California, on June 9, 1952, Case #19139 under the Government Code of the State of California.

I certify (or declare) under the penalty of perjury that the foregoing is true and correct.

  
\_\_\_\_\_  
(Signature of Principal Clerk)

DATE: JANUARY 12, 2018  
AD COST: \$225.06

**CITY OF EL PASO DE ROBLES  
NOTICE OF PLANNING COMMISSION PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that the Planning Commission will hold a Public Hearing to consider the following project:

**APPLICATION:** Planned Development (PD 10-001) – Request to amend Phase 4 of PD 10-001, Oak Park Public Housing, to introduce a new housing type and modify site plan to accommodate new housing type. There is also a request to remove four oak trees from Phase 4.

**APPLICANT:** Paso Robles Housing Authority, David Cooke, Paso Robles, CA 93446

**LOCATION:** 3350 Park Street (Southeast corner of 34th and Park Streets); Assessor's Parcel Number 008-072-007

**ENVIRONMENTAL DETERMINATION:** The project would be consistent with the Environmental Impact Report (EIR) approved for PD 10-001.

**HEARING:** The Planning Commission will hold a Public Hearing on January 23, 2018, at 6:30 p.m. at the Library Conference Center/Council Chambers, 1000 Spring Street, Paso Robles, California.

Questions about this application may be directed to the Community Development Department at (805) 237-3970 or via email at [planning@prcity.com](mailto:planning@prcity.com). Comments on the proposed application may be mailed to the Community Development Department, or emailed to [planning@prcity.com](mailto:planning@prcity.com) provided that such comments are received prior to the time of the hearing.

If you challenge the application in court, you may be limited to raising only those issues you or someone else raised at the public hearings described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

Copies of the staff report pertaining to this project will be available for review at the Community Development Department on the Thursday preceding each hearing (copies are available for purchase for the cost of reproduction). If you have any questions, please contact the Community Development Department at (805) 237-3970.

Darren Nash  
Associate Planner  
January 12, 2018

3473851