



City of Paso Robles Planning Commission Agenda Report

From: Darren Nash, Associate Planner

Subject: **Planned Development 12-006 Amendment Firestone Brewery – Cold Block 4 and Pipe Bridge**
1400 Ramada Dr / APN: 009-633-032 and 034
Applicant – Firestone Walker Brewery
Demolition of an existing building and construction of a 6,300 sf “Cold Block 4” brewery cellar/tank building and twelve (12) 65-foot tall, 15-foot diameter fermentation storage tanks with an overhead pipe bridge structure crossing Vendels Circle.

Date: May 23, 2017

Needs: For the Planning Commission to make a recommendation to the City Council to consider Planned Development 12-006 Amendment, consisting of the following:

- **Cold Block 4:** a request to install twelve (12) 65 foot tall, 15-foot diameter fermentation vessel’s (tanks) and the construction of a 6,300 square foot addition to the exiting 19,000 square foot building (Building 7).
- **Pipe Bridge:** a request to construct a pipe bridge over Vendels Circle that would allow for the transfer of product between the Brewhouse and the Cold Block 4 tanks.

Facts:

1. The Firestone Brewery is located at 1400 Ramada Drive. The Cold Block 4 project is proposed on the site located at 1385 Vendels Circle. See Vicinity Map, Attachment 1.
2. There is an existing 19,000 square foot building on the site (Building 7) that was previously Nu-Way Cleaners, a commercial laundry facility. The Cold Block 4 project would add 6,300 square feet to Building 7, along with the twelve (12) tanks. See Elevation, Attachment 3.
3. The pipe bridge project is proposed to be constructed 17-feet above Vendels Circle, between Cold Block 4 and the Brewhouse. The piping will transfer beer between the brewhouse and the Cold Block 4. See Elevation, Attachment 3.
4. Since the pipe bridge is proposed to be constructed within the Vendels street right of way, the City Council will need to review the project and allow for the right-of-way encroachment. The Planning Commission’s action on this PD Amendment request will be a recommendation to the City Council. The project is scheduled to go before the Council at their June 6th meeting.
5. The DRC reviewed the project at their meetings on April 10th and April 17th. The main topic of discussion was the height of the tanks and impacts to views from Highway 101. The DRC was generally in favor of the project and

indicated that the height of the tanks and views would need to be discussed by the Planning Commission and ultimately the City Council.

6. Pursuant to the Statutes and Guidelines of the California Environmental Quality Act (CEQA) and the City's Procedures for Implementing CEQA, an Initial Study and Negative Declaration (ND) was prepared and circulated for public review and comment. Based on the information and analysis contained in the Initial Study (and comments and responses thereto), a determination has been made that the project may be approved with a Negative Declaration.

Analysis and Conclusion:

Cold Block 4:

The Cold Block 4 project consists of the installation twelve (12) 65 foot tall, 15-foot diameter fermentation vessel's (tanks) and the construction of a 6,300 square foot addition to the existing 19,000 square foot building.

The height limit for buildings in the M zoning district is 50-feet. The existing Firestone Brewery buildings and tanks are generally at or below the 50-foot height limit, with exception of some elements extending to approximately 53 feet.

Section 21.20.130 Exceptions to building height limits, allows for the following non-habitable, non-building elements to exceed building height limits:

21.20.130 - Exceptions to building height limits.

Chimneys, silos, cupolas and/or architectural roof or tower features, but not full stories, flagpoles, monuments, gas storage holders, radio and other towers, water tanks, church steeples and similar structures and mechanical appurtenances may be permitted in excess to height limits specified in each zoning district, subject to approval of a site plan by the development review committee, except as provided in [Section 21.20.080](#) (public utility distribution and transmission lines).

The DRC when reviewing this section was comfortable with using this section to allow the proposed Cold Block 4 tanks to exceed the 50-foot building height limit. It was noted that tanks are a common accessory elements of brewery facilities, and are often the tallest elements.

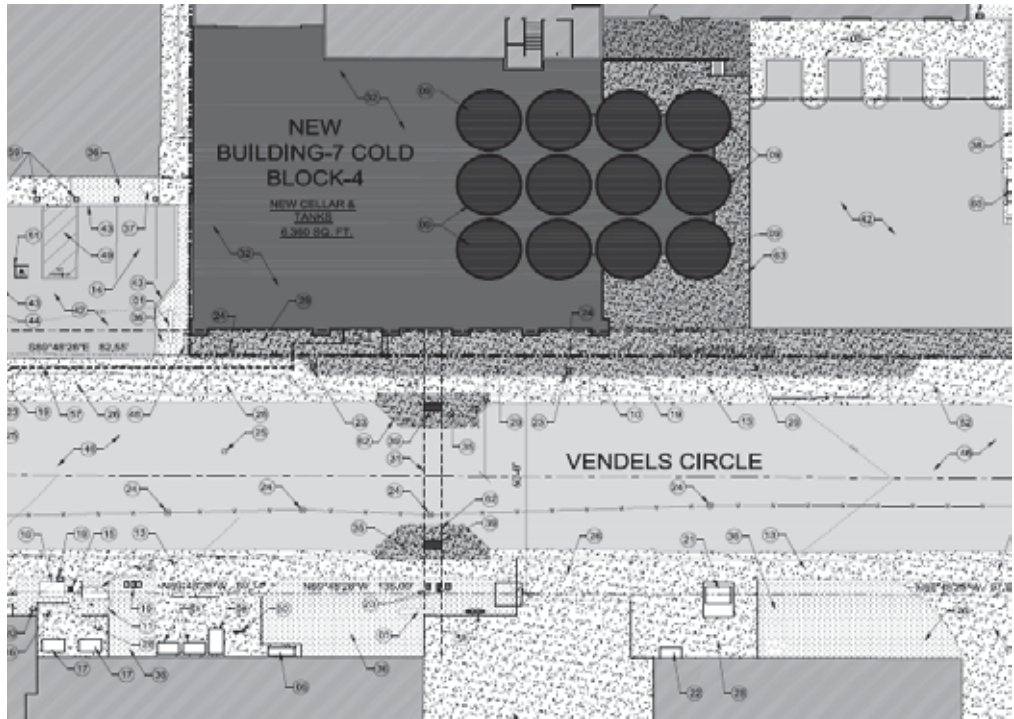
At the DRC meeting, Adam Firestone explained that when considering the use of 50-foot tall tanks, more tanks would be required that would take up more ground space, which is not available. Additionally, the cost of providing more tanks with associated valves and pipes, would not be cost effective.

Since this project requires a development plan approval by the Planning Commission, the approval of the height exception for the tanks can be determined with the Commissions review of the PD Amendment. In this case, since the project needs to go to the Council, they will have the final height determination.

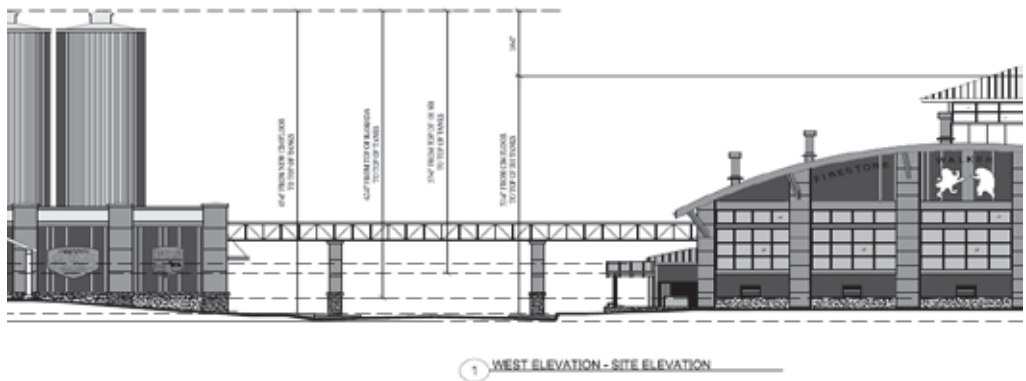
Pipe Bridge:

The pipe bridge is proposed to be constructed between the Cold Block 4 buildings and the Brewhouse building. The bridge would be constructed over Vendels Circle with

support structures built in the right of way. The bridge would be built to provide a minimum of 17-foot clearance above the road.



Pipe Bridge – Site Plan



Pipe Bridge - Elevation

Conclusion

Various perspective views have been provided that represent the proportion of the proposed tanks at the 65-foot height in relation to the existing facility. The tanks will be a significant addition to the area and be visible from various viewpoints. Perspective views are located as exhibits to Resolution B, Attachment 5.

When taking in consideration the Cold Block 4 project and applying the height exception for the tanks, the Commission and Council will need to take in consideration the brewery facility and that the proposed tanks are a necessary element of the brewery.

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Ultimately it will be up to the Planning Commission and City Council to make the necessary findings that the proposed project would meet the intent of the General Plan Land Use Element and Economic Strategy Plan by providing clean and attractive manufacturing buildings in which all activities can be conducted indoors with limited outdoor storage as well as promoting local industry, products and services.

Policy

Reference:

General Plan Land Use Element, Zoning Code, and 2006 Economic Strategy.

Fiscal

Impact:

There are no negative fiscal impacts to the City associated with approval of this Planned Development amendment. The Economic Strategy identifies industrial/manufacturing expansion as an economic benefit to the Community.

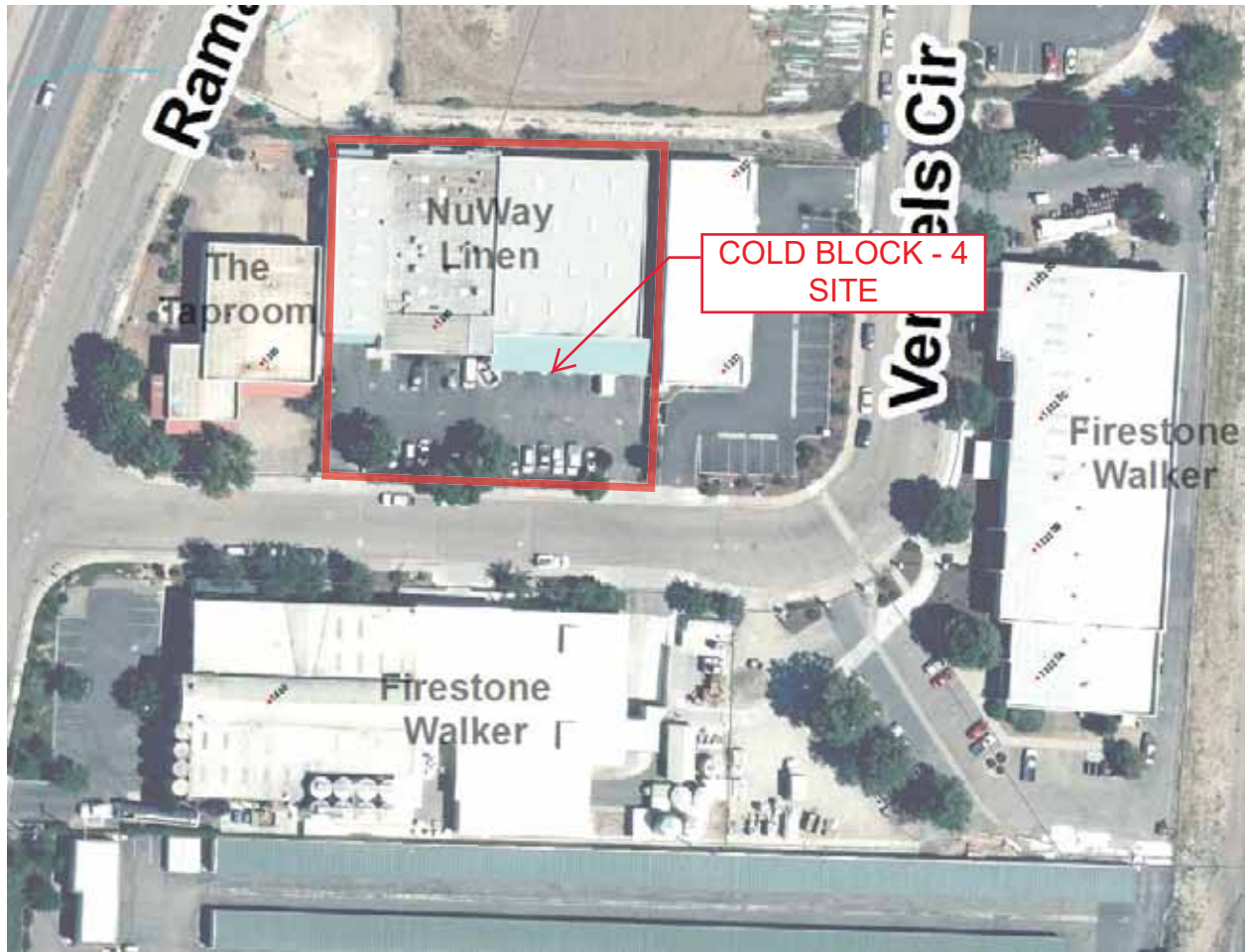
Options:

After opening the public hearing and taking public testimony, the Planning Commission is requested to take one of the actions listed below:

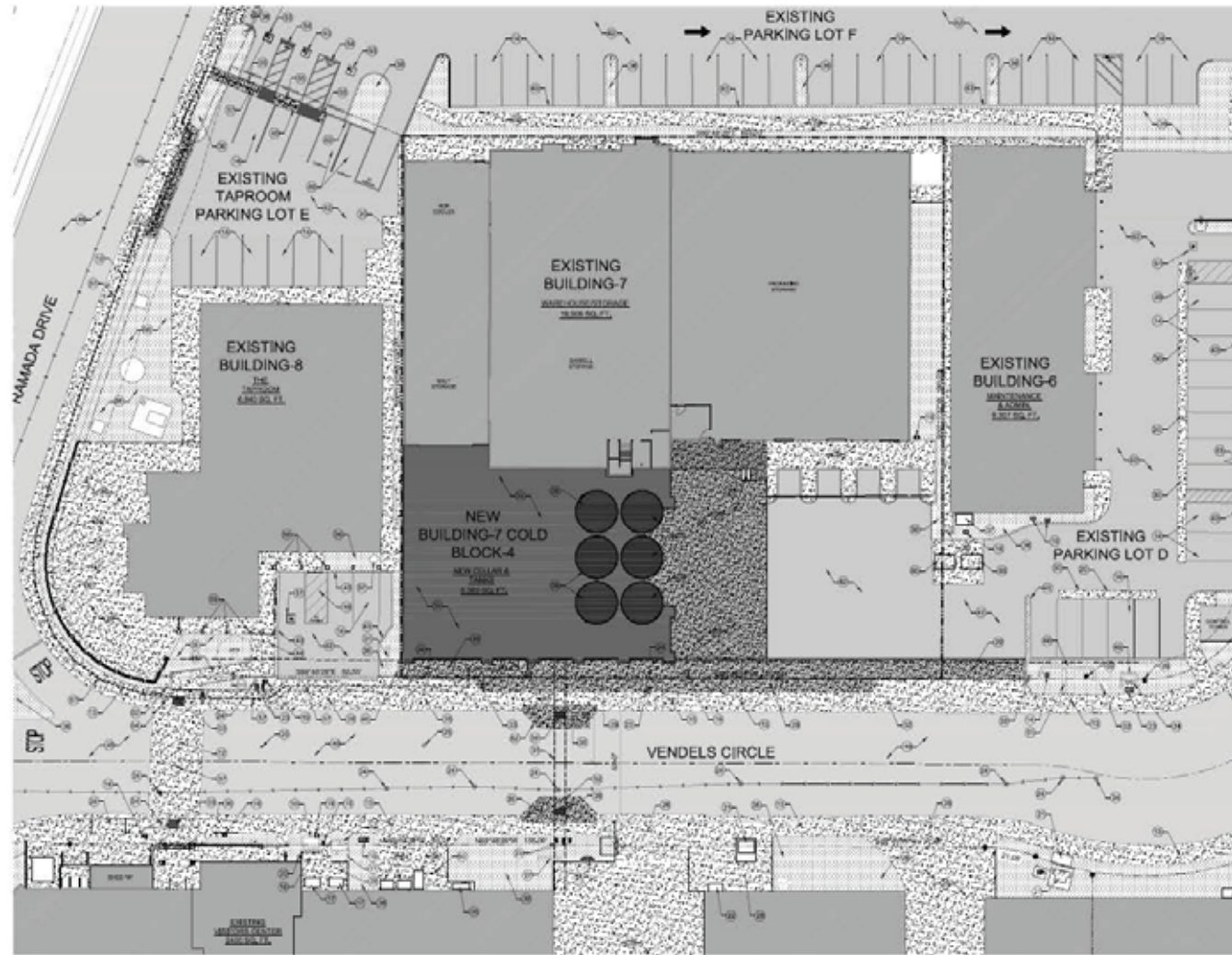
- a.
 1. Recommend that the City Council adopt the attached Resolution A. approving a Negative Declaration, (Attachment 4);
 2. Recommend that the City Council adopt the attached Resolution B. approving a Planned Development 12-006 Amendment, allowing the construction of the Cold Block 4 project allowing the tanks to be 65-feet in height, and allowing the pipe bridge to be located within the Vendels Circle right of way, subject to standard and site specific conditions and encroachment permits (Attachment 5);
- b. Amend the above-listed action.
- c. Refer back to staff/DRC for additional analysis.
- d. Make findings to deny applications.

Attachments:

1. Vicinity Map
2. Site Plan
3. Tank/Pipe Bridge Elevation
4. Draft Resolution – A: MND
5. Draft Resolution – B: PD Amendment
6. Mail and Newspaper Affidavits



ATTACHMENT 2 - SITE PLAN



PARTIAL SITE PLAN - ENLARGED Scale: 1" = 150'

SITE PLAN NO. 03

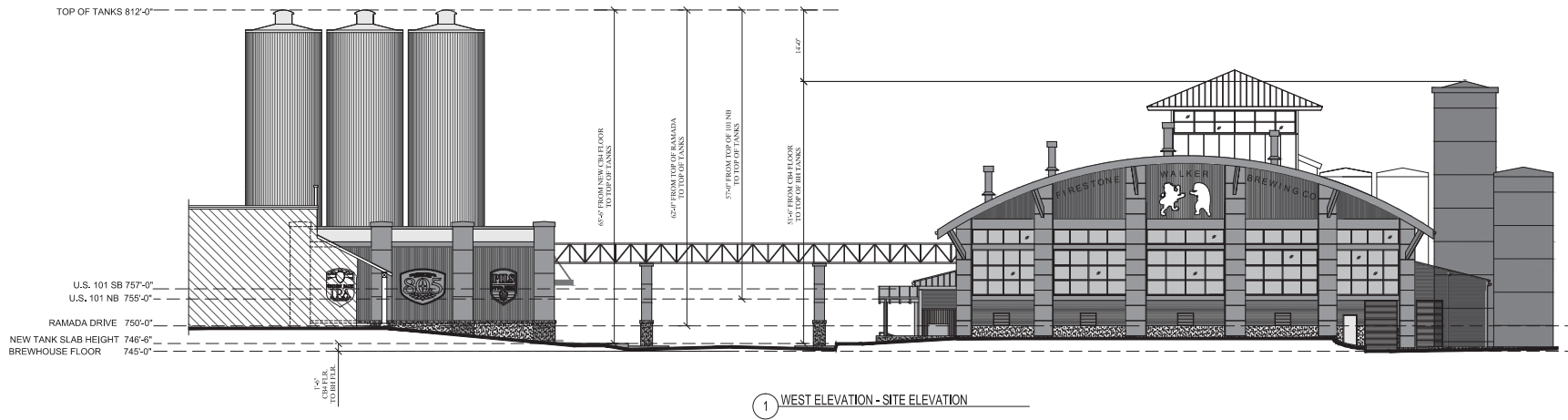
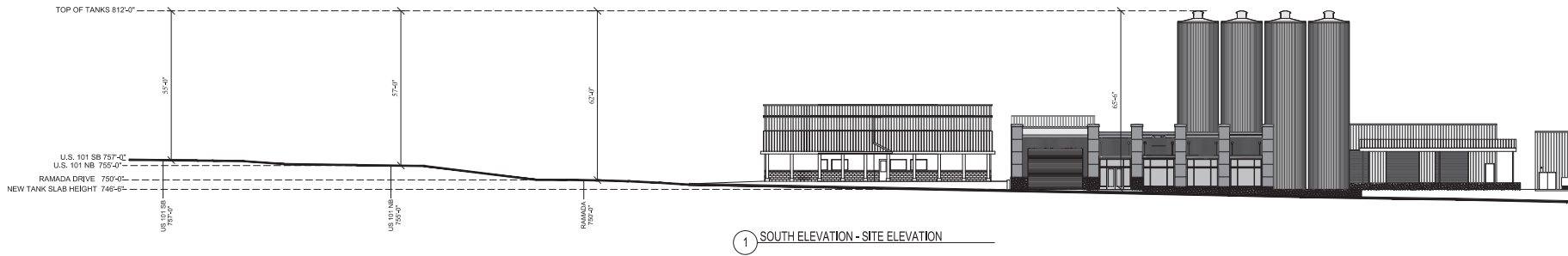
1. SEE EXISTING SITE PLAN FOR GENERAL LAYOUT AND NOTES.
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HARRIS
Architecture & Design
101 West Branch Street, Suite 100
Pasadena, CA 91105
(626) 791-1500

PROJECT:
FIRESTONE WALKER COLD BLOCK 4 ADDITION
PASO ROBLES, CALIFORNIA

DATE:
08/18/2017

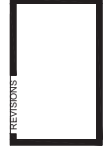
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HARRIS
Architecture & Design
151 West Branch Street, Suite E
Arroyo Grande, CA 93420
(805) 574-1550



REVISIONS

PROJECT TITLE
FIRESTONE WALKER COLD BLOCK 4 ADDITION
PASO ROBLES, CALIFORNIA

DRAWN BY: JMG
May 2, 2017
CHECKED:
PROJECT NO:

A2.2

Attachment 4

Draft Resolution A

RESOLUTION PC 17-xxx

**A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF PASO ROBLES
APPROVING A NEGATIVE DECLARATION FOR
PLANNED DEVELOPMENT 12-006 AMENDMENT
1400 RAMADA DRIVE AND 1385 VENDELS CIRCLE
COLD BLOCK 4 BUILDING AND PIPE BRIDGE**

**(FIRESTONE WALKER, LLC)
APNs: 009-633-034 & 009-631-006**

WHEREAS, the project is located at 1400 Ramada Drive and 1385 Vendels Circle within the Firestone Walker Brewery campus; and

WHEREAS, to request is to construct Cold Block 4, a 6,300 square foot expansion to the existing 19,000 square foot industrial building along with the installation of twelve (12) 65-foot tall tanks; and

WHEREAS, also proposed is the construction of a pipe bridge over Vendels Circle that would allow for the transfer of product between the Brewhouse and the Cold Block 4 tanks; and

WHEREAS, the General Plan designation for this site is Business Park (BP) and is zoned Manufacturing, Planned Development Overlay (M-PD); and

WHEREAS, a public hearing was conducted by the Planning Commission on May 23, 2017, to consider facts as presented in the staff report prepared for this project, and to accept public testimony regarding this proposed development plan; and

WHEREAS, an Initial Study was prepared for this project (attached as Exhibit A), which concludes that the project as proposed will not have significant impacts on the environment; and

WHEREAS, Public Notice of the proposed Negative Declaration was given as required by Section 21092 of the Public Resources Code; and

WHEREAS, public hearings were conducted by the Planning Commission on May 23, 2017 to consider the Initial Study prepared for this application, and to accept public testimony regarding this proposed environmental determination for the proposed zoning modification; and

WHEREAS, based on General Plan Land Use Designation, the 2003 General Plan Environmental Impact Report, information contained in the Initial Study prepared for this zoning modification, the staff report and testimony received as a result of the public notice, the Planning Commission finds no substantial evidence that the project would have a significant impact on the environment.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF EL PASO DE ROBLES DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. All of the above recitals are true and correct and incorporated herein by reference.

Attachment 4

Draft Resolution A

Section 2 - Findings: based upon the facts and analysis presented in the staff report, public testimony received, the Planning Commission makes the following findings:

1. That based on the City's independent judgment, the Planning Commission of the City of El Paso de Robles does hereby make a recommendation to the City Council to approve a Negative Declaration for PD 12-006 Amendment, in accordance with the California Environmental Quality Act.

Section 3 – Recommendation to City Council: the Planning Commission of the City of El Paso de Robles does hereby recommend that the City Council certify the Draft Negative Declaration as shown in Exhibit A:

PASSED AND ADOPTED THIS 23rd day of May, 2017 by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

JOHN DONALDSON, CHAIRMAN

ATTEST:

WARREN FRACE, COMMISSION SECRETARY

Attachment 5

Draft Resolution B

DRAFT RESOLUTION – B

**A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES APPROVING
PLANNED DEVELOPMENT 12-006 AMENDMENT
1400 RAMADA DRIVE & 1385 VENDELS CIRCLE
COLD BLOCK 4 and PIPE BRIDGE
(FIRESTONE WALKER, LLC)
APNs: 009-633-034 & 009-631-006**

WHEREAS, the project is located at 1400 Ramada Drive and 1385 Vendels Circle, within the Firestone Walker Brewery campus; and

WHEREAS, to request is to construct Cold Block 4; a 6,300 square foot expansion to the existing 19,000 square foot industrial building, along with the installation of twelve (12) 65-foot tall tanks; and

WHEREAS, also proposed is the construction of a pipe bridge over Vendels Circle that would allow for the transfer of product between the Brewhouse and the Cold Block 4 tanks; and

WHEREAS, the General Plan designation for this site is Business Park (BP) and is zoned Manufacturing, Planned Development Overlay (M-PD); and

WHEREAS, a public hearing was conducted by the Planning Commission on May 23, 2017, to consider facts as presented in the staff report prepared for this project, and to accept public testimony regarding this proposed development plan; and

WHEREAS, a resolution was adopted by the Planning Commission recommending to the City Council approval of a Mitigated Negative Declaration status for this project, and a Mitigated Negative Declaration was prepared for the proposed Planned Development application in accordance with the California Environmental Quality Act; and

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF EL PASO DE ROBLES DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. All of the above recitals are true and correct and incorporated herein by reference.

Section 2 - Findings: based upon the facts and analysis presented in the staff report, public testimony received and subject to the conditions listed below, the Planning Commission makes the following findings:

1. The project is consistent with the adopted codes, policies, standards and plans of the City; and
2. The proposed development plan will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the residents and or businesses in the surrounding area, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City; and

Attachment 5

Draft Resolution B

3. The proposed development plan accommodates the aesthetic quality of the City as a whole, especially where development will be visible from the gateways to the City, scenic corridors; and the public right-of-way; since the tank and pipe bridge is equipment related to the brewery use and is similar to existing tanks and equipment on the brewery site, and
4. The proposed development plan is compatible with, and is not detrimental to, surrounding land uses and improvements, provides an appropriate visual appearance, and contributes to the mitigation of any environmental and social impacts, since the tank and pipe bridge is equipment related to the brewery use and is similar to existing tanks and equipment on the brewery site; and
5. The proposed development plan is compatible with existing scenic and environmental resources such as hillsides, oak trees, vistas, etc.; and
6. The proposed development plan contributes to the orderly development of the City as a whole; and
7. The proposed development plan as conditioned would meet the intent of the General Plan and Zoning Ordinance by providing the opportunity for clean attractive business to be located in the Business Park/Planned Industrial designated areas of the City; and

Section 3 – Recommendation to City Council: the Planning Commission of the City of El Paso de Robles does hereby recommend that the City Council approve **Planned Development 12-006 Amendment** with a **roadway encroachment permit**, subject to the following conditions and exhibits:

STANDARD CONDITIONS:

1. The applicant/developer shall comply with those standard conditions which are indicated as applicable in "Exhibit A" to this resolution.

SITE SPECIFIC CONDITIONS:

NOTE: In the event of conflict or duplication between standard and site-specific conditions, the site-specific condition shall supersede the standard condition.

2. The project shall be constructed in substantial conformance with the Conditions of Approval established by this Resolution and it shall be constructed in substantial conformance with the following Exhibits:

EXHIBIT	DESCRIPTION
A	Standard Conditions
B	North Campus Plan
C	South Campus Plan
D	Site Plan
E	Site Plan - Enlarged
F	Preliminary Grading and Drainage Plan
G	Demo Plan

Attachment 5

Draft Resolution B

H	Main Floor Plan - Addition
I	South Elevation
J	Elevations (East/West)
K	Elevations (East/South)
L1-L3	Isometric Views/Exterior Materials
M1-M3	Perspective Views

3. This PD 12-006 Amendment, the Cold Block 4 project, allows for the installation of twelve (12) 65-foot tall, 15-foot diameter fermentation vessel's (tanks) and the construction of a 6,300 square foot addition to the exiting 19,000 square foot building on the site located at 1385 Vendels Circle (APN:009-633-032), and the construction of a pipe bridge over Vendels Circle that would allow for the transfer of product between the Brewhouse and the Cold Block 4 tanks. The project shall substantially comply with Exhibits A-M listed above and attached to this resolution.
4. Prior to the issuance of a building permit, an Off-site Parking Agreement for the Firestone Brewery campus shall be established for review and approval by the City Attorney. The agreement shall remain in effect concurrently with this development plan.
5. Prior to issuance of a grading permit, the applicant shall submit a final campus-wide Stormwater Control Plan.
6. Prior to occupancy, the applicant shall enter into an encroachment permit agreement for the pipe bridge in a form approved by the City Attorney.

PASSED AND ADOPTED THIS 23rd day of May 2017 by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

ATTEST:

JOHN DONALDSON, CHAIRMAN

WARREN FRACE, PLANNING COMMISSION SECRETARY

EXHIBIT A OF RESOLUTION

CITY OF EL PASO DE ROBLES
STANDARD DEVELOPMENT CONDITIONS

Planned Development _____ Conditional Use Permit _____

Tentative Parcel Map _____ Tentative Tract Map _____

Approval Body: PC/CC _____ Date of Approval: June 6, 2017 _____

Applicant: Firestone Brewery _____ Location: 1400 Ramda Drive _____

APN: 009-633-032 and 034

The following conditions that have been checked are standard conditions of approval for the above referenced project. The checked conditions shall be complied with in their entirety before the project can be finalized, unless otherwise specifically indicated. In addition, there may be site specific conditions of approval that apply to this project in the resolution.

COMMUNITY DEVELOPMENT DEPARTMENT - The applicant shall contact the Community Development Department, (805) 237-3970, for compliance with the following conditions:

A. GENERAL CONDITIONS – PD/CUP:

- 1. This project approval shall expire on June 6, 2019 unless a time extension request is filed with the Community Development Department, or a State mandated automatic time extension is applied prior to expiration.
- 2. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Planned Development process shall not waive compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
- 3. To the extent allowable by law, Owner agrees to hold City harmless from costs and expenses, including attorney’s fees, incurred by City or held to be the liability of City in connection with City’s defense of its actions in any proceeding brought in any State or Federal court challenging the City’s actions with respect to the project. Owner understands and acknowledges that City is under no obligation to defend any legal actions challenging the City’s actions with respect to the project.

(Adopted by Planning Commission Resolution _____)

Agenda Item 2

- 4. Any site specific condition imposed by the Planning Commission in approving this project (**Conditional Use Permit**) may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the approval of this project. No such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use for this approval.
- 5. The site shall be kept in a neat manner at all times and the landscaping shall be continuously maintained in a healthy and thriving condition.
- 6. All signs shall be subject to review and approval as required by Municipal Code Section 21.19 and shall require a separate application and approval prior to installation of any sign.
- 7. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 8. Prior to the issuance of a Building Permit a landscape and irrigation plan consistent with the Landscape and Irrigation Ordinance, shall be submitted for City review and approval. The plan needs to be designed in a manner that utilizes drought tolerant plants, trees and ground covers and minimizes, if not eliminates the use of turf. The irrigation plan shall utilize drip irrigation and limit the use of spray irrigation. All existing and/or new landscaping shall be installed with automatic irrigation systems.
- 9. A reciprocal parking and access easement and agreement for site access, parking, and maintenance of all project entrances, parking areas, landscaping, hardscape, common open space, areas and site lighting standards and fixtures, shall be recorded prior to or in conjunction with the Final Map. Said easement and agreement shall apply to all properties, and be referenced in the site Covenants, Conditions and Restrictions (CC&Rs).
- 10. All outdoor storage shall be screened from public view by landscaping and walls or fences per Section 21.21.110 of the Municipal Code.
- 11. For commercial, industrial, office or multi-family projects, all refuse enclosures are required to provide adequate space for recycling bins. The enclosure shall be architecturally compatible with the primary building. Gates shall be view obscuring and constructed of durable materials. Check with Paso Robles Waste Disposal to determine the adequate size of enclosure based on the number and size of containers to be stored in the enclosure.

(Adopted by Planning Commission Resolution _____)

Agenda Item 2

- 12. For commercial, industrial, office or multi-family projects, all existing and/or new ground-mounted appurtenances such as air-conditioning condensers, electrical transformers, backflow devices etc., shall be screened from public view through the use of decorative walls and/or landscaping subject to approval by the Community Development Director or his designee. Details shall be included in the building plans.
- 13. All existing and/or new roof appurtenances such as air-conditioning units, grease hoods, etc. shall be screened from public view. The screening shall be architecturally integrated with the building design and constructed of compatible materials to the satisfaction of the Community Development Director or his designee. Details shall be included in the building plans.
- 14. All existing and/or new lighting shall be shielded so as to be directed downward in such a manner as to not create off-site glare or adversely impact adjacent properties. The style, location and height of the lighting fixtures shall be submitted with the building plans and shall be subject to approval by the Community Development Director or his designee.
- 15. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 16. It is the property owner's responsibility to insure that all construction of private property improvements occur on private property. It is the owner's responsibility to identify the property lines and insure compliance by the owner's agents.
- 17. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No.835 N.S., Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to removal.
- 18. No storage of trash cans or recycling bins shall be permitted within the public right-of-way.
- 19. Prior to recordation of the map or prior to occupancy of a project, all conditions of approval shall be completed to the satisfaction of the City Engineer and Community Developer Director or his designee.
- 20. Two sets of the revised Planning Commission approved plans incorporating all Conditions of Approval, standard and site specific, shall be submitted to the Community Development Department prior to the issuance of building permits.

(Adopted by Planning Commission Resolution _____)

Agenda Item 2

21. Prior to the issuance of building permits, the
- Development Review Committee shall approve the following:
 - Planning Division Staff shall approve the following:
 - a. A detailed site plan indicating the location of all structures, parking layout, outdoor storage areas, walls, fences and trash enclosures;
 - b. A detailed landscape plan;
 - c. Detailed building elevations of all structures indicating materials, colors, and architectural treatments;
 - d. Other: See PD 12-006 Amend. Res. _____

B. GENERAL CONDITIONS – TRACT/PARCEL MAP:

1. In accordance with Government Section 66474.9, the subdivider shall defend, indemnify and hold harmless the City, or its agent, officers and employees, from any claim, action or proceeding brought within the time period provided for in Government Code section 66499.37, against the City, or its agents, officers, or employees, to attack, set aside, void, annul the City's approval of this subdivision. The City will promptly notify subdivider of any such claim or action and will cooperate fully in the defense thereof.
2. The Covenants, Conditions, and Restrictions (CC&Rs) and/or Articles Affecting Real Property Interests are subject to the review and approval of the Community Development Department, the Public Works Department and/or the City Attorney. They shall be recorded concurrently with the Final Map or prior to the issuance of building permits, whichever occurs first. A recorded copy shall be provided to the affected City Departments.
3. The owner shall petition to annex residential Tract (or Parcel Map) _____ into the City of Paso Robles Community Facilities District No. 2005-1 for the purposes of mitigation of impacts on the City's Police and Emergency Services Departments.
4. Street names shall be submitted for review and approval by the Planning Commission, prior to approval of the final map.
5. The following areas shall be permanently maintained by the property owner, Homeowners' Association, or other means acceptable to the City:

_____.

(Adopted by Planning Commission Resolution _____)

Agenda Item 2

ENGINEERING DIVISION- The applicant shall contact the Engineering Division, (805) 237-3860, for compliance with the following conditions:

All conditions marked are applicable to the above referenced project for the phase indicated.

C. PRIOR TO ANY PLAN CHECK:

1. The applicant shall enter into an Engineering Plan Check and Inspection Services Agreement with the City.

D. PRIOR TO ISSUANCE OF A GRADING PERMIT:

1. Prior to approval of a grading plan, the developer shall apply through the City, to FEMA and receive a Letter of Map Amendment (LOMA) issued from FEMA. The developer's engineer shall provide the required supporting data to justify the application.
2. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No. 553, Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to its removal.
3. A complete grading and drainage plan shall be prepared for the project by a registered civil engineer and subject to approval by the City Engineer. The project shall conform to the City's Storm Water Discharge Ordinance.
4. A Preliminary Soils and/or Geology Report providing technical specifications for grading of the site shall be prepared by a Geotechnical Engineer.
5. A Storm Water Pollution Prevention Plan per the State General Permit for Storm Water Discharges Associated with Construction Activity shall be provided for any site that disturbs greater than or equal to one acre, including projects that are less than one acre that are part of a larger plan of development or sale that would disturb more than one acre.

E. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

1. All off-site public improvement plans shall be prepared by a registered civil engineer and shall be submitted to the City Engineer for review and approval. The improvements shall be designed and placed to the Public Works Department Standards and Specifications.

(Adopted by Planning Commission Resolution _____)

Agenda Item 2

- 2. The applicant shall submit a composite utility plan signed as approved by a representative of each public utility.
- 3. Landscape and irrigation plans for the public right-of-way shall be incorporated into the improvement plans and shall require approval by the Streets Division Supervisor and the Community Development Department.
- 4. In a special Flood Hazard Area as indicated on a Flood Insurance Rate Map (FIRM) the owner shall provide an Elevation Certificate in accordance with the National Flood Insurance program. This form must be completed by a land surveyor or civil engineer licensed in the State of California.

F. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY OR RECORDATION OF THE FINAL MAP:

The Planning Commission has made a finding that the fulfillment of the construction requirements listed below are a necessary prerequisite to the orderly development of the surrounding area.

- 1. The applicant shall pay any current and outstanding fees for Engineering Plan Checking and Construction Inspection services.
- 2. All public improvements are completed and approved by the City Engineer, and accepted by the City Council for maintenance.
- 3. The owner shall offer to dedicate and improve the following street(s) to the standard indicated:

Street Name	City Standard	Standard Drawing No.
-------------	---------------	----------------------

- 4. If, at the time of approval of the final map, any required public improvements have not been completed and accepted by the City the owner shall be required to enter into a Subdivision Agreement with the City in accordance with the Subdivision Map Act.

Bonds required and the amount shall be as follows:
Performance Bond.....100% of improvement costs.
Labor and Materials Bond.....50% of performance bond.

- 5. If the existing City street adjacent to the frontage of the project is inadequate for the traffic generated by the project, or will be severely damaged by the construction, the applicant shall excavate the entire structural section and replace it with a standard half-width street plus a 12' wide travel lane and 8' wide graded shoulder adequate to provide for two-way traffic.
- 6. If the existing pavement and structural section of the City street adjacent to the

(Adopted by Planning Commission Resolution _____)

Agenda Item 2

frontage of the project is adequate, the applicant shall provide a new structural section from the proposed curb to the edge of pavement and shall overlay the existing paving to centerline for a smooth transition.

- 7. Due to the number of utility trenches required for this project, the City Council adopted Pavement Management Program requires a pavement overlay on _____ along the frontage of the project.
- 8. The applicant shall install all utilities. Street lights shall be installed at locations as required by the City Engineer. All existing overhead utilities adjacent to or within the project shall be relocated underground except for electrical lines 77 kilovolts or greater. All utilities shall be extended to the boundaries of the project.
- 9. The owner shall offer to dedicate to the City the following easement(s). The location and alignment of the easement(s) shall be to the description and satisfaction of the City Engineer:
 - a. Public Utilities Easement;
 - b. Water Line Easement;
 - c. Sewer Facilities Easement;
 - d. Landscape Easement;
 - e. Storm Drain Easement.
- 10. The developer shall annex to the City's Landscape and Lighting District for payment of the operating and maintenance costs of the following:
 - a. Street lights;
 - b. Parkway/open space landscaping;
 - c. Wall maintenance in conjunction with landscaping;
 - d. Graffiti abatement;
 - e. Maintenance of open space areas.
- 11. For a building with a Special Flood Hazard Area as indicated on a Flood Insurance Rate Map (FIRM), the developer shall provide an Elevation Certificate in accordance with the National Flood Insurance Program. This form must be completed by a lands surveyor or civil engineer licensed in the State of California.
- 12. All final property corners shall be installed.
- 13. All areas of the project shall be protected against erosion by hydro seeding or landscaping.
- 14. All construction refuse shall be separated (i.e. concrete, asphalt concrete, wood gypsum board, etc.) and removed from the project in accordance with the City's Source Reduction and Recycling Element.

(Adopted by Planning Commission Resolution _____)

Agenda Item 2

- 15. Clear blackline mylars and paper prints of record drawings, signed by the engineer of record, shall be provided to the City Engineer prior to the final inspection. An electronic autocad drawing file registered to the California State Plane – Zone 5 / NAD83 projected coordinate system, units in survey feet, shall be provided.

PASO ROBLES DEPARTMENT OF EMERGENCY SERVICES- The applicant shall contact the Department of Emergency Services, (805) 227-7560, for compliance with the following conditions:

G. GENERAL CONDITIONS

- 1. Prior to the start of construction:
 - Plans shall be reviewed, approved and permits issued by Emergency Services for underground fire lines.
 - Applicant shall provide documentation to Emergency Services that required fire flows can be provided to meet project demands.
 - Fire hydrants shall be installed and operative to current, adopted edition of the California Fire Code.
 - A based access road sufficient to support the department's fire apparatus (HS-20 truck loading) shall be constructed and maintained for the duration of the construction phase of the project.
 - Access road shall be at least twenty (20) feet in width with at least thirteen (13) feet, six (6) inches of vertical clearance.

- 2. Provide central station monitored fire sprinkler system for all residential, commercial and industrial buildings that require fire sprinklers in current, adopted edition of the California Building Code, California Fire Code and Paso Robles Municipal Code.
 - Plans shall be reviewed, approved and permits issued by Emergency Services for the installation of fire sprinkler systems.

- 3. Provide central station monitored fire alarm system for all residential, commercial and industrial buildings that require fire alarm system in current, adopted edition of the California Building Code, California Fire Code and Paso Robles Municipal Code.

- 4. If required by the Fire Chief, provide on the address side of the building if applicable:
 - Fire alarm annunciator panel in weatherproof case.
 - Knox box key entry box or system.
 - Fire department connection to fire sprinkler system.

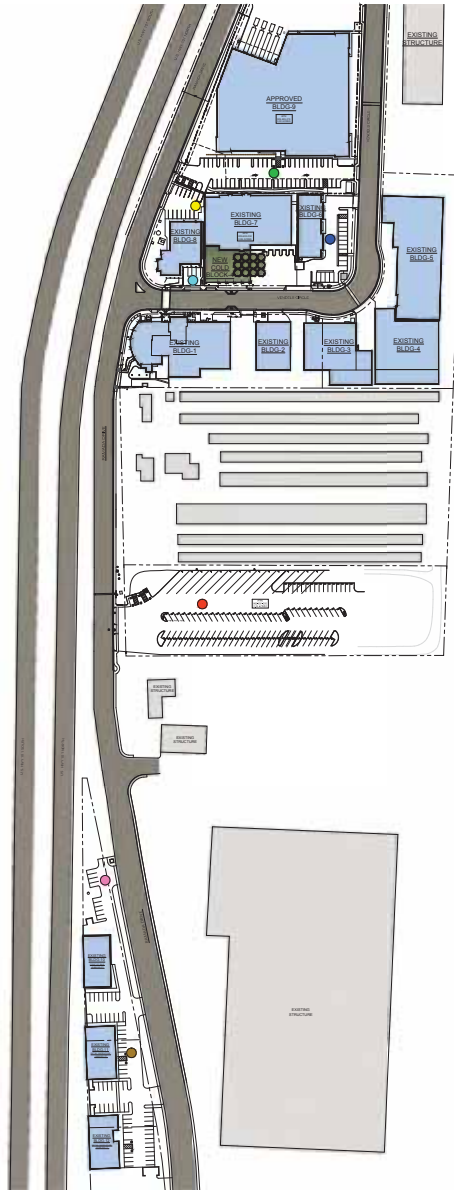
(Adopted by Planning Commission Resolution _____)

Agenda Item 2

5. Provide temporary turn-around to current City Engineering Standard for phased construction streets that exceed 150 feet in length.
6. Project shall comply with all requirements in current, adopted edition of California Fire Code and Paso Robles Municipal Code.
7. Prior to the issuance of Certificate of Occupancy:
 - Final inspections shall be completed on all underground fire lines, fire sprinkler systems, fire alarm systems and chemical hood fire suppression systems.
 - Final inspections shall be completed on all buildings.

(Adopted by Planning Commission Resolution _____)

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OVERALL CAMPUS - KEY PLAN

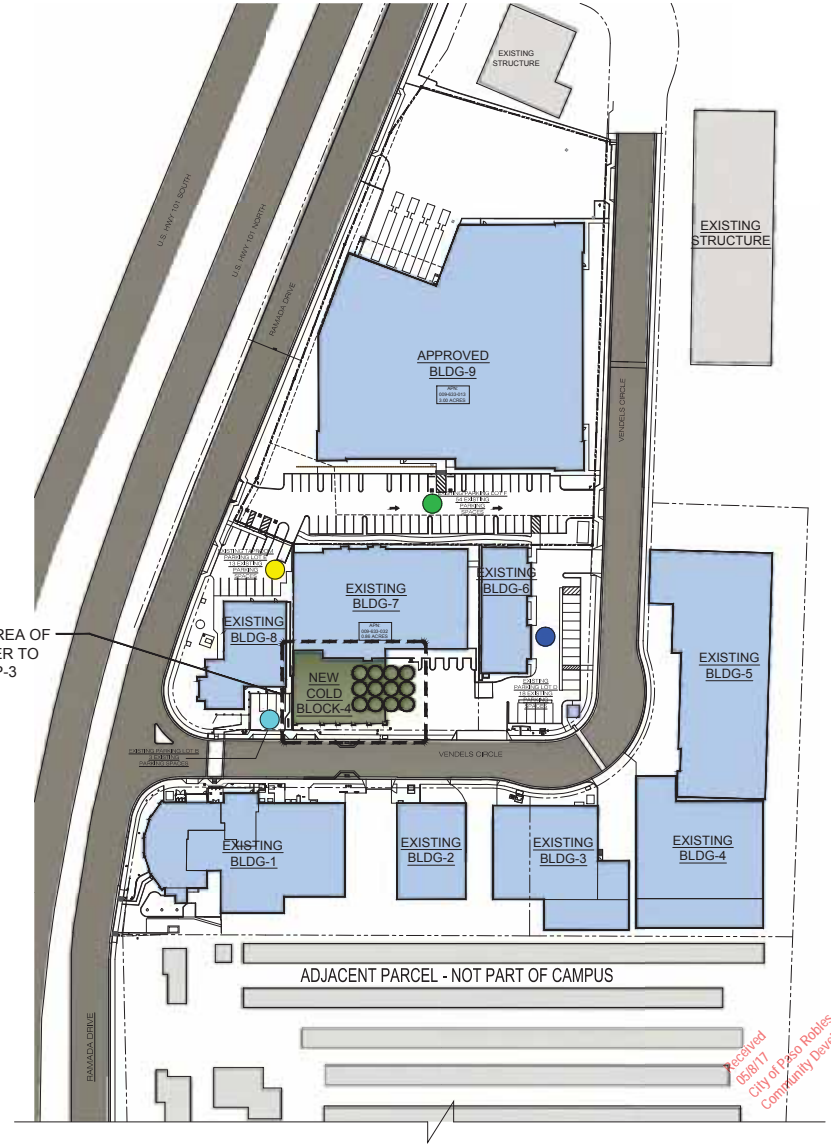
Scale: N.T.S.

KEY PLAN BUILDING LEGEND	
	PROPOSED COLD BLOCK 4
	FIRESTONE WALKER BUILDINGS
	NON-ASSOCIATED BUILDINGS
	PARKING LOT 'A'
	PARKING LOT 'B'
	PARKING LOT 'D'
	PARKING LOT 'E'
	PARKING LOT 'F'
	PARKING LOT 'H'
	PARKING LOT 'J'

CAMPUS PARKING CALCULATION				
BUILDING NUMBER & FUNCTION	FLOOR AREA IN SQUARE FEET	RATIO (PARKING SPACES PER SQUARE FEET)	SPACES SECURED	LOCATION OF SPACES
EXISTING BUILDING 1 A. WINE PRODUCTION B. WAREHOUSE	15,039 SQ. FT.	WINE PRODUCTION 1:1000	15	PARKING LOT A
	2,400 SQ. FT.	COMMERCIAL 3:1000	8	
	9,975 SQ. FT.	WINE PRODUCTION 1:1000	10	
EXISTING BUILDING 2 A. CANNERY	6,148 SQ. FT.	WINE PRODUCTION 1:1000	7	PARKING LOT F
EXISTING BUILDING 3 A. PACKAGING	14,221 SQ. FT.	WINE PRODUCTION 1:1000	15	PARKING LOT A
EXISTING BUILDING 4 A. BOTTLING HALL B. STORAGE	14,000 SQ. FT.	WINE PRODUCTION 1:1000	14	PARKING LOT F
	3,000 SQ. FT.	WINE STORAGE 1:500	6	
EXISTING BUILDING 5 A. COLD WAREHOUSE	25,000 SQ. FT.	WINE WAREHOUSE 1:500	5	7 @ PARKING LOT F 4 @ PARKING LOT A
EXISTING BUILDING 6 A. MAINTENANCE & ADMIN.	6,307 SQ. FT.	COMMERCIAL 3:1000	19	10 @ PARKING LOT D 1 @ PARKING LOT F
EXISTING BUILDING 7 A. WAREHOUSE STORAGE	18,900 SQ. FT.	WINE WAREHOUSE 1:500	4	PARKING LOT F
NEW BUILDING 7 ADDITION A. WAREHOUSE STORAGE	6,360 SQ. FT.	WINE WAREHOUSE 1:500	2	PARKING LOT F
EXISTING BUILDING 8 A. THE PATRIOT	6,840 SQ. FT.	RESTAURANT 1:1000	15	3 @ PARKING LOT B 10 @ PARKING LOT E 1 @ PARKING LOT F
APPROVED BUILDING 9 A. WAREHOUSE STORAGE	50,240 SQ. FT.	WINE WAREHOUSE 1:500	12	5 @ PARKING LOT F 7 @ PARKING LOT A
EXISTING BUILDING 10 A. STORES OF SALE	5,800 SQ. FT.	COMMERCIAL 3:1000	18	11 @ PARKING LOT H 7 @ PARKING LOT J
EXISTING BUILDING 11 A. WAREHOUSE STORAGE	6,800 SQ. FT.	WAREHOUSE/STOR 1:1000	7	PARKING LOT J
EXISTING BUILDING 12 A. WAREHOUSE STORAGE	6,800 SQ. FT.	WAREHOUSE/STOR 1:1000	7	PARKING LOT J

PARKING LOT CAPACITY				
PARKING LOT	# OF SPACES AVAILABLE	BUILDING USING SPACES	# OF SPACES USED	# OF SPACES LEFT
LOT A	72 STANDARD 3 ACCESSIBLE	EXISTING BLDG 1	34	15 OPEN
		EXISTING BLDG 3	15	
		EXISTING BLDG 5	4	
		APPROVED BLDG 9	7	
		TOTAL	60	
LOT B	2 STANDARD 1 ACCESSIBLE	EXISTING BUILDING 8	3	0 FULL
LOT D	17 STANDARD 1 ACCESSIBLE	EXISTING BUILDING 6	18	0 FULL
LOT E	11 STANDARD 2 COMPACT	EXISTING BUILDING 8	13	0 FULL
REUSED LOT F	48 STANDARD 5 ACCESSIBLE	EXISTING BUILDING 2	7	0 FULL
		EXISTING BUILDING 3	15	
		EXISTING BUILDING 4	1	
		EXISTING BUILDING 6	4	
		NEW BUILDING 7 EXISTING BUILDING 8 APPROVED BLDG 9	2 9 5	
		TOTAL	54	0 FULL
PROPOSED LOT H	11 STANDARD	EXISTING BLDG 10	11	0 FULL
PROPOSED LOT J	57 STANDARD 4 ACCESSIBLE	EXISTING BLDG 10	7	40 OPEN
		EXISTING BLDG 11	7	
		EXISTING BLDG 12	7	
		TOTAL	21	
TOTAL	210 STANDARD 2 COMPACT 14 ACCESSIBLE 226 TOTAL	ALL BUILDINGS	90	55 OPEN

PROPOSED AREA OF WORK, REFER TO SHEET SP-3



NORTH CAMPUS PLAN

Scale: 1" = 60'-0"

HARRIS
Architecture & Design
151 West Branch Street, Suite E
Arroyo Grande, CA 93420
(805) 574-1550

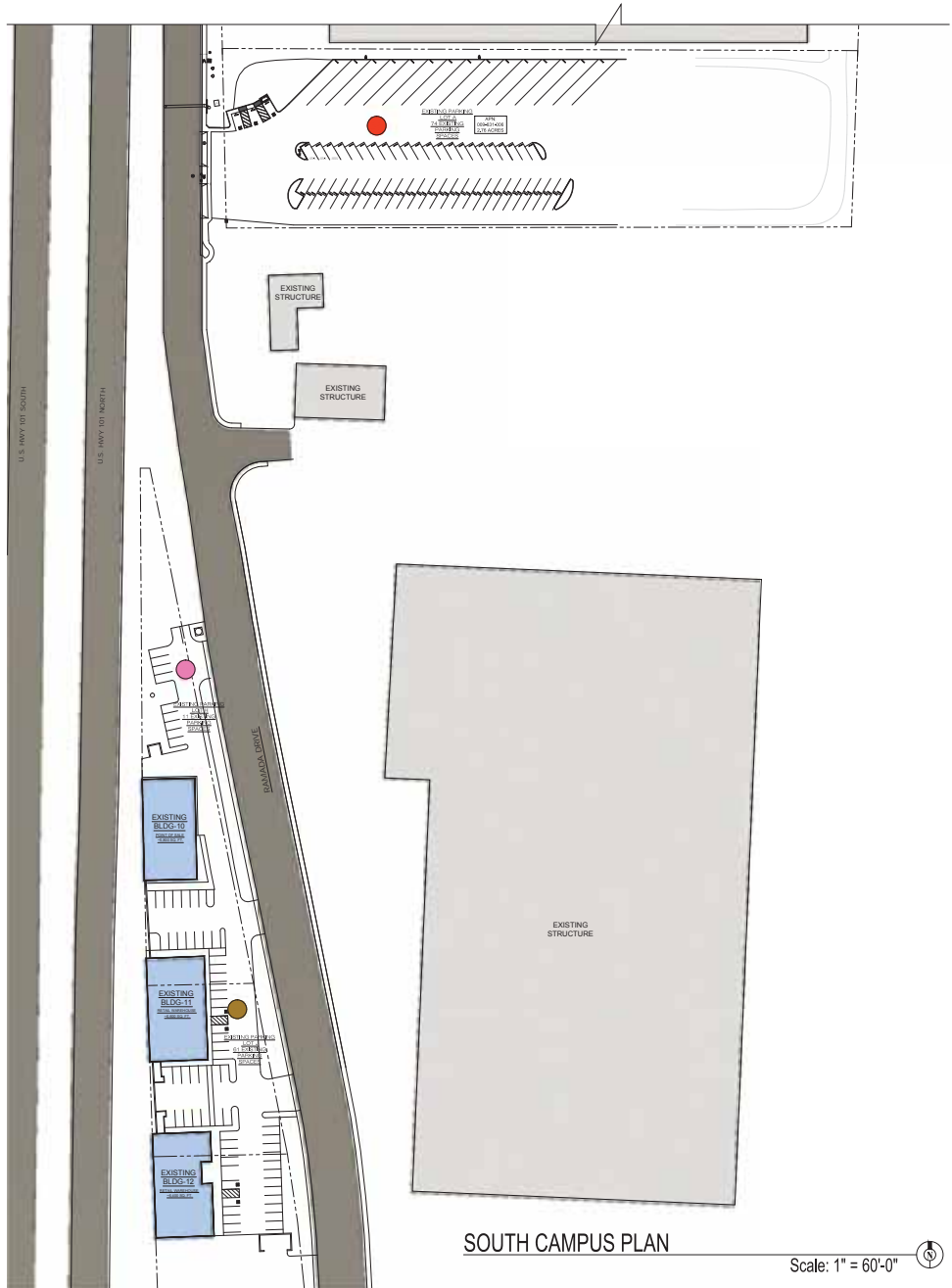


REVISIONS

PROJECT TITLE
FIRESTONE WALKER COLD BLOCK 4 ADDITION
PASO ROBLES, CALIFORNIA

DRAWN BY: JMS
DATE: 02/23/2017
CHECKED:
PROJECT NO:

SP-1



SOUTH CAMPUS PLAN

Scale: 1" = 60'-0"

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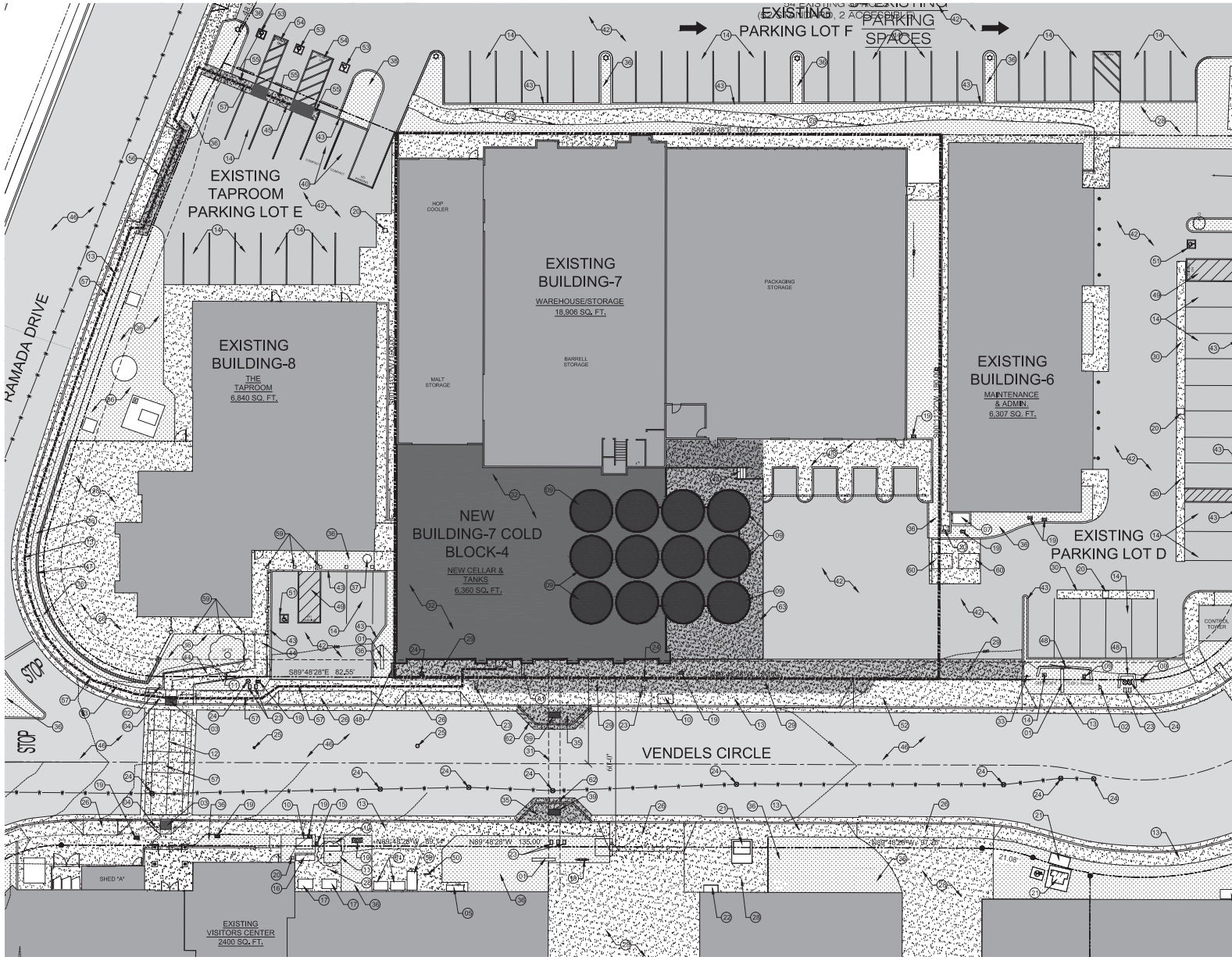
HARRIS
 Architecture & Design
 151 West Branch Street, Suite E
 Arroyo Grande, CA 93420
 (805) 574-1550

REVISIONS

PROJECT TITLE
FIRESTONE WALKER COLD BLOCK 4 ADDITION
 PASO ROBLES, CALIFORNIA
 DRC SET

DRAWN BY: JKD
 DATE: 09/29/2018
 CHECKED BY:
 PROJECT NO:

SP-2



- SITE PLAN NOTES**
- 1 EXISTING DOUBLE DETECTOR CHECK ASSEMBLY VALVE & PIPE (STRUCTURAL CONNECTION TO REMAIN)
 - 2 EXISTING FIRE HYDRANT TO REMAIN
 - 3 EXISTING TRUNCATED CONES TO REMAIN
 - 4 EXISTING ACCESSIBLE CURB RAMP TO REMAIN
 - 5 EXISTING 1/2" HMP ELECTRICAL SERVICE (SEE ELECTRICAL SHEETS)
 - 6 NOTE REMOVED
 - 7 EXISTING UTILITY CABINET TO REMAIN
 - 8 EXISTING CONCRETE LOADING DOCKS TO REMAIN
 - 9 NEW UTILITY RAMP UNDER CONCRETE SLAB (SEE SHEET AWB FOR DETAILS, SEE STRUCTURAL SHEETS FOR SLAB)
 - 10 EXISTING UNDERGROUND ELECTRICAL VAULT TO REMAIN (SEE ELECTRICAL SHEETS)
 - 11 EXISTING TREE TO REMAIN
 - 12 EXISTING PEDESTRIAN CROSSWALK TO REMAIN
 - 13 EXISTING CURB, GUTTER & SIDEWALK TO REMAIN
 - 14 EXISTING FINISHED PARKING STALLS TO REMAIN
 - 15 EXISTING ELECTRICAL PULL BOX TO REMAIN (SEE ELECTRICAL SHEETS)
 - 16 EXISTING PHASE TRANSFORMER (SEE ELECTRICAL SHEETS)
 - 17 EXISTING HVAC CONDENSING UNITS TO REMAIN
 - 18 EXISTING GAS METER TO REMAIN
 - 19 EXISTING CONDENSING WATER CONTROL VALVE TO REMAIN
 - 20 EXISTING DRAIN TO REMAIN
 - 21 EXISTING POSE ELECTRICAL BOX TO REMAIN
 - 22 EXISTING ELECTRIC METER CABINET TO REMAIN
 - 23 EXISTING WATER METER TO REMAIN
 - 24 EXISTING WATER VALVE TO REMAIN
 - 25 EXISTING SEWER MANHOLE TO REMAIN
 - 26 EXISTING DRIVEWAY ENTRANCE TO REMAIN
 - 27 EXISTING POWER POLE TO REMAIN
 - 28 NEW PATHWAY
 - 29 INSTALL NEW CONCRETE FLOORING
 - 30 EXISTING CONCRETE WALKWAY TO REMAIN
 - 31 INSTALL NEW 24" WIDE X 4" HIGH PIPE BRIDGE ABOVE ROAD
 - 32 PROPOSED NEW DRIVING ADDITION
 - 33 EXISTING UNPAVED VEHICLE PARKING SPACES TO REMAIN (SEE DETAIL FOR FINISHES)
 - 34 INSTALL NEW CONCRETE SIDE WALK (SEE SHEET AWB)
 - 35 INSTALL NEW CONCRETE FURF TO REDUCE ROAD WIDTH AT SUPPORTS FOR PIPE BRIDGE
 - 36 EXISTING LANDSCAPING TO REMAIN
 - 37 EXISTING SHRUBS AND TREES TO REMAIN
 - 38 INSTALL NEW LANDSCAPING TO MATCH EXISTING
 - 39 INSTALL NEW 2" X 4" STRUCTURAL SUPPORT COLUMN FOR PIPE BRIDGE (SEE DETAIL FOR FINISHES)
 - 40 CONVERT EXISTING STANDSTILL PARKING SPACES TO 3 CONTACT SPACES
 - 41 NEW CONCRETE STEPS
 - 42 EXISTING ASPHALT PAVEMENT TO REMAIN
 - 43 EXISTING CONCRETE CURB TO REMAIN
 - 44 EXISTING CONCRETE RAMP WITH ACCESSIBLE METAL HANDRAIL ON EACH SIDE TO REMAIN
 - 45 INSTALL NEW 4" WIDE CONCRETE SIDEWALK IN FRONT OF THE NEW ACCESSIBLE RAMP AND LOADING ZONE, TOP OF CONCRETE FINISH TO EQUAL TOP OF LOADING ZONE FOR ACCESSIBLE RAMP
 - 46 EXISTING ASPHALT ROAD TO REMAIN
 - 47 EXISTING ALLEN BLOCK RETAINING WALL TO REMAIN
 - 48 EXISTING NO PARKING LOADING ZONE TO REMAIN
 - 49 EXISTING 37' LONG 30" CAPACITY TRUCK ON CONCRETE SLAB WITH CURB (SEE DETAIL FOR SHEET AWB)
 - 50 EXISTING ACCESSIBLE PARKING SPACE TO REMAIN
 - 51 WIDEN EXISTING DRIVEWAY ENTRANCE
 - 52 NEW ACCESSIBLE PARKING SPACES TO BE INSTALLED ON EXISTING ASPHALT PAVEMENT (SEE DETAIL FOR SHEET AWB)
 - 53 ACCESSIBLE PARKING LOADING ZONE TO BE INSTALLED ON EXISTING ASPHALT PAVEMENT (SEE DETAIL FOR SHEET AWB)
 - 54 NEW ACCESSIBLE PARKING SPACES (SEE DETAIL FOR SHEET AWB)
 - 55 ALTER EXISTING DRIVEWAY APPROACH TO INSTALL NEW 4" WIDE CONCRETE SIDEWALK ON EXISTING ASPHALT PAVEMENT (SEE DETAIL FOR SHEET AWB)
 - 56 CONCRETE BRIDGE APPROACH, BRIDGE TO MATCH EXISTING BRIDGE (SEE DETAIL FOR SHEET AWB)
 - 57 ACCESSIBLE PARKING LOADING ZONE TO BE INSTALLED ON EXISTING ASPHALT PAVEMENT (SEE DETAIL FOR SHEET AWB)
 - 58 ACCESSIBLE PARKING LOADING ZONE TO BE INSTALLED ON EXISTING ASPHALT PAVEMENT (SEE DETAIL FOR SHEET AWB)
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 - 100 EXISTING 30" LONG 30" CAPACITY TRUCK ON CONCRETE SLAB WITH CURB (SEE DETAIL FOR SHEET AWB)

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PARTIAL SITE PLAN - ENLARGED
Scale: 1" = 16'-0"

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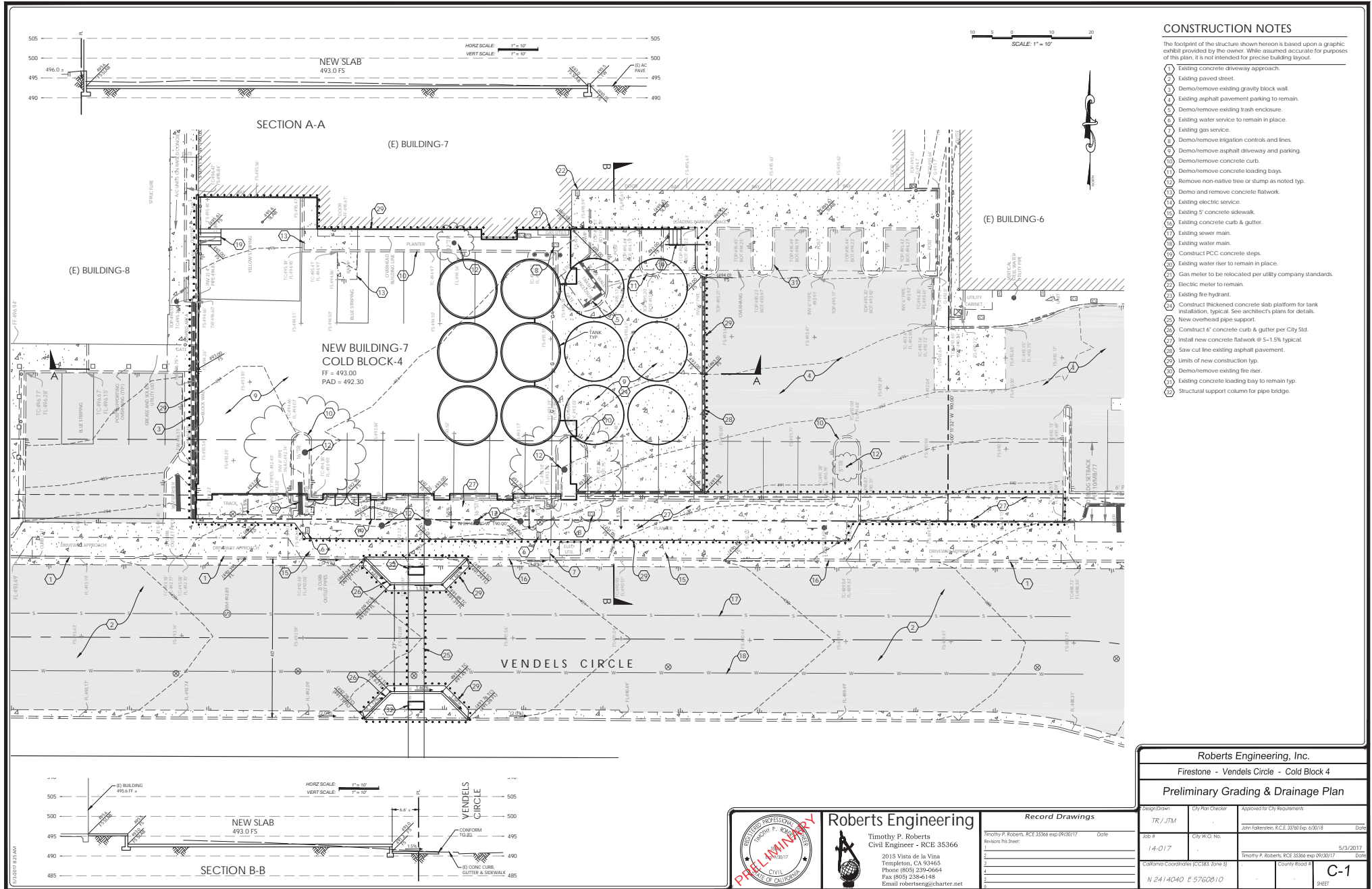
151 West Branch Street, Suite E
Arroyo Grande, CA 93420
(805) 574-1550

REVISIONS

PROJECT TITLE
FIRESTONE WALKER COLD BLOCK 4 ADDITION
PASO ROBLES, CALIFORNIA

DRAWN BY: JMG
DATE: 03/23/2017
CHECKED:
PROJECT NO:

SP-4



CONSTRUCTION NOTES

The footprint of the structure shown hereon is based upon a graphic exhibit provided by the owner. While assumed accurate for purposes of this plan, it is not intended for precise building layout.

- 1. Existing concrete driveway approach.
- 2. Existing paved street.
- 3. Demo/remove existing gravel block wall.
- 4. Existing asphalt pavement parking to remain.
- 5. Demo/remove existing trash enclosure.
- 6. Existing water service to remain in place.
- 7. Existing gas service.
- 8. Demo/remove irrigation controls and lines.
- 9. Demo/remove asphalt driveway and parking.
- 10. Demo/remove concrete curb.
- 11. Demo/remove concrete loading bays.
- 12. Remove non-native tree or stump as noted typ.
- 13. Demo and remove concrete flatwork.
- 14. Existing electric service.
- 15. Existing 5' concrete sidewalk.
- 16. Existing concrete curb & gutter.
- 17. Existing sewer main.
- 18. Existing water main.
- 19. Construct PCC concrete steps.
- 20. Existing water riser to remain in place.
- 21. Gas meter to be relocated per utility company standards.
- 22. Electric meter to remain.
- 23. Existing fire hydrant.
- 24. Construct thickened concrete slab platform for tank installation, typical. See architect's plans for details.
- 25. New overhead pipe support.
- 26. Construct 6" concrete curb & gutter per City Std.
- 27. Install new concrete flatwork @ S-1.5% typical.
- 28. Saw cut line existing asphalt pavement.
- 29. Limits of new construction typ.
- 30. Demo/remove existing fire riser.
- 31. Existing concrete loading bay to remain typ.
- 32. Structural support column for pipe bridge.

Roberts Engineering, Inc.			
Firestone - Vendels Circle - Cold Block 4			
Preliminary Grading & Drainage Plan			
Design/Drawn: TR/JTM	City Plan Checker: City W.O. No.	Approved for City Requirements: John Fakensten, P.C.E. 33760 Exp. 6/30/18	Date: 5/3/2017
Job #: 14-017	City W.O. No.:	Timothy P. Roberts, RCE 33366 exp 09/30/17	DS#:
California Coordinator (C.C. 383, Zone 9) N 2414040 E 5760810	County Road:		
			C-1 SHEET

REGISTERED PROFESSIONAL
TIMOTHY P. ROBERTS
3/30/17
CIVIL
STATE OF CALIFORNIA

Roberts Engineering

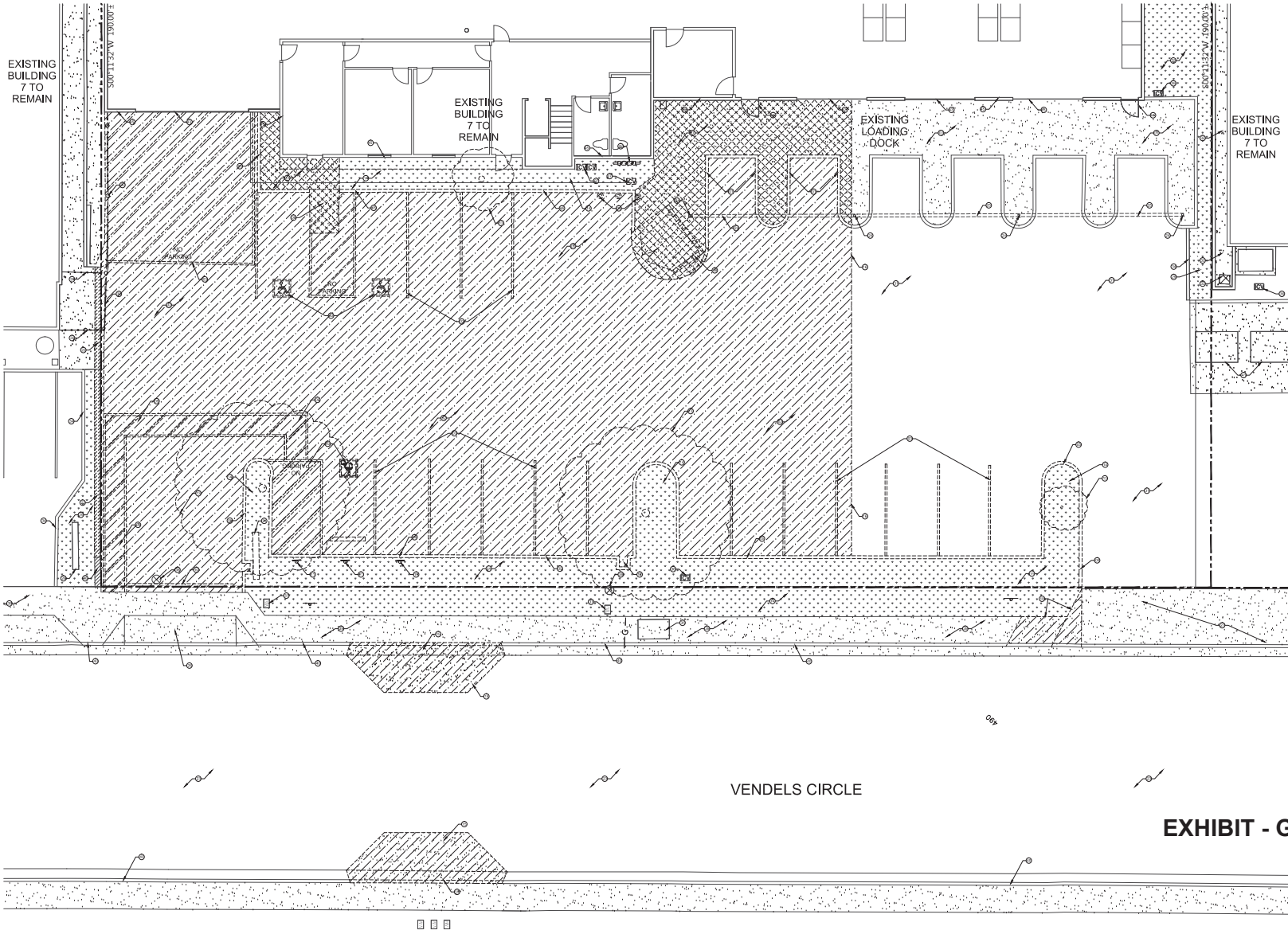
Timothy P. Roberts
Civil Engineer - RCE 33366

2015 Vista de la Vina
Templeton, CA 93465
Phone (805) 239-0664
Fax (805) 238-6148
Email: robertseng@charter.net

Record Drawings	
Timothy P. Roberts, RCE 33366 exp 09/30/17	Date
Revisions Shown:	
1.	
2.	
3.	
4.	
5.	

Agenda Item 2

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- DEMO PLAN KEY NOTES**
- 1. EXISTING CONCRETE LOADING DOCKS TO REMAIN
 - 2. REMOVE EXISTING ASPHALT SURFACE
 - 3. REMOVE EXISTING ACCESSIBLE PARKING & FORMER STANDARD PARKING STRIPES SPACES
 - 4. REMOVE EXISTING BOLLARDS
 - 5. REMOVE EXISTING CONCRETE CURB
 - 6. REMOVE EXISTING ASPHALT TRAMP
 - 7. REMOVE EXISTING FIRE/RETARDATION CONTROL VALVE
 - 8. REMOVE EXISTING MASONRY BLOCK WALL AROUND EXISTING TRANSDOMER
 - 9. REMOVE EXISTING PAINTED PEDESTRIAN WALKWAY
 - 10. REMOVE EXISTING TRACK
 - 11. REMOVE EXISTING ACCESSIBLE PARKING SIGN
 - 12. REMOVE EXISTING DRIVEWAY
 - 13. REMOVE EXISTING TREE
 - 14. REMOVE EXISTING PLANTER AREA
 - 15. REMOVE PORTION OF CONCRETE CURB, GUTTER & PORTION OF ASPHALT ROADWAY
 - 16. HATCHED LINE INDICATES TRANSITION BETWEEN EXISTING & DEMO ASPHALT FINISHING
 - 17. REMOVE CONCRETE FLATWORK
 - 18. REMOVE PORTION OF EXISTING CONCRETE REGIONAL FIRE/RETARDATION APPROPRIATE
 - 19. NOTE REMOVED
 - 20. REMOVE EXISTING WATER FEEDER
 - 21. REMOVE PORTION OF BLOCK RETAINING WALL
 - 22. EXISTING ASPHALT ROADWAY TO REMAIN
 - 23. EXISTING EXTERIOR BURROPHOP ROOF OVERHANGS TO REMAIN
 - 24. HATCHED LINE INDICATES EXISTING STRUCTURAL BEAM & EDGE OF OVERHANG AREA
 - 25. EXISTING CONCRETE OVERHANGS TO REMAIN
 - 26. EXISTING CONCRETE DRIVEWAY APPROX TO BE DEMOED
 - 27. EXISTING WATER FEEDER TO REMAIN
 - 28. EXISTING LANDSCAPED PLANTER TO REMAIN
 - 29. REMOVE EXISTING FENCE & GATE
 - 30. EXISTING ASPHALT DRIVEWAY TO REMAIN
 - 31. EXISTING CONCRETE GUTTER TO REMAIN
 - 32. EXISTING DRAIN INLET BOX TO REMAIN
 - 33. EXISTING CONCRETE LANDSCAPE CURB TO REMAIN
 - 34. EXISTING UNDERGROUND ELECTRICAL VAULT TO REMAIN
 - 35. EXISTING FIRE/RETARDATION CONTROL VALVE TO REMAIN
 - 36. EXISTING WATER METER TO REMAIN
 - 37. EXISTING WATER VALVE TO REMAIN
 - 38. EXISTING CONCRETE PLATFORM TO REMAIN
 - 39. EXISTING CURB & GUTTER TO REMAIN
 - 40. EXISTING TRASH & RECYCLE BINS TO REMAIN
 - 41. REMOVE EXISTING GAS METER
 - 42. EXISTING ROLLUP OVERHEAD DOOR TO REMAIN
 - 43. EXISTING ACCESS DOORS TO REMAIN
 - 44. EXISTING FRAMED WALL & WALL FINISHES TO REMAIN
 - 45. PORTION OF BLOCK RETAINING WALL TO REMAIN

- LEGEND**
- EXISTING METAL FRAMED WALL & WALL FINISHES TO REMAIN
 - REMOVED WALL OR PORTION OF WALL REMOVED SEE NOTES
 - REMOVED CONCRETE FLATWORK
 - REMOVED ASPHALT
 - EXISTING CONCRETE FLATWORK TO REMAIN

EXHIBIT - G DEMO PLAN

MAIN FLOOR DEMO PLAN Scale: 1/8" = 1'-0"

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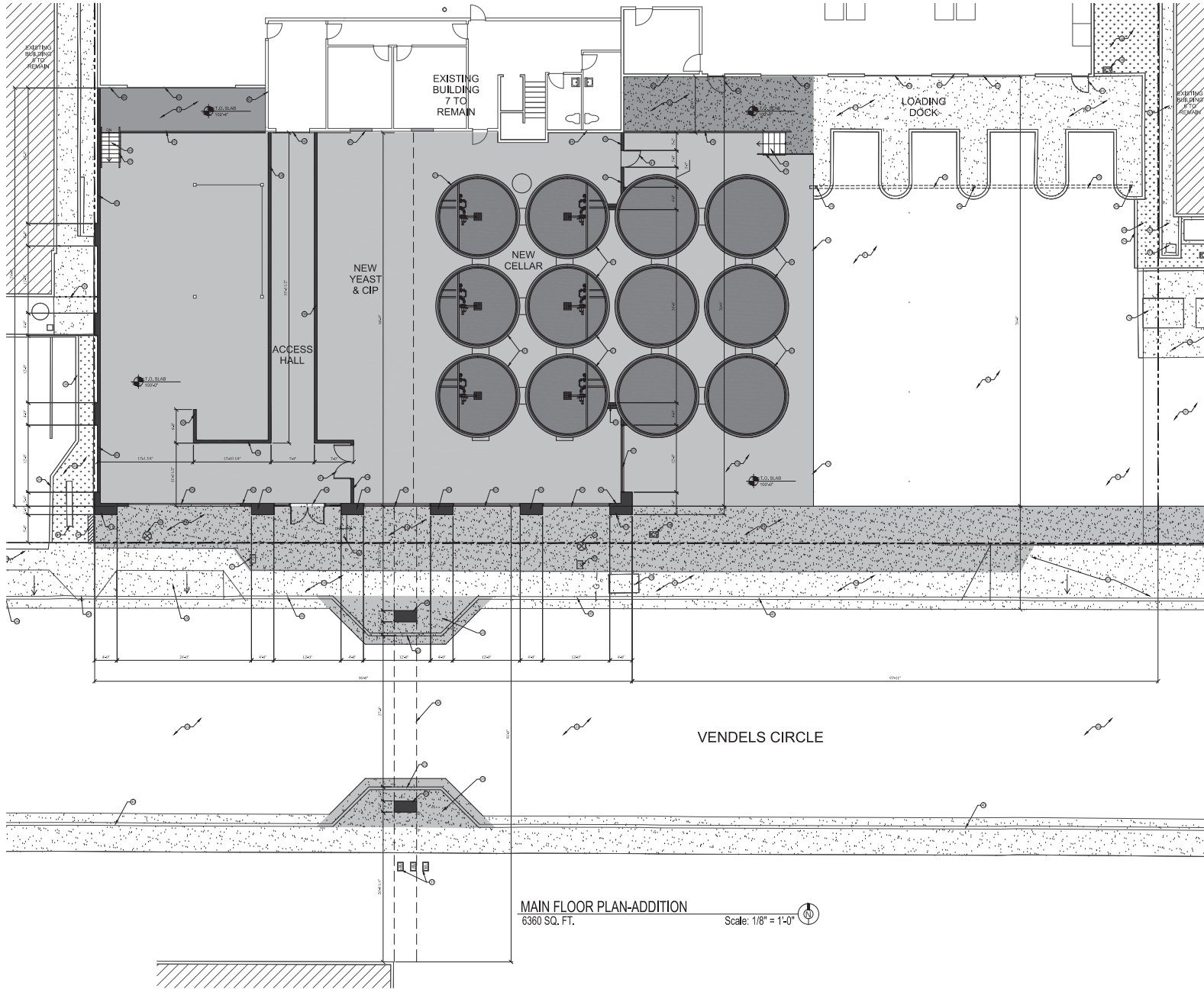
PROJECT TITLE
FIRESTONE WALKER COLD BLOCK 4 ADDITION
 PASO ROBLES, CALIFORNIA

DRAWN BY: JMS
 FEBRUARY 22, 2017
 CHECKED:
 PROJECT NO.:

D1.0

Agenda Item 2

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PLAN KEY NOTES

- 1 EXISTING CONCRETE LOADING DOORS TO REMAIN
- 2 8" X 16 GALV. GALVANIZED METAL EXTERIOR STUD WALL @ 16" O.C. FILLED WITH F-38 SOUND ATTENUATION ACCIDENT RESISTANT
- 3 4" X 8" X 2" DEEP FRAMED OUT COLUMN WRAPPED WITH REINFORCED METAL
- 4 ALUMINUM STOREFRONT ENTRY DOOR & SLEIGHTS
- 5 3" X 4" X 4" STRUCTURAL SUPPORT COLUMN FOR PIPE BRIDGE
- 6 NEW 6" X 4" X 4" X 4" WITH PIPE BRIDGE ABOVE
- 7 NEW ALUMINUM STOREFRONT WINDOW
- 8 8" X 16 GALV. GALVANIZED METAL INTERIOR STUD WALL @ 16" O.C.
- 9 NEW 2" X 8" X 16 GALV. GALVANIZED HOLLAP OVERHEAD DOOR WITH ELECTRIC OPERATOR (SEE PARTS)
- 10 INSTALL THICKENED CONCRETE SLAB TRAYFORM FOR INSTALLATION
- 11 REINFORCED TRAYFORM
- 12 FRAMED OUT COLUMN COLUMN WRAPPED WITH REINFORCED METAL
- 13 LOCATION OF TRASH & RECYCLE BINS
- 14 HARBED CONCRETE PLATFORM ALONG EXISTING FACE OF BUILDING 7
- 15 INSTALL NEW METAL STAIR WITH 5/8" DRUMING STEEL PLATE TREADS AND RISERS WITH 1/2" CONCRETE AT RISING. THE SUPPORT AND COVER TREADS OF EACH STAIR SHALL BE PLACED PARALLEL TO AND NOT MORE THAN 1" FROM THE NOSE OF THE TREAD OR LANDING. TREADS SHALL APPROX. THE STAIR PLATFORM SHALL BE AS RESISTANT AS THE OTHER TREADS ON THE STAIR.
- 16 4" X 8" X 2" DEEP FRAMED OUT COLUMN WRAPPED WITH REINFORCED METAL
- 17 4" X 8" X 2" DEEP FRAMED OUT COLUMN WRAPPED WITH REINFORCED METAL
- 18 4" X 8" X 2" DEEP FRAMED OUT COLUMN WRAPPED WITH REINFORCED METAL
- 19 4" X 8" X 2" DEEP FRAMED OUT COLUMN WRAPPED WITH REINFORCED METAL
- 20 4" X 8" X 2" DEEP FRAMED OUT COLUMN WRAPPED WITH REINFORCED METAL
- 21 4" X 8" X 2" DEEP FRAMED OUT COLUMN WRAPPED WITH REINFORCED METAL
- 22 4" X 8" X 2" DEEP FRAMED OUT COLUMN WRAPPED WITH REINFORCED METAL
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- 99 4" X 8" X 2" DEEP FRAMED OUT COLUMN WRAPPED WITH REINFORCED METAL
- 100 4" X 8" X 2" DEEP FRAMED OUT COLUMN WRAPPED WITH REINFORCED METAL

LEGEND

- EXISTING METAL FRAMED WALL & WALL FINISHES TO REMAIN
- NEW METAL STUD WALL & WALL FINISHES TO REMAIN (SEE WALL FINISHES FOR WALL LABEL FINISHES & FINISHES)
- EXISTING WALL FRAMING WITH NEW WALL FINISHES (SEE WALL FINISHES FOR WALL LABEL FINISHES & FINISHES)
- NEW CONCRETE SEE WALL, SEE CIB.
- NEW CONCRETE CURB, SEE CIB SHEETS
- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL, SEE NOTE 116
- NEW EXTERIOR CONCRETE PLATFORM
- EXISTING CONCRETE PLATFORM TO REMAIN
- EXISTING INTERIOR CONCRETE SLAB TO REMAIN
- NEW CONCRETE SLAB AT (ELEVATION 10'-0")
- NEW CONCRETE SLAB AT (ELEVATION 10'-0")

PROJECT TITLE: FIRESTONE WALKER COLD BLOCK 4 ADDITION PASO ROBLES, CALIFORNIA
 DRAWN BY: JMD
 DATE: 03/23/2017
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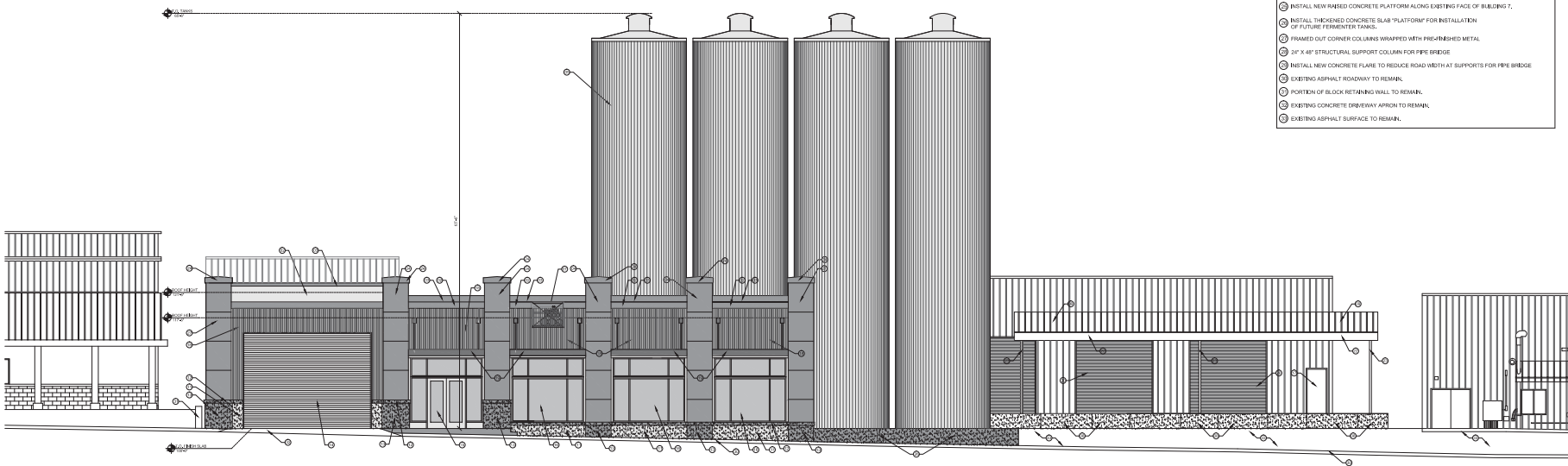
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PREVISIONS
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EXHIBIT - H

EXHIBIT - I

- ELEVATION KEY NOTES
- 1 NEW PRE-CAST CONCRETE SLAB
 - 2 NEW PRE-FINISHED METAL @ PARAPET WALL
 - 3 NEW PRE-FINISHED METAL @ PARAPET CAP
 - 4 4" WIDE X 3" DEEP FRAMED OUT COLUMN WRAPPED WITH PRE-FINISHED METAL.
 - 5 NEW CORRUGATED METAL FERMENTER TANKS
 - 6 NEW 4" HIGH METAL GUARDRAIL AROUND WALKING PLATFORMS
 - 7 NEW 5/8" WIDE X 4'-0" HIGH METAL PIPE-BRIDGE
 - 8 EXISTING CONCRETE LOADING DOORS TO REMAIN
 - 9 EXISTING COVERED ROOF TO REMAIN.
 - 10 BEER SHIELD BRON
 - 11 CONCRETE STEM WALL.
 - 12 PRE-CAST CONCRETE CAP
 - 13 PRE-CAST CONCRETE BASE
 - 14 NEW 20" WIDE X 12" HIGH GALVANIZED ROLL-UP OVERHEAD DOOR WITH ELECTRIC OPERATOR, SITE PAINTED
 - 15 KAWNEER ENCLOSE SERIES STOREFRONT ENTRY FRAME (12' X 11') WITH KAWNEER 300 MEDIUM STYLE DOORS WITH 1" GLASS, STOREFRONT FRAME AND DOOR COVERS A CLEAR ANODIZED FINISH TO MATCH EXISTING STOREFRONT FRAMES
 - 16 KAWNEER ENCLOSE SERIES STOREFRONT WINDOW FRAME (12' X 11') WITH CLEAR ANODIZED FINISH TO MATCH EXISTING STOREFRONT FRAMES.
 - 17 EXISTING ACCESS DOOR TO REMAIN.
 - 18 1/2" DEEP VERTICAL PRE-FINISHED METAL WALL PANEL, OR GAL. WITH CONCEALED FASTENERS (KAWNEER METAL SALES MANUFACTURING CORP.) COLOR T.B.G.
 - 19 INSTALL NEW PRE-FINISHED METAL LOUVERED ROOF CANOPY WITH CABLE SUPPORTS
 - 20 EXISTING ROLL-UP OVERHEAD DOOR TO REMAIN
 - 21 NEW GALVANIZED HOLLOW METAL DOOR WITH GALVANIZED DOOR FRAME, SITE PAINTED.
 - 22 EXISTING STRUCTURAL BEAM SUPPORTING ROOF TO REMAIN
 - 23 EXISTING COLUMN SUPPORTING ROOF TO REMAIN.
 - 24 PRE-FINISHED METAL COLUMN CAPS
 - 25 INSTALL NEW PRE-CAST CONCRETE PLATFORM ALONG EXISTING FACE OF BUILDING 7.
 - 26 INSTALL THICKENED CONCRETE SLAB "PLATFORM" FOR INSTALLATION OF FUTURE FERMENTER TANKS.
 - 27 FRAMED OUT CORNER COLLING WRAPPED WITH PRE-FINISHED METAL.
 - 28 3" X 4" STRUCTURAL SUPPORT COLUMN FOR PIPE BRIDGE
 - 29 INSTALL NEW CONCRETE FLARE TO REDUCE ROAD WIDTH AT SUPPORTS FOR PIPE BRIDGE
 - 30 EXISTING ASPHALT ROADWAY TO REMAIN.
 - 31 PORTION OF BLOCK RETAINING WALL TO REMAIN.
 - 32 EXISTING CONCRETE DRIVEWAY APRON TO REMAIN.
 - 33 EXISTING ASPHALT SURFACE TO REMAIN.



1 SOUTH ELEVATION - NEW Scale: 1/8" = 1'-0"

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REVISIONS

PROJECT TITLE

FIRESTONE WALKER COLD BLOCK 4 ADDITION
PASO ROBLES, CALIFORNIA

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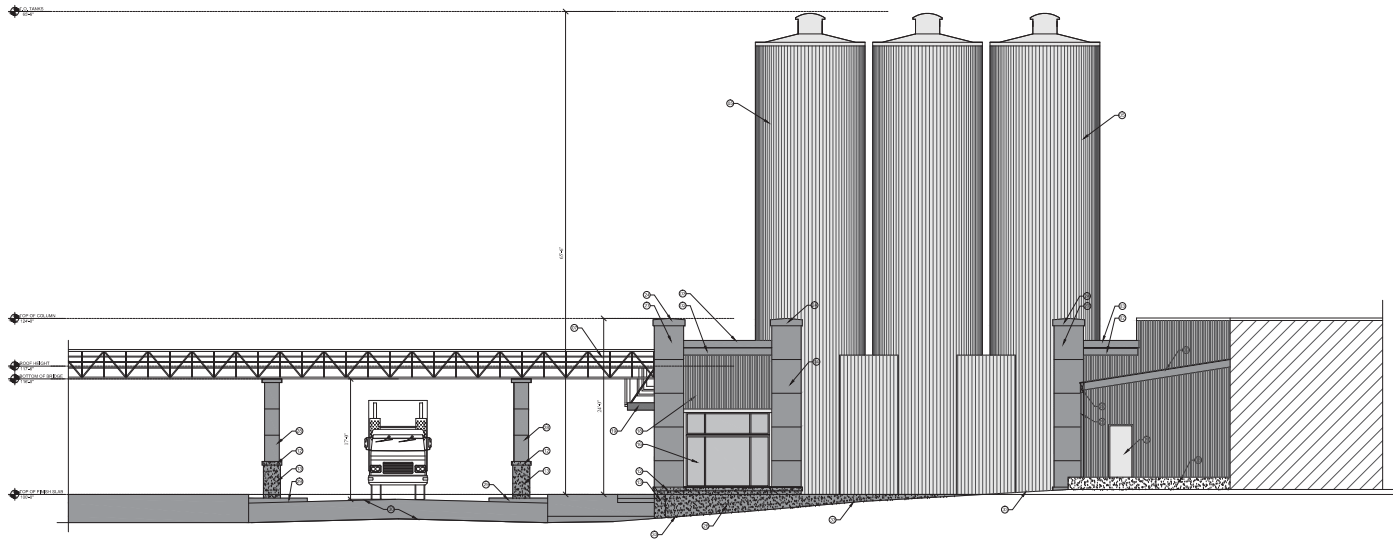
JMG
May 2, 2017

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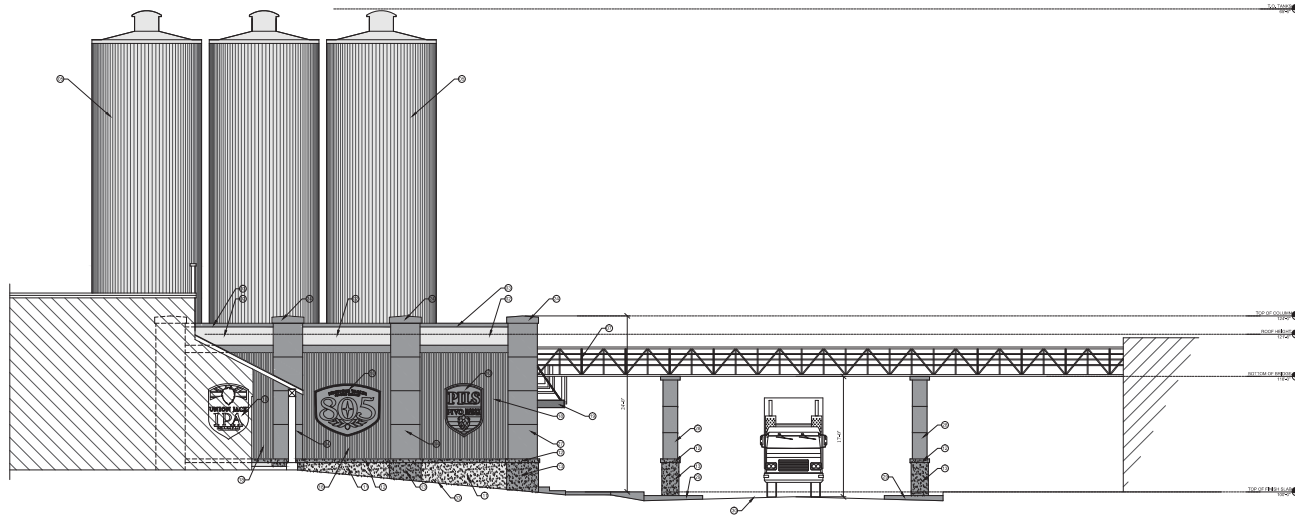
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1 EAST ELEVATION - NEW Scale: 1/8" = 1'-0"



2 WEST ELEVATION - NEW Scale: 1/8" = 1'-0"

EXHIBIT - J

- ELEVATION KEY NOTES**
- 1 NEW PRE-CAST CONCRETE SLAB
 - 2 NEW PRE-FINISHED METAL @ PARAPET WALL
 - 3 NEW PRE-FINISHED METAL @ PARAPET CAP
 - 4 12" WIDE X 2" DEEP FRAMED OUT COLUMN WRAPPED WITH PRE-FINISHED METAL
 - 5 NEW CORRUGATED METAL FERMENTER FRAMES
 - 6 NEW 4" HIGH METAL GUARDRAIL AROUND WALKING PLATFORMS
 - 7 NEW 4" WIDE X 4" HIGH METAL PIPE BRIDGE
 - 8 EXISTING CONCRETE LOADING DOCKS TO REMAIN
 - 9 EXISTING COVERED ROOF TO REMAIN
 - 10 KEEL SHEILD SKIN
 - 11 CONCRETE STEM WALL
 - 12 8" THICK PRE-CAST CONCRETE CAP
 - 13 PRE-CAST CONCRETE BASE
 - 14 NEW 20' WIDE X 10' HIGH GALVANIZED ROLL-UP OVERHEAD DOOR WITH ELECTRIC OPERATOR. SITE PAINTED.
 - 15 SAWNEER ENCORE SERIES STOREFRONT ENTRY FRAME (12' X 7') WITH SAWNEER 300 MEDIUM STYLE DOORS WITH 1" GLASS. STOREFRONT FRAME AND DOOR TO HAVE A CLEAR ANODED FINISH TO MATCH EXISTING STOREFRONT FRAMES.
 - 16 SAWNEER ENCORE SERIES STOREFRONT WINDOW FRAME (12' X 7') WITH CLEAR ANODED FINISH TO MATCH EXISTING STOREFRONT FRAMES.
 - 17 EXISTING ACCESS DOOR TO REMAIN.
 - 18 2" DEEP VERTICAL, PRE-FINISHED METAL WALL PANEL OR GALV. WITH CONCEALED FASTENERS (1-1/2" DIA. SALES MANUFACTURING CORP). COLOR: 1.B.G.
 - 19 INSTALL NEW PRE-FINISHED METAL LOUVERED ROOF CANOPY WITH CABLE SUPPORTS
 - 20 EXISTING ROLL-UP OVERHEAD DOOR TO REMAIN
 - 21 NEW GALVANIZED HOLLOW METAL DOOR WITH GALVANIZED DOOR FRAME. SITE PAINTED.
 - 22 EXISTING STRUCTURAL BEAM SUPPORTING ROOF TO REMAIN
 - 23 EXISTING COLUMN SUPPORTING ROOF TO REMAIN.
 - 24 PRE-FINISHED METAL COLUMN CAPS
 - 25 INSTALL NEW RAISED CONCRETE PLATFORM ALONG EXISTING FACE OF BUILDING T.
 - 26 INSTALL THICKENED CONCRETE SLAB "PLATFORM" FOR INSTALLATION OF FUTURE FERMENTER FRAMES.
 - 27 FRAMED OUT CORNER COLUMNS WRAPPED WITH PRE-FINISHED METAL.
 - 28 12" X 48" STRUCTURAL SUPPORT COLUMN FOR PIPE BRIDGE
 - 29 INSTALL NEW CONCRETE FLARE TO REDUCE ROAD WIDTH AT SUPPORTS FOR PIPE BRIDGE
 - 30 EXISTING ASPHALT ROADWAY TO REMAIN.
 - 31 PORTION OF BLOCK RETAINING WALL TO REMAIN.
 - 32 EXISTING CONCRETE DRAINWAY APRON TO REMAIN.
 - 33 EXISTING ASPHALT SURFACE TO REMAIN.

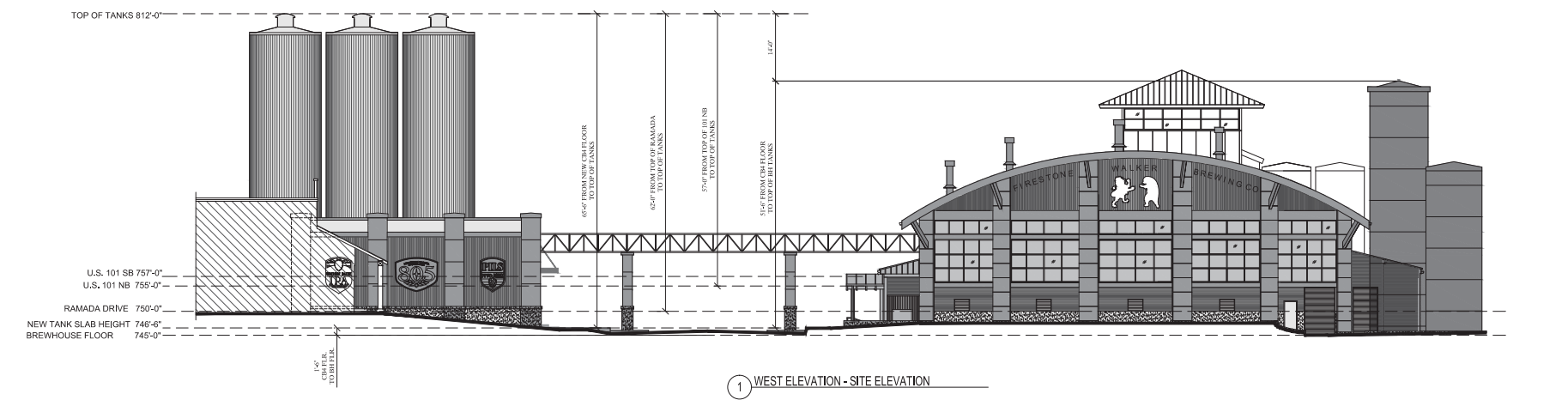
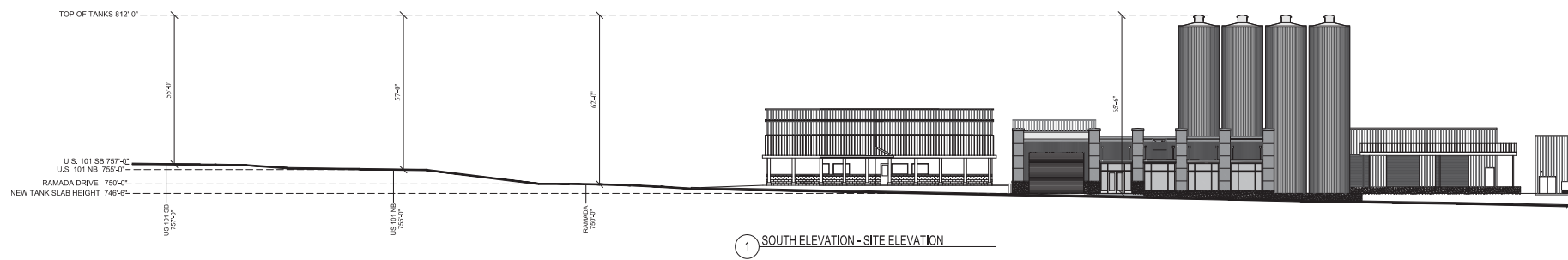
PROJECT TITLE
FIRESTONE WALKER COLD BLOCK 4 ADDITION
 PASO ROBLES, CALIFORNIA

DESIGN BY: JHG
 DATE: 2-2017
 CHECKED:
 PROJECT NO.:

REVISIONS

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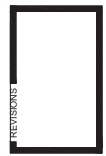
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PROJECT TITLE
FIRESTONE WALKER COLD BLOCK 4 ADDITION
PASO ROBLES, CALIFORNIA

DRAWN BY: JMG
May 2, 2017
CHECKED:
PROJECT NO.:

A2.2

Agenda Item 2

EXHIBIT - L 1



SOUTH ELEVATION
1" = 10'-0"



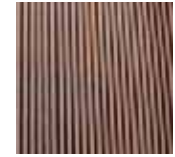
ALUMINUM STOREFRONT
FRAME & GLASS TO



COVERED METAL ROOF
22 GA. STANDING SEAM METAL



COLUMN COVERS:
PRE-FINISHED SMOOTH
ALUMINUM COLUMN COVERS
WITH SEAM @ 36" O.C.



EXTERIOR WALLS:
1 1/2" DEEP VERTICAL
PRE-FINISHED METAL SIDING



EXTERIOR WALLS:
CONCRETE FINISH



EXTERIOR WALLS :
STANDING SEAM
PRE-FINISHED METAL SIDING
TO MATCH BUILDING 6



WEST ELEVATION
1" = 10'-0"



EAST ELEVATION
1" = 10'-0"

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REVISIONS

PROJECT TITLE
FIRESTONE WALKER COLD BLOCK 4 ADDITION
PASO ROBLES, CALIFORNIA

DRAWN BY: JMS
FEBRUARY 22, 2017
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PROJECT NO:



Agenda Item 2



ISOMETRIC ELEVATION



ISOMETRIC ELEVATION

EXHIBIT - L 2



COVERED METAL ROOF
22 GA. STANDING SEAM METAL



ALUMINUM STOREFRONT
FRAME & GLASS TO



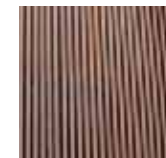
EXTERIOR WALLS:
CONCRETE FINISH



COLUMN COVERS:
PRE-FINISHED SMOOTH
ALUMINUM COLUMN COVERS
WITH SEAM @ 36" O.C.



EXTERIOR WALLS :
STANDING SEAM
PRE-FINISHED METAL SIDING
TO MATCH BUILDING 6



EXTERIOR WALLS:
1 1/2" DEEP VERTICAL
PRE-FINISHED METAL SIDING



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Agenda Item 2



ISOMETRIC ELEVATION



ISOMETRIC ELEVATION

EXHIBIT L 3



COVERED METAL ROOF
22 GA. STANDING SEAM METAL



ALUMINUM STOREFRONT
FRAME & GLASS TO



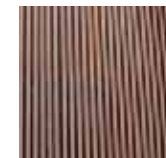
EXTERIOR WALLS:
CONCRETE FINISH



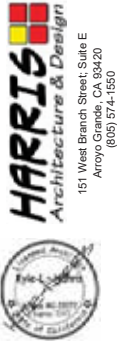
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EXTERIOR WALLS :
STANDING SEAM
PRE-FINISHED METAL SIDING
TO MATCH BUILDING 6



EXTERIOR WALLS:
1 1/2" DEEP VERTICAL
PRE-FINISHED METAL SIDING



REVISIONS

PROJECT TITLE
FIRESTONE WALKER COLD BLOCK 4 ADDITION
PASO ROBLES, CALIFORNIA

DRAWN BY: JMS
FEBRUARY 22, 2017
CHECKED:
PROJECT NO.:



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Arroyo Grande, CA 93420
(805) 574-1550



REVISIONS

PROJECT TITLE
FIRESTONE WALKER COLD BLOCK 4 ADDITION
PASO ROBLES, CALIFORNIA

DRAWN BY: JKD
DATE: 2017
CHECKED:
PROJECT NO:





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REVISIONS

PROJECT TITLE
FIRESTONE WALKER COLD BLOCK 4 ADDITION
PASO ROBLES, CALIFORNIA

DRAWN BY: JWG
DATE: 2017
CHECKED:
PROJECT NO:





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REVISIONS

PROJECT TITLE
FIRESTONE WALKER COLD BLOCK 4 ADDITION
PASO ROBLES, CALIFORNIA

DRAWN BY: JHG
DATE: 2017
CHECKED:
PROJECT NO:



**ENVIRONMENTAL INITIAL STUDY CHECKLIST FORM
CITY OF PASO ROBLES
FIRESTONE WALKER BREWERY**

- 1. PROJECT TITLE:** PD 12-006 Amendment -Firestone Brewery – Cold Block 4 and Pipe Bridge
- 2. LEAD AGENCY:** City of Paso Robles
1000 Spring Street
Paso Robles, CA 93446
- Contact:**
Phone: (805) 237-3970
Email:
- 3. PROJECT LOCATION:** 1385 Vendels Circle & 1400 Ramada Dr.
APN: 009-633-032 and 034
- 4. PROJECT PROPONENT:** Firestone Walker Brewery
- Contact Person:** Darrin McMahon (Representative)
- Phone:** (805) 591-8017
Email: darrin@firestonebeer.com
- 5. GENERAL PLAN DESIGNATION:** BP (Business Park)
- 6. ZONING:** M –PD (Manufacturing, PD Overlay)
- 7. PROJECT DESCRIPTION:**
Planned Development 12-006 Amendment: a request to install twelve (12) 65 foot tall, 15-foot diameter fermentation vessel’s (tanks). Along with the tanks would be the construction of a 6,300 square foot cellar/tank building. The project also includes a pipe bridge that would be constructed over Vendels Circle that will transfer product between Building 1 and the Cold Block 4 tanks. The bridge would have a 17-foot tall clearance and extend approximately 70 feet from the cold block tanks to Building 1.
- 8. ENVIRONMENTAL SETTING:** The Cold Block 4 project is located on the 36,000 square foot site located at 1385 Vendels Circle. This site is where the previous Nu-Way cleaners was previously located. There is an existing 19,000 square foot building with associated parking lot located on the site. The proposed tank project would be located in the existing parking lot area between Vendels Circle and the existing building and include construction of a 6,300 square foot addition to the existing building for the cellar/tank building.
- 9. OTHER AGENCIES WHOSE APPROVAL IS REQUIRED (AND PERMITS NEEDED):** Encroachment Permit needed from the City of Paso Robles.

Attachment 6
Exhibit A / Resolution A

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | | |
|---|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forestry Resources | <input type="checkbox"/> Air Quality |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Geology /Soils |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Hydrology / Water Quality |
| <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Noise |
| <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Transportation/Traffic | <input type="checkbox"/> Utilities / Service Systems | <input type="checkbox"/> Mandatory Findings of Significance |

DETERMINATION: (To be completed by the Lead Agency)

On the basis of this initial evaluation:

- I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Signature: _____

Date _____

Attachment 6
Exhibit A / Resolution A

EVALUATION OF ENVIRONMENTAL IMPACTS:

1. A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
2. All answers must take account of the whole action involved. Answers should address off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
3. “Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an EIR is required.
4. “Negative Declaration: Less Than Significant With Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less Than Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from “Earlier Analyses,” as described in (5) below, may be cross-referenced).
5. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
 - a. Earlier Analysis Used. Identify and state where they are available for review.
 - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c. Mitigation Measures. For effects that are "Less than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
6. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
7. Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
8. The explanation of each issue should identify:
 - a. the significance criteria or threshold, if any, used to evaluate each question; and
 - b. the mitigation measure identified, if any, to reduce the impact to less than significance

**Attachment 6
Exhibit A / Resolution A**

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
I. AESTHETICS: Would the project:				
a. Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Substantially degrade the existing visual character or quality of the site and its surroundings?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion (a-c): The portion of Highway 101 through the City is not considered a scenic vista, or scenic highway. The development of twelve (12) 65-foot tall tanks on the site will be visible from Highway 101 and the neighboring streets and properties. Firestone Brewery currently has in excess of fifteen (15) tanks associated with the Building No. 1 Brewhouse. The addition of the proposed tanks will be similar in appearance to the existing tanks, but 15 feet taller. The zoning code provides for support equipment to exceed building height limits such as antennas, tanks, silos..etc.

The Development Review Committee (DRC) reviewed the proposed project where the height of the tanks was discussed. The DRC concluded that ultimately, it would be up to the Planning Commission to discuss the matter and make the final decision; however it was acknowledged that the tanks and pipe bridge were support equipment for an industrial complex and seemed reasonable.

Based on the tanks and pipe bridge being support equipment for an existing brewery complex, where many tall tanks currently exist, that the impacts on aesthetics and visual character on surrounding properties and views would be less than significant.

d. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area? (Sources: 1, 2, 10)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Discussion: Any new exterior lighting will be required to be shielded so that it does not produce off-site glare.

II. AGRICULTURE AND FOREST RESOURCES: In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. Would the project:

a. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Discussion: The project is not located on agriculturally zoned land and there are no agricultural activities taking place on the site.

Attachment 6
Exhibit A / Resolution A

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>b. Conflict with existing zoning for agricultural use, or a Williamson Act contract?</p> <p>Discussion: See discussion section for Section II.a.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>c. Conflict with existing zoning for, or cause rezoning of, forest, land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 5114(g))?</p> <p>Discussion: The project is not located on agriculturally zoned land and there are no agricultural activities taking place on the site.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>d. Result in the loss of forest land or conversion of forest land to non-forest use?</p> <p>Discussion: The project is not located on land zoned for forest purposes.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>e. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?</p> <p>Discussion: This project would not result in the conversion of farmland or forest land.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

III. AIR QUALITY: Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

<p>a. Conflict with or obstruct implementation of the applicable air quality plan? (Source: 11)</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Discussion: The San Luis Obispo County area is a non-attainment area for the State standards for ozone and suspended particulate matter. The SLO County Air Pollution Control District (APCD) administers a permit system to ensure that stationary sources do not collectively create emissions which would cause local and state standards to be exceeded. The potential for future project development to create adverse air quality impacts falls generally into two categories: Short term and Long term impacts.

Short term impacts are associated with the grading and development portion of a project where earth work generates dust, but the impact ends when construction is complete. Long term impacts are related to the ongoing operational characteristics of a project and are generally related to vehicular trip generation and the level of offensiveness of the onsite activity being developed.

There will be short term impacts associated with grading for the proposed construction, standard conditions required by the City as well as the APCD will be implemented.

According to the APCD CEQA Handbook, when comparing the project to Table 1-1, Screening Criteria for Project Air Quality Analysis, the proposed new tank and pipe bridge project, would produce less than the 25

Attachment 6
Exhibit A / Resolution A

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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lbs/day of ROG+NOx, and there for be considered less than significant. No mitigation is required for operational or long-term impacts based on light-industrial or manufacturing type of land use. Standard dust control measures related to the grading activities will be applied to this project.

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b. Violate any air quality standard or contribute substantially to an existing or projected air quality violation? (Source: 11) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: See Section III.a

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)? (Source: 11) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: See Section III.a

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| d. Expose sensitive receptors to substantial pollutant concentrations? (Source: 11) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: Besides the short term impacts from the actual grading, there will not be a significant impact to sensitive receptors from the Cold Block 4 and tank project.

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| e. Create objectionable odors affecting a substantial number of people? (Source: 11) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: There will be no objectionable odors in relation to the proposed Cold Block 4 and tank project.

IV. BIOLOGICAL RESOURCES: Would the project:

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or US Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c. Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
(including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?				
d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion (a-f):

The subject site is currently developed with a 19,000 square foot building along with associated parking lot. The proposed project would expand on the existing buildings on the site. The site is surrounded by other industrial buildings and the Firestone Tap Room restaurant, which are all part of the brewery campus. Vendels Circle has been improved by the adjacent public improvements which include street, curb, gutter and sidewalk improvements.

Since this lot has been developed, including street improvements and utilities and since the lot is flat and has no resources, the Cold Block 4 and pipe bridge development will not have an impact on biological services.

V. CULTURAL RESOURCES: Would the project:

a. Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion (a-d):

The site is an infill site that is surrounded by existing industrial buildings and adjacent streets. The site has been previously developed with existing buildings and parking lots. The site previously used for an industrial

**Attachment 6
Exhibit A / Resolution A**

Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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laundry company, therefore this projects impacts on Cultural Resources is no impact.

In the event that buried or otherwise unknown cultural resources are discovered during construction work in the area of the find, work shall be suspended and the City of Paso Robles should be contacted immediately, and appropriate mitigations measures shall be developed by qualified archeologist or historian if necessary, at the developers expense.

VI. GEOLOGY AND SOILS: Would the project:

a. Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:

i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42. (Sources: 1, 2, & 3)

Discussion: The potential for and mitigation of impacts that may result from fault rupture in the project area are identified and addressed in the General Plan EIR, pg. 4.5-8. There are two known fault zones on either side of the Salinas Rivers valley. The Rinconada Fault system runs on the west side of the valley, and grazes the City on its western boundary. The San Andreas Fault is on the east side of the valley and is situated about 30 miles east of Paso Robles. The City of Paso Robles recognizes these geologic influences in the application of the Uniform Building Code to all new development within the City. Review of available information and examinations indicate that neither of these faults is active with respect to ground rupture in Paso Robles. Soils and geotechnical reports and structural engineering in accordance with local seismic influences would be applied in conjunction with any new development proposal. Based on standard conditions of approval, the potential for fault rupture and exposure of persons or property to seismic hazards is not considered significant. There are no Alquist-Priolo Earthquake Fault Zones within City limits.

ii. Strong seismic ground shaking? (Sources: 1, 2, & 3)

Discussion: The proposed project will be constructed to current CBC codes. The General Plan EIR identified impacts resulting from ground shaking as less than significant and provided mitigation measures that will be incorporated into the design of this project including adequate structural design and not constructing over active or potentially active faults.

iii. Seismic-related ground failure, including liquefaction? (Sources: 1, 2 & 3)

Discussion: Per the General Plan EIR, the project site is located in an area with soil conditions that have a potential for liquefaction or other type of ground failure due to seismic events and soil conditions. To implement the EIR’s mitigation measures to reduce this potential impact, the City has a standard condition to require submittal of soils and geotechnical reports, which include site-specific analysis of liquefaction potential for all building permits for new construction, and incorporation of the

Attachment 6
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<i>recommendations of said reports into the design of the project</i>				
iv. Landslides? Discussion: See discussions above.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Result in substantial soil erosion or the loss of topsoil? (Sources: 1, 2, & 3) <i>Discussion: Per the General Plan EIR the soil condition is not erosive or otherwise unstable. As such, no significant impacts are anticipated. A geotechnical/ soils analysis will be required prior to issuance of building permits that will evaluate the site specific soil stability and suitability of grading and retaining walls proposed. This study will determine the necessary grading techniques that will ensure that potential impacts due to soil stability will not occur. An erosion control plan shall be required to be approved by the City Engineer prior to commencement of site grading.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse? <i>Discussion: See response to item a.iii, above.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property? <i>Discussion: See response to item a.iii, above.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water? Discussion: The building will be hooked up to the City's sanitary sewer system, therefore there is no impact.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

VII. GREENHOUSE GAS EMISSIONS: Would the project:

a. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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**Attachment 6
Exhibit A / Resolution A**

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b. Conflict with any applicable plan, policy, or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gasses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion (a-b):

The project consists of tanks and cellar building, which is a low traffic generator, as well as having a minimal number of full and part time employees. Additionally, the new facility is being located adjacent to Firestone Brewery’s existing facility that will eliminate the need to haul product by truck between buildings.

Based on the Cold Block 4 project consisting of the 6,300 square foot building and tanks being a low traffic generator, when reviewing the project with the APCD CEQA Handbook Table 3.4, since the project would produce less than the 25 lbs/day of ROG+NOx & PM10, and therefore be considered less than significant related to Greenhouse Gas Emissions and no mitigation is required.

VIII. HAZARDS AND HAZARDOUS MATERIALS: Would the project:

a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion (a-d): the Cold Block 4 project will be used for the fermentation process of the beer manufacturing, where the product will be transferred between the Cold Block 4 and Building No. 1. These beer-manufacturing processes is not considered hazardous, and does not use/produce hazardous materials, therefore, there will be no impact.

**Attachment 6
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion (e): the project is not located in proximity to the airport, therefore there is no impact.

f. For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Discussion (f): There are no know private air strips in the vicinity of the project site, therefore there is no impact.

g. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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h. Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Discussion (g,h):

The development of the facility within the existing industrial park will not expose people to wildland fires, and is not adjacent to wildlands, therefore there will not be an impact.

IX. HYDROLOGY AND WATER QUALITY: Would the project:

a. Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Discussion: The proposed project is designed to retain stormwater on-site or on adjacent Firestone Brewery properties, through installation of various low-impact development (LID) features. The project has been designed to reduce impervious surfaces, preserve existing vegetation, and promote groundwater recharge by employing bioretention through implementation of these measures. Thus, water quality standards will be maintained and discharge requirements will be in compliance with State and local regulations. Therefore, impacts to water quality and discharge will be less than significant.

b. Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Attachment 6
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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local groundwater table level (e.g., Would the production rate of pre-existing nearby wells drop to a level which would not support existing land uses or planned uses for which permits have been granted)? Would decreased rainfall infiltration or groundwater recharge reduce stream baseflow? (Source: 7)

Discussion: The proposed Cold Block 4 project will be served by city water and sewer, therefore the project will not have an impact on this environmental factor.

<p>c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site? (Source: 10)</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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<p>d. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site? (Source: 10)</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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<p>e. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff? (Source: 10)</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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<p>f. Otherwise substantially degrade water quality?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Discussion (c-f): based on the site being flat and considered infill site located within an existing industrial park, that includes existing storm water drainage facilities, the development of this project will not alter existing drainage patterns and is not in the vicinity of a stream or river, so it will not contribute to erosion. The development of the site will provide the necessary on-site drainage facilities to insure site drainage is directed to the nearby drainage facilities and will not substantially increase the rate and amount of surface runoff which would result in flooding. The proposed expansion to the existing building for the Cold Block 4 project will not have an impact on this environmental factor.

<p>g. Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**Attachment 6
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
other flood hazard delineation map?				
h. Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j. Inundation by mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Discussion (g-j): the project is not located within a 100 year flood hazard area, and as mentioned above in Section f. the site is part of an existing industrial park that has existing drainage facilities and storm water system. The site is not located within an area that would be affected by a failure of a levee or dam.				
k. Conflict with any Best Management Practices found within the City’s Storm Water Management Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
l. Substantially decrease or degrade watershed storage of runoff, wetlands, riparian areas, aquatic habitat, or associated buffer zones?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion (k-l):

The Regional Water Quality Control Board adopted storm water management requirements for development projects in the Central Coast region. Upon the Board’s direction, the City has adopted a Storm Water Ordinance requiring all projects to implement low impact development best management practices to mitigate impacts to the quality of storm water run-off and to limit the increase in the rate and volume of storm water run-off to the maximum extent practical.

These new requirements include on-site retention of stormwater. The applicant will be preparing a storm water control plan offering a site assessment of constraints and opportunities and corresponding storm water management strategies to meet stormwater quality treatment and retention requirements in compliance with the regulations. The grading plan reflects these requirements with the development of bio-retention treatment areas. It is anticipated that based on the size of the building in relation to the Parcel, that storm water retention facilities that exist on the properties to the east, also owned by Firestone Brewery will need to be utilized.

The site is relatively flat and will be designed to take storm water to the south of the site to Vendels Circle, where bio-swales will be constructed to handle the storm water. Low Impact Design measures will be used to retain the water on site and allow for water to meter out to the storm drain after being taken through vegetation to allow for cleansing. Additionally the site is not located within a flood hazard area and the subject buildings will be utilizing City water and sewer systems. The projects impacts related to hydrological and water quality issues will be less than significant since the project will be required to comply with the City’s standards related to site drainage, storm water run-off, water quality and water supply.

Attachment 6
Exhibit A / Resolution A

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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X. LAND USE AND PLANNING: Would the project:

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|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a. Physically divide an established community? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: The project consists of constructing tanks and buildings on a site within an existing industrial/business park: it will not divide an established community.

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b. Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion:

Warehousing is a permitted use in the Manufacturing (M) zoning and Business Park (BP) land use designation of the Zoning Code and General Plan. Therefore, there will not be impacts to land use plans or policies.

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c. Conflict with any applicable habitat conservation plan or natural community conservation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: There are no habitat conservation plans or natural community conservation plans established in this area of the City. Therefore there is no impact.

XI. MINERAL RESOURCES: Would the project:

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state? (Source: 1) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: There are no known mineral resources at this project site.

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan? (Source: 1) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: There are no known mineral resources at this project site.

**Attachment 6
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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XII. NOISE: Would the project result in:

- a. Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies? (Source: 1)

	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Discussion: The tanks and cellar building will be primarily for the storage of beer in various stages of the beer making process. The project site is located within an existing industrial park where there are no sensitive receptors. The proposed Cold Block 4 project and pipe bridge will not expose people to noise levels in excess of applicable standards, therefore there is no impact.

- b. Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?

	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Discussion: There may be temporary vibrations related to the grading and compaction of the site in preparation for construction. The construction phase of the project will be required to comply with the City's noise level requirements, including hours of construction activity, and as a result of these standard construction requirements, impacts from vibrations as a result of construction activity will be less than significant.

- c. A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?

	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Discussion: See section XIIa

- d. A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?

	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Discussion: See section XIIa

- e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels? (Sources: 1, 4)

	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Discussion: The project is not located within the Airport Land Use Plan area.

Attachment 6
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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XIII. POPULATION AND HOUSING: Would the project:

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|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a. Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? (Source: 1) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Discussion (a-c):

The project will not create induce population growth, displace housing or people.

XIV. PUBLIC SERVICES: Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a. Fire protection? (Sources: 1,10) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Police protection? (Sources: 1,10) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. Schools? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Parks? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Other public facilities? (Sources: 1,10) | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Discussion (a-e):

The project will be located within an existing industrial/business park. The addition of the building will not create a significant impact to public services.

Attachment 6
Exhibit A / Resolution A

	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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XV. RECREATION

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| <p>a. Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?</p> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| <p>b. Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?</p> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Discussion (a&b): The project will not impact recreational facilities.

XVI. TRANSPORTATION/TRAFFIC: Would the project:

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <p>a. Conflict with an applicable plan, ordinance or policy establishing measures or effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?</p> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| <p>b. Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?</p> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

Discussion (a,b): The site currently has a 19,000 square foot building with associated parking lot (Building 7). Prior to Firestone Brewery using it for warehousing, the building was an industrial laundry cleaning facility (Nu-Way Cleaners).

A Trip Generation Analysis was prepared for the project by Associated Traffic Engineers (ATE), See Attachment 4. The analysis indicates that the existing 18,906 square foot building (Building 7) has historically been a light-industrial use (laundry facility) with a PM Peak Hour Trip rate of 18 trips. The analysis indicates that the current use of the building by Firestone is warehouse/storage, where ATE has assigned 6 trips. When taking in consideration the proposed 6,360 square foot Cold Block 4 addition, ATE assigns an additional 2 trips, totaling 8 trips.

Based on the historic PM Peak Hour trip rate of 18 trips, and the traffic analysis concluding that Building 7, with the proposed Cold Block 4 addition would have a total of 8 trips, the impacts of the Cold Block 4 project on transportation and traffic will be less than significant. Additionally, this project will be required to pay the Transportation Impact Fees as required by all development projects.

**Attachment 6
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>c. Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks? Discussion (c): The development of this project within the established industrial subdivision will not impact air traffic patterns or increase air traffic levels.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>d. Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? Discussion (d): The development of the proposed buildings will help the operations of the brewery facility by providing additional warehousing separate from the existing brewery buildings. Additionally, the pipe bridge will allow for the transfer of product between the Brewhouse and the Cold Block 4 building/tanks. This will help reduce the amount of fork lift and truck traffic that currently operates between the existing buildings via the public street. It is not anticipated that it will create a hazardous situation and therefore it would be a less than significant impact.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>e. Result in inadequate emergency access? Discussion (e): The project has been reviewed by the City’s Emergency Services Department, and based on the property having multiple access points to multiple streets, the ability for emergency access to the site is acceptable, and therefore considered adequate.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>f. Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities? Discussion (a-f): The development of this project within an established industrial park would not conflict with adopted public transit, bicycle or pedestrian facilities, or decrease performance or safety of the facilities.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

XVII. UTILITIES AND SERVICE SYSTEMS: Would the project:

<p>a. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board? Discussion: The project will comply with all applicable wastewater treatment requirements as required by the City, the Regional Water Quality Control Board, and the State Water Board. Therefore, there will be less than significant impacts resulting from wastewater treatment from this project.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>b. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Attachment 6
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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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construction of which could cause significant environmental effects?

Discussion: The proposed 6,300 square foot expansion to the existing building along with the installation of the tanks and pipe bridge, would not produce waste water or have a need for new water beyond typical plumbing facilities.

Waste water related to the manufacturing of beer is handled on the brewery’s waste water treatment system located east of the brewery. An expansion of the facility is proposed in conjunction of the Cold Block 4 project.

Based on the expansion of the brewery’s waste water treatment system, the impacts of the Cold Block 4 project on waste water treatment will be less than significant.

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <p>c. Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?</p> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: (c): The project is located within an existing industrial subdivision where the infrastructure including storm drain systems have been installed. This project will need to provide new Low Impact Design storm water drainage facilities such as bio-retention areas that will include retention basins on site and as a result of the size of the building in relation to the lot, the project will need to utilize existing retention area on properties to the east also owned by Firestone Brewery. With the development new and updates to existing drainage facilities, it is not anticipated that there will be significant impacts on drainage facilities.

- | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <p>d. Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?</p> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: As noted in section IX on Hydrology, the project can be served with existing water resource allocations available and will not require expansion of new water resource entitlements, additionally the proposed cellar and tank project will have a low water demand, therefore this projects impact on water demand is less than significant.

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| <p>e. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project’s projected demand in addition to the provider’s existing commitments?</p> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Discussion: See discussion in Section a. above.

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| <p>f. Be served by a landfill with sufficient permitted capacity to accommodate the project’s solid waste disposal needs?</p> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Discussion: Per the City’s Landfill Master Plan, the City’s landfill has adequate capacity to accommodate construction-related and operational solid waste disposal for this project.

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	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
g. Comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Discussion: The project will comply with all federal, state, and local solid waste regulations.				

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE

<p>a. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?</p> <p>Discussion: The proposed 6,300 square foot expansion to the existing 19,000 square foot building and the installation of the fermentation tanks along with the pipe bridge, will expand on the brewery's campus project within an existing industrial park. The development of this project is infill, therefore impacts to fish, wildlife, of plant habitat is less than significant.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>b. Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?</p> <p>Discussion: The proposed 6,300 square foot expansion to the existing 19,000 square foot building and the installation of the fermentation tanks along with the pipe bridge, will expand on the brewery's campus project within an existing industrial park. The development of this project on the existing infill lot, will not have impacts that are individually limited, but cumulatively considerable.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>c. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?</p> <p>Discussion: The proposed 6,300 square foot expansion to the existing 19,000 square foot building and the installation of the fermentation tanks along with the pipe bridge, will expand on the brewery's campus project within an existing industrial park. The development of this project on the existing infill lot will not cause substantial adverse effects to human beings, either directly or indirectly.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Attachment 6
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EARLIER ANALYSIS AND BACKGROUND MATERIALS.

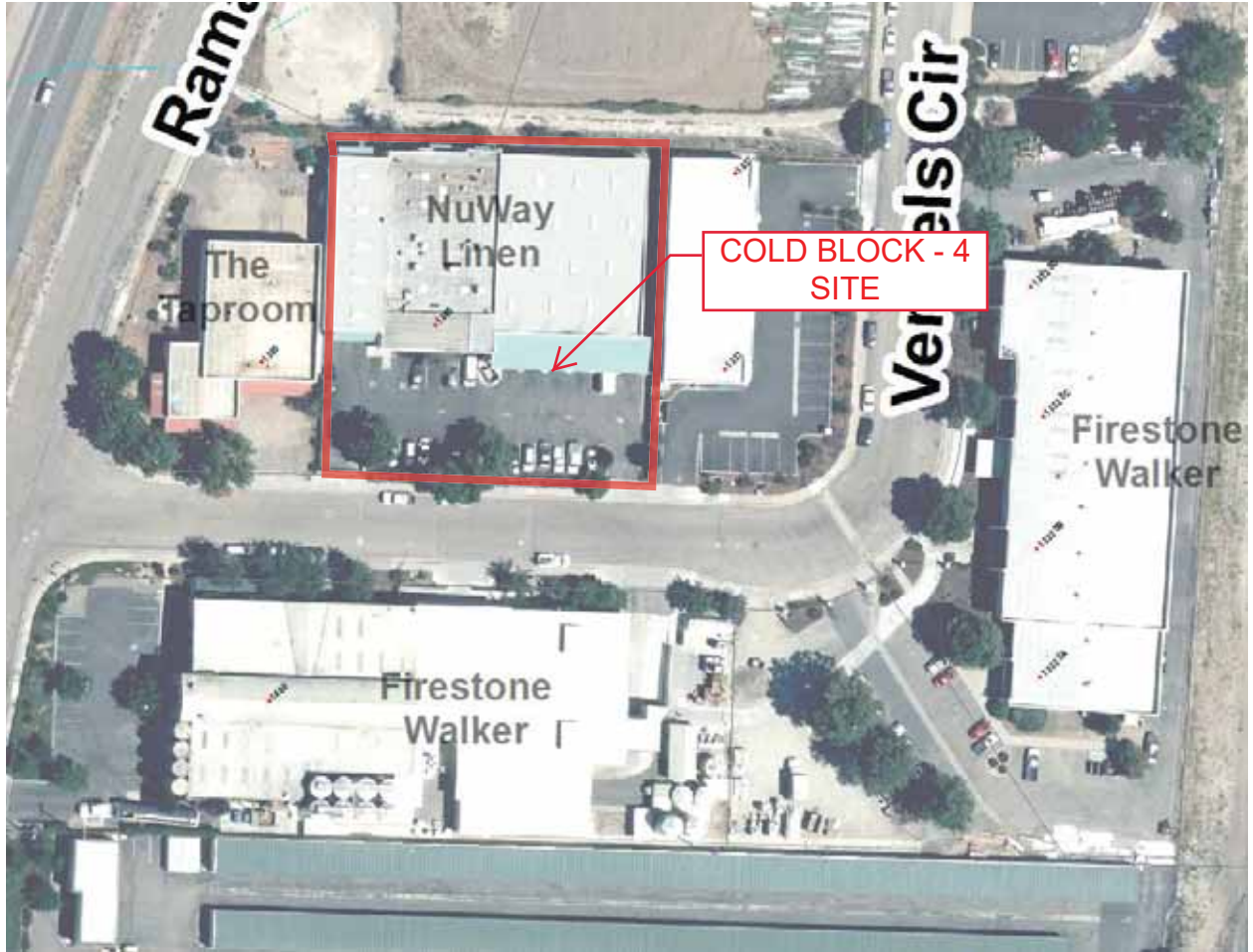
Earlier analyses may be used where, pursuant to tiering, program EIR, or other CEQA process, one or more effects have been adequately analyzed in an earlier EIR or negative declaration. Section 15063 (c)(3)(D).

Earlier Documents Prepared and Utilized in this Analysis and Background / Explanatory Materials

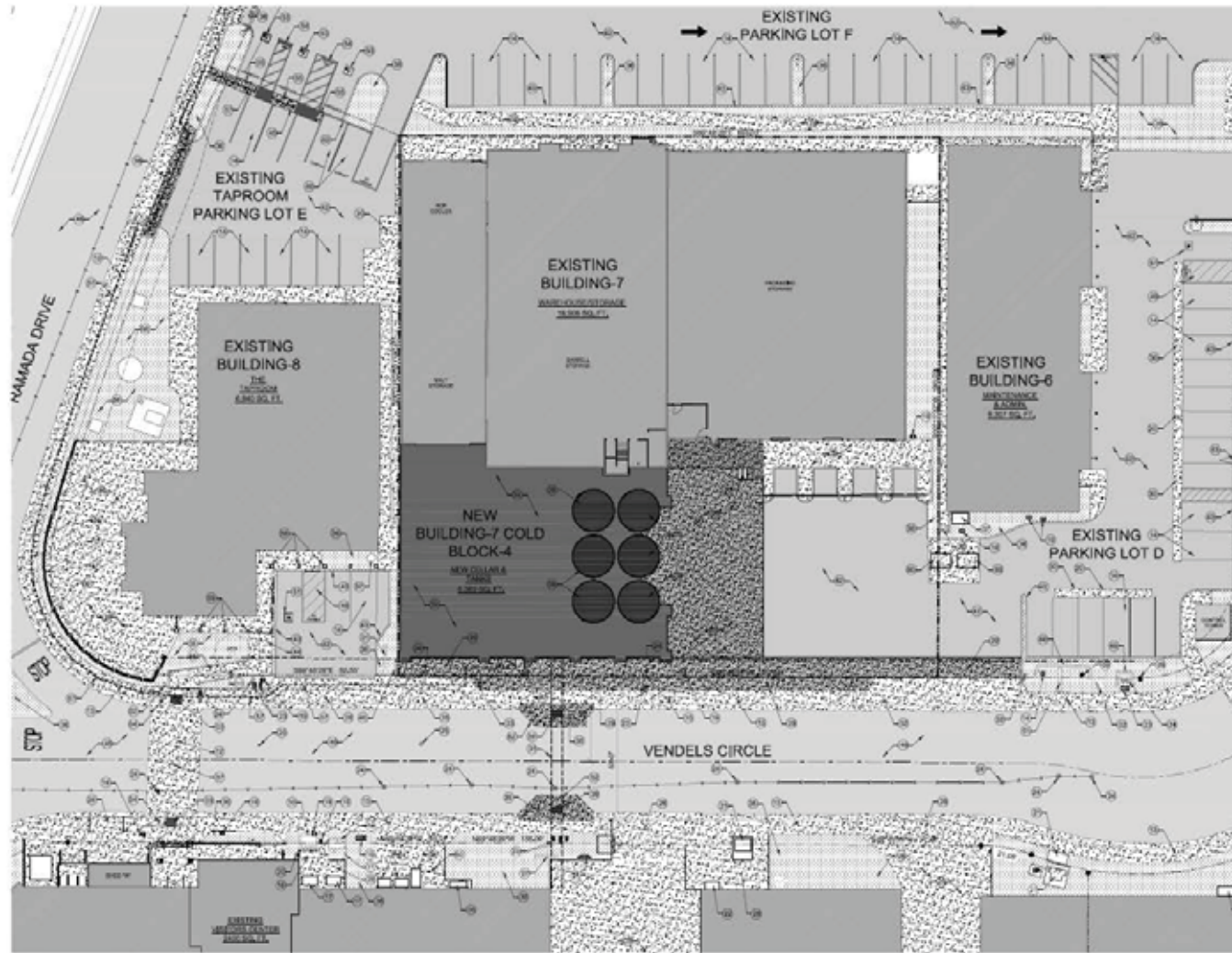
<u>Reference #</u>	<u>Document Title</u>	<u>Available for Review at:</u>
1	City of Paso Robles General Plan	City of Paso Robles Community Development Department 1000 Spring Street Paso Robles, CA 93446
2	City of Paso Robles Zoning Code	Same as above
3	City of Paso Robles Environmental Impact Report for General Plan Update	Same as above
4	2007 Airport Land Use Plan	Same as above
5	City of Paso Robles Municipal Code	Same as above
6	City of Paso Robles Water Master Plan	Same as above
7	City of Paso Robles Urban Water Management Plan 2010	Same as above
8	City of Paso Robles Sewer Master Plan	Same as above
9	City of Paso Robles Housing Element	Same as above
10	City of Paso Robles Standard Conditions of Approval for New Development	Same as above
11	San Luis Obispo County Air Pollution Control District Guidelines for Impact Thresholds	APCD 3433 Roberto Court San Luis Obispo, CA 93401
12	San Luis Obispo County – Land Use Element	San Luis Obispo County Department of Planning County Government Center San Luis Obispo, CA 93408
13	USDA, Soils Conservation Service, Soil Survey of San Luis Obispo County, Paso Robles Area, 1983	Soil Conservation Offices Paso Robles, Ca 93446
14	Resolution 98-001, MND for Tract 2269	City of Paso Robles Community Development Department

Attachments:

1. Vicinity Map
2. Site Plan – Cold Block 4 / Pipe Bridge
3. Elevation – Cold Block 4 / Pipe Bridge
4. Trip Generation Letter



ATTACHMENT 2 - SITE PLAN



PARTIAL SITE PLAN - ENLARGED
Scale: 1" = 150'

SITE PLAN NO. 03

1. SEE EXISTING SITE PLAN FOR GENERAL LAYOUT AND
2. SEE EXISTING SITE PLAN FOR
3. SEE EXISTING SITE PLAN FOR
4. SEE EXISTING SITE PLAN FOR
5. SEE EXISTING SITE PLAN FOR
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HARRIS
Architecture & Design
101 West Branch Street, Suite 100
Pasadena, CA 91105
PH: 626-791-1500

PROJECT:
FIRESTONE WALKER COLD BLOCK 4 ADDITION
PASO ROBLES, CALIFORNIA

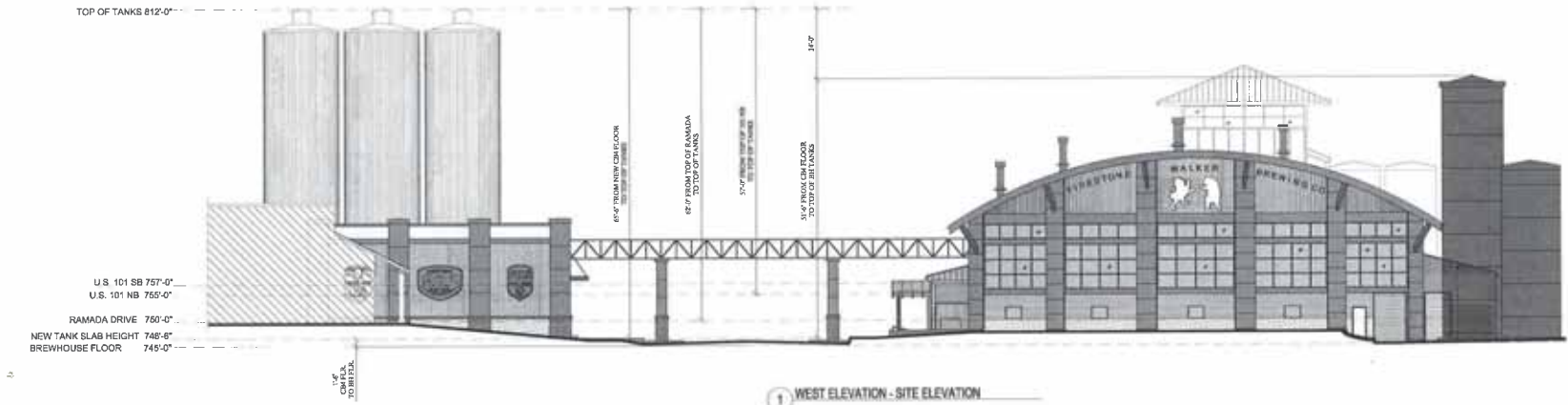
DATE:
08/08/2017

SP-4

Attachment 3 - Elevations



1 SOUTH ELEVATION - SITE ELEVATION



1 WEST ELEVATION - SITE ELEVATION

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HARRIS
Architecture & Design
151 West Branch Street, Suite E
Arroyo Grande, CA 93420
(805) 574-1550



PROJECT TITLE
FIRESTONE WALKER COLD BLOCK 4 ADDITION
PASO ROBLES, CALIFORNIA

By: HCA
Date: 11/20/2017
Scale: AS SHOWN

A2.2

**ASSOCIATED
TRANSPORTATION
ENGINEERS**

Memo

To: John Falkenstien, City of Paso Robles

From: Dan Dawson, ATE

cc: Darrin McMahon, Firestone Walker Brewing Company

Date: May 11, 2017

Re: **FIRESTONE CAMPUS TRIP GENERATION ANALYSIS (17042M02)**

ATE has prepared a trip generation analysis for the Firestone Campus located near the north end of Ramada Drive in the City of Paso Robles. The attached worksheet shows the trip generation analysis for the Firestone Campus, which includes existing buildings, approved buildings, and proposed buildings.

The analysis also shows the trip generation estimates for the Firestone Campus buildings that were constructed by others prior to Firestone use of the buildings.

In addition, the trip generation analysis reviews traffic credits for Firestone properties that previously contributed to improvements constructed at the US 101/SR 46 West interchange.

Key Findings:

1. The existing campus buildings total 122,843 SF and generate 152 PM peak hour trips.
2. The buildings that that were constructed by others prior to Firestone total 84,912 SF and generate 98 PM peak hour trips.
3. Building 9 (1375 Ramada Drive), which is approved, includes 59,240 SF for warehouse/storage use. The 59,240 SF warehouse/storage building is forecast to generate 19 PM peak hour trips.

Agenda Item 2

FIRESTONE CAMPUS TRIP GENERATION ANALYSIS

3. Building 7 (1385 Vendels Circle) includes a 6,360 SF addition for warehouse/storage use. The 6,360 SF warehouse/storage building is forecast to generate 2 PM peak hour trips.
4. The campus envelopes three properties that previously contributed to improvements constructed at the US 101/SR 46 West interchange:

1375 Ramada Drive. As taken from the traffic study prepared by ATE in 2004, the 1375 Ramada Drive Project included a 46,684 SF light industrial use and was forecast to generate 46 PM peak hour trips. Building 9 on the Firestone Campus Plan is shown as 59,240 SF warehouse/storage, which is forecast to generate 19 PM peak hour trips. Thus, the 1375 Ramada Drive Project was forecast to generate 27 more PM peak hour trips than the 19 PM peak hour trips that will be generated by the 59,240 SF warehouse/storage building shown on the Firestone Campus Plan.

1331 Vendels Circle. As taken from the traffic study prepared by ATE in 2004, the 1331 Vendels Circle Project included a 6,000 SF light industrial use and was forecast to generate 6 PM peak hour trips. The existing 6,307 SF maintenance/admin building shown on the Firestone Campus Plan generates 9 PM peak hour trips. Thus, the 1331 Vendels Circle Project was forecast to generate 3 less PM peak hour trips than the existing 6,307 SF maintenance/admin building shown on the Firestone Campus Plan.

For reference, this building was constructed by others prior to Firestone and was occupied by a bar, office, and wine production uses. Those uses generated 23 PM peak hour trips.

Agenda Item 2

Associated Transportation Engineers Trip Generation Worksheet - Firestone Campus Plan							
FIRESTONE CURRENT CAMPUS BUILDINGS/USES				BUILDINGS/USES CONSTRUCTED PRIOR TO FIRESTONE			
Building/Street Address	Size	P.M. PEAK HOUR		Building/Street Address	Size	P.M. PEAK HOUR	
		Rate	Trips			Rate	Trips
EXISTING BUILDINGS							
Building 1 - 1400 Ramada				Building 1 - 1400 Ramada			
A. Main Production(a)	15,139 SF	0.97	15	Light Industrial(a)	27,511 SF	0.97	27
B. Visitor Center(a)	2,400 SF	0.97	2				
C. Brewhouse(a)	9,972 SF	0.97	10				
Building 2 - 1400 Ramada				Building 2 - 1400 Ramada			
A. Cannery(a)	6,148 SF	0.97	6	Light Industrial(a)	6,148 SF	0.97	6
Building 3 - 1350 Vendels							
A. Packaging(a)	14,231 SF	0.97	14				
Building 4 - 1360 Vendels							
A. Bottling Hall(a)	14,000 SF	0.97	14				
B. Storage(b)	3,900 SF	0.32	1				
Building 5 - 1332 Vendels				Building 5 - 1332 Vendels			
A. Cold Warehouse(b)	25,000 SF	0.32	8	Church(e)	7,500 SF	0.55	4
				Caltrans Office(c)	5,000 SF	1.49	7
				Manufacturing(a)	6,700 SF	0.97	6
Building 6 - 1331 Vendels				Building 6 - 1331 Vendels			
A. Maintenance/Admin(c)	6,307 SF	1.49	9	Bar(f)	1,577 SF	11.34	18
				Office(c)	1,577 SF	1.49	2
				Wine Production(a)	3,153 SF	0.97	3
Building 7 - 1385 Vendels				Building 7 - 1385 Vendels			
A. Warehouse/Storage(b)	18,906 SF	0.32	6	Light Industrial(a)	18,906 SF	0.97	18
Building 8 - 1395 Vendels				Building 8 - 1395 Vendels			
A. The Tap Room(d)	6,840 SF	9.85	67	Light Industrial(a)	6,840 SF	0.97	7
Total Existing	122,843 SF		152	Totals	84,912 SF		98
FIRESTONE APPROVED & PROPOSED CAMPUS BUILDINGS/USES							
APPROVED BUILDINGS							
Building 9 - 1375 Ramada							
A. Warehouse/Storage(b)	59,240 SF	0.32	19				
PROPOSED BUILDINGS							
Building 7 - 1385 Vendels							
A. Warehouse/Storage(b)	6,360 SF	0.32	2				
TRAFFIC CREDITS							
1375 Ramada(g)	46,684 SF		46				
1331 Vendels(g)	6,000 SF		6				
1500 Ramada(h)	42,800 SF		30				
Total Credits	95,484 SF		82				

- (a) Trip generation calculated using ITE Code #110 (General Light Industrial).
- (b) Trip generation calculated using ITE Code #150 (Warehousing).
- (c) Trip generation calculated using ITE Code #710 (General Office Building).
- (d) Trip generation calculated using ITE Code #932 (High-Turnover Sit-Down Restaurant).
- (e) Trip generation calculated using ITE Code #560 (Church).
- (f) Trip generation calculated using ITE Code #925 (Drinking Place).
- (g) Trip generation taken from ATE traffic study prepared for the project (Light Industrial rates).
- (h) Trip generation taken from ATE traffic study prepared for the project (Light Industrial & Warehousing rates).



CITY OF EL PASO DE ROBLES
"The Pass of the Oaks"

AFFIDAVIT
OF MAIL NOTICES
PLANNING COMMISSION/CITY COUNCIL PROJECT NOTICING

I, Monica Hollenbeck, employee of the City of El Paso de Robles, California, do hereby certify that the mail notices have been processed as required for Planned Development Amendment 12-006 on this 11th day of May, 2017.

City of El Paso de Robles
Community Development Department
Planning Division

Signed: Monica C Hollenbeck
Monica Hollenbeck

RECEIVED

MAY 17 2017

City of Paso Robles
Community Development Dept

THE *Newspaper of the Central Coast*
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In The Superior Court of The State of California
In and for the County of San Luis Obispo
AFFIDAVIT OF PUBLICATION

AD # 3071076
CITY OF PASO ROBLES

STATE OF CALIFORNIA

ss.

County of San Luis Obispo

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen and not interested in the above entitled matter; I am now, and at all times embraced in the publication herein mentioned was, the principal clerk of the printers and publishers of THE TRIBUNE, a newspaper of general Circulation, printed and published daily at the City of San Luis Obispo in the above named county and state; that notice at which the annexed clippings is a true copy, was published in the above-named newspaper and not in any supplement thereof – on the following dates to wit; MAY 12, 2017 that said newspaper was duly and regularly ascertained and established a newspaper of general circulation by Decree entered in the Superior Court of San Luis Obispo County, State of California, on June 9, 1952, Case #19139 under the Government Code of the State of California.

I certify (or declare) under the penalty of perjury that the foregoing is true and correct.



(Signature of Principal Clerk)

DATE: MAY 12, 2017

AD COST: \$312.18

**CITY OF EL PASO DE ROBLES
NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE
DECLARATION NOTICE OF PUBLIC HEARING PLANNED
DEVELOPMENT 12-006 AMENDMENT
(Firestone Walker Brewery)**

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of El Paso de Robles will consider making a recommendation to the City Council to adopt a Mitigated Negative Declaration in accordance with the California Environmental Quality Act and approval of the following project:

Project Title: Cold Block 4 Addition and Pipe Bridge
Applicant: Firestone Walker Brewery
Project Location: 1400 Ramada Drive, Paso Robles, CA
APN: 009-633-032

Project Description: **Planned Development 12-006 Amendment:** a request to install twelve (12) 65 foot tall, 15-foot diameter fermentation vessel's (tanks) and the construction of a 6,300 square foot cellar/tank building. The project also includes a pipe bridge that would be constructed over Vendels Circle that will transfer product between Building 1, the Brewhouse and the Cold Block 4 tanks.

The Public Review Period for the proposed Mitigated Negative Declaration will commence on May 17, 2017, and end on June 6, 2017. A public hearing before the Planning Commission, is scheduled to take place on Tuesday, May 23, 2017, at the hour of 6:30 pm in the Conference Center (First Floor) at the Paso Robles Library/City Hall, 1000 Spring Street, Paso Robles, California. All interested parties may appear and be heard at this hearing.

FINDING

The City of Paso Robles has reviewed the above project in accordance with the City of Paso Robles' Rules and Procedures for the Implementation of the California Environmental Quality Act and has determined that an Environmental Impact Report need not be prepared because:

- The proposed project will not have a significant effect on the environment.
- Although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because mitigation measures have been added to the project as a part of a Mitigated Negative Declaration.

The Initial Study which provides the basis for this determination is available at the City of Paso Robles, Community Development Department, 1000 Spring Street, Paso Robles, CA 93446.

NOTICE

The public is invited to provide written comment on the Draft Mitigated Negative Declaration and/or to provide oral comment at the public hearing noted above. The appropriateness of the Draft Negative Declaration will be reconsidered in light of the comments received.

Questions about and comments on the proposed project and Mitigated Negative Declaration may be mailed to the Community Development Department, 1000 Spring Street, Paso Robles, CA 93446 or e-mailed to CDdirector@prcity.com provided that any comments are received prior to the time of the Planning Commission hearing. Should you have any questions about this project, please call Darren Nash at (805) 237-3970 or send email to dnash@prcity.com.

May 9, 2017
Darren Nash, Associate Planner
May 12, 2017

3071076