



City of Paso Robles Planning Commission Agenda Report

From: Darcy Delgado, Assistant Planner

Subject: Amendment - Conditional Use Permit 15-018
1311 Chestnut Street / APN 009-021-039
Applicant/Representative – Mark Foos
Owner – Tracy Burns
A request to amend Conditional Use Permit 15-018 in order to amend a previously approved guest house addition to a detached garage by increasing its overall size and height at 1311 Chestnut Street.

Date: May 9, 2017

Facts

1. The project site is located at 1311 Chestnut Street (see Vicinity Map, Attachment 1).
2. The General Plan designation for this location is Residential Single Family (RSF) with a Zoning designation of Residential Single Family (R1).
3. In 2015, Conditional Use Permit 15-018 was approved via Resolution No. 15-029 to allow for a 585 square foot guest house addition to the existing 270 square foot one car garage, for a total of 855 square feet. As a result of the building being constructed into a slope, the 2-story addition was approved to be 25-feet in height at the front and right side elevations (along the northern property line), while the rear and left side elevations would be less than 25-feet (See Exhibit F of Resolution 15-029, Attachment 2).
4. In 2016, the owner began construction on the approved guest house addition and has since completed installation of a new foundation in the garage including a concrete wall reinforcement and new slab to support the upper level of the guest house (See Photos of Existing Conditions, Attachment 3). During the construction process, the owner determined a larger footprint would accommodate new intentions of converting the guest house to a second unit, which is allowed under Section 21.16D of the Zoning Code.
5. By amending Conditional Use Permit 15-018, the above-mentioned guest house would increase in size from 855 square feet to 978 square feet of gross floor area and would increase the front and right side elevations from 25-feet to 31-feet (See Architectural and Structural Plans, Exhibit B to Attachment 5).
6. Section 21.16E.210 of the Zoning Code requires a Conditional Use Permit (CUP) for detached accessory buildings if the structure is over 15-feet in height and Section 21.16E.260.C requires a CUP when the gross floor area of the detached accessory building exceeds 50-percent of the gross floor area of the main dwelling. Section 21.16E.260.C also requires detached accessory buildings to be architecturally compatible with the main building.
7. Since the existing primary residence is 1,183 square feet, the proposed addition would exceed 50-percent of the primary residence and as noted above would be taller than 15-feet. Therefore, as a result of the size and the height, it is necessary to process a CUP for the accessory building

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request. In this instance, the project requires an amendment to the existing CUP to increase the size and height of the guest house addition.

8. In accordance with the Historic Preservation Ordinance (Chapter 21.50), the existing single-family residence is recognized by the City of Paso Robles as historically significant and may warrant special consideration in local planning. One of the purposes of the Historic Preservation Ordinance is to provide for the recognition, preservation, and use of historic resources in the City by establishing procedures and regulations necessary to ensure that new development maintains continuity with the City's historic character and scale.
9. The proposed CUP amendment would add a third-story to what was originally approved under CUP 15-018. Despite the guest house addition using the same Spanish Revival architecture as the single-family residence by utilizing the same white stucco finish, terra cotta roof tiles, and similar windows, there are concerns whether the guest house addition would preserve the architectural significance of the existing residence due to the increased height.
10. The Development Review Committee (DRC) reviewed this project on March 27, 2017. The DRC discussed the reason for needing to increase the overall size and height of the detached accessory building and raised concerns regarding the scale of the building in relationship to surrounding neighbors.
11. This application is categorically exempt from environmental review per Section 15303 (new construction of small structures) of the State's Guidelines to Implement CEQA.

Options

After consideration of any public testimony, the Planning Commission should consider the following options:

1. Approve Draft Resolution A (Attachment 5), approving Conditional Use Permit Amendment 15-018.
2. Refer the project back to the Development Review Committee to further address height compatibility concerns.
3. Approve Draft Resolution B (Attachment 6), denying Conditional Use Permit Amendment 15-018.

Analysis and Conclusions

Project Summary

For the Planning Commission to consider a request to amend Conditional Use Permit 15-018 in order to amend a previously approved guest house addition to a detached garage by increasing its overall size and height at 1311 Chestnut Street. The request would increase the size of the structure from 855 square feet to 978 square feet of gross floor area and would increase the height from 25-feet to 31-feet.

The intent of the requirement of a Conditional Use Permit (CUP) for detached accessory buildings is to insure that the building would be compatible with the surrounding neighborhood and not negatively impact neighboring properties. The Planning Commission will need to review this CUP request to determine the project's compatibility. The CUP gives the Planning Commission the ability to require special conditions of approval to insure that a particular use is compatible with surrounding uses.

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General Plan / Zoning Consistency

The General Plan land use designation for the site is Residential Single Family (RSF). The Zoning designation is Residential Single Family (R1). Detached accessory buildings are a permitted use in the R1 Zone. Since the existing primary residence is 1,183 square feet, the proposed addition would exceed 50-percent of the size of the primary residence. Section 21.16E.260.C of the Zoning Ordinance requires a CUP when the gross floor area of the detached accessory building exceeds 50-percent of the gross floor area of the main dwelling. Additionally, since the height of the building is proposed to be over 15-feet in height, Section 21.16E.210 of the Zoning Code requires a CUP. In this instance, the project requires an amendment to the existing CUP to increase the size and height of the guest house addition.

Neighborhood Compatibility / Site Design Issues

In 2015, Conditional Use Permit 15-018 was approved via Resolution No. 15-029 to allow for a 585 square foot guest house addition to the existing 270 square foot one car garage, for a total of 855 square feet. As part of the application, the guest house was approved to be 25-feet in height at the front and right side elevations (along the northern property line). In 2016, the owner began construction on the approved guest house addition and has since completed installation of a new foundation in the garage including a concrete wall reinforcement and new slab to support the upper level of the guest house. During the construction process, the owner determined a larger footprint would accommodate new intentions of converting the guest house to a second unit, which is allowed under Section 21.16D of the Zoning Code.

The request under consideration would increase the structure's size from 855 square feet to 978 square feet of gross floor area and would increase the front and right side elevations from 25-feet to 31-feet. A comparison of the size and height of the original permitted structure is demonstrated via a dashed line on the Architectural and Structural Plans (Exhibit B to Attachment 5) on Sheets C-1.1 and A-4.1 (Site Plan and Elevations), respectively. The owner's intent for increasing the square footage by 123 square feet is to allow extra space to be used as a future laundry room and kitchen as part of converting the guest house to a second unit. Furthermore, the owner has indicated the increase in height for the third story of the structure would be to incorporate vaulted ceilings from the Spanish Revival style, which is reflected in the applicant's Conformity Report provided at the Development Review Committee (DRC) meeting from March 27, 2017 (Attachment 4, Conformity Report).



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One of the main issues discussed during the DRC meeting was whether the increase in building height was necessary as part of the CUP request since the additional 6-feet in height does not substantially increase storage space, considering the proposed attic is only 40 sf in size. Additionally, although the vaulted ceilings would provide aesthetic value to the owner of the property, the overall height of the structure would cause it to be substantially taller than the existing single-family residence and the property immediately to the north. As a result of the Development Review Committee's concerns regarding the height, the applicant offered to erect "story-poles" on the property to demonstrate what the height of the structure would look like compared to what was previously approved. As shown in the following site photos, the applicant erected color-coated story-poles with corresponding locations noted on the Site Plan (Sheet C-1.1). The red flags represent what was previously approved under CUP 15-018 and the yellow flags represent what is proposed under the new CUP 15-018 Amendment. The story-poles will be available to be viewed from Saturday, May 6th through Tuesday, May 9th. In addition to the story-poles, the Architectural and Structural Plans (Exhibit B to Attachment 5) contain elevations showing the proposed addition and its height compared to the surrounding neighbors.



Story Pole Photo 1: Looking southwest at the project site.

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Story Pole Photo 2: Looking west at the project site.

Architecture and Appearance

The existing single-family residence is recognized by the City of Paso Robles as historically significant and may warrant special consideration in local planning. One of the purposes of the Historic Preservation Ordinance is to provide for the recognition, preservation, and use of historic resources in the City by establishing procedures and regulations necessary to ensure that new development maintains continuity with the City's historic character and scale. Projects in which the proposed work is minor and will not diminish, eliminate, or adversely affect the character of the historic resource are considered eligible for a Certificate of No Effect, a document which may be issued by staff prior to issuance of a building permit. Since the Planning Commission is the approving body in regards to the project, approval of the project would reflect a determination consistent with the Certificate of No Effect.

Although the guest house addition would utilize the same architecture as the existing residence, the request to increase the height of the building from 25-feet to 31-feet will result in the guest house addition being out of scale with the existing structure. This could result in the guest house having a potentially negative affect on the existing residence's historical significance and affect the project's eligibility for a Certificate of No Effect.

The Planning Commission will need to make findings to determine whether the proposed project will be consistent with the character of the immediate neighborhood or contrary to its orderly development, in addition to taking into consideration the project's impact on the historical significance of the existing home. Because these findings have yet to be made, there is an option for the Planning Commission to approve the project as proposed (see Draft Resolution A, Attachment 5) as well as an option to deny the project (see Draft Resolution B, Attachment 6).

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CEQA Issues

This application is categorically exempt from environmental review per Section 15303 (new construction of small structures) of the State's Guidelines to Implement CEQA.

Options

Option 1. Approval of the request to amend Conditional Use Permit 15-018 in order to amend a previously approved guest house addition to a detached garage by increasing its overall size and height would allow the applicant to incorporate a laundry room and wet bar / kitchen with the intent of one day converting the guest house into a second unit. Under Option 1, Exhibit A to Draft Resolution A reflects modifications from the originally approved conditions of approval for CUP 15-018, with additions shown as underlined (blue) and deletions shown as stricken-out (red).

Option 2. Referring the item back to the Development Review Committee to further discuss the height compatibility concerns would allow staff to work with the applicant on the issues previously raised at the DRC meeting held on March 27, 2017. Consideration of this option should be contingent on the applicant's willingness to reduce the height as part of a concession to the overall height concerns.

Option 3. Option 3 takes into account the Planning Commission may consider denying the project since the height of the proposed accessory building could be considered contradictory to the historical integrity of the primary residence and/or surrounding neighborhood.

Fiscal Impact

None identified at this time.

Recommendation

Option 2. Refer the project back to the Development Review Committee to further address height compatibility concerns.

Attachments

1. Vicinity Map
2. Resolution 15-029
3. Existing Conditions
4. Conformity Report
5. Draft Resolution A
6. Draft Resolution B
7. Mail Affidavit
8. Newspaper Affidavit

Attachment 1

Vicinity Map



Project Site
1311 Chestnut Street

RESOLUTION NO: 15-029

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
TO APPROVE CONDITIONAL USE PERMIT 15-018
FOR SIZE, HEIGHT, AND SETBACK EXCEPTIONS FOR AN ACCESSORY STRUCTURE
(1311 CHESTNUT - BURNS)
APN: 009-021-039

WHEREAS, Tracey Burns has filed a Conditional Use Permit (CUP) application to allow for the construction of an addition to an existing detached accessory structure at 1311 Chestnut Street; and

WHEREAS, the project proposes to add a 585 square foot guest house addition to the existing 270 square foot one car garage, for a total of 855 square feet; and

WHEREAS, the proposed 2-story addition would be 25-feet in height, and would extend the structures existing non-conforming side setback to the northern property line of less than 3-feet; and

WHEREAS, Zoning Code 21.16E.210 allows detached accessory buildings to exceed 15-feet in height and, and have a building square footage greater than 50-percent of the primary residence, with the approval of a CUP in the R-1 zoning district; and

WHEREAS, Section 21.20.350(b) of the Zoning Code, Non-Conforming Buildings and Structures, gives the DRC, and in this case the Planning Commission the ability to approve extensions to a non-conforming setback, or building structure height, provided that such extension does not have a significant adverse effect on public safety of the existing or planned visual character of the neighborhood; and

WHEREAS, based upon the facts and analysis presented in the staff report and public testimony received and subject to the conditions of approval listed below, the Planning Commission finds that the proposed 855 square foot, 25-foot tall detached accessory building, located within 3-feet of the side property line, does not have a significant adverse effect on public safety of the existing or planned visual character of the neighborhood, and would therefore be consistent with the General Plan and not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the persons residing or working in the neighborhood of such proposed use, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City; and

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles does hereby approve Conditional Use Permit 15-018, subject to the following conditions:

- 1. The project shall be constructed so as to substantially conform with the following listed exhibits and conditions established by this resolution:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Title Sheet
B	Site Plan
C	Existing Floor Plan
D	First Floor Plan
E	Second Floor Plan
F	Elevations and Materials
G	Section

- 2. This Conditional Use Permit (CUP) authorizes the construction of an 855 square foot, 25-foot tall, detached accessory building located within 3-feet of the side property line, as described in Exhibit A-H to this resolution.
- 3. In conjunction with the development of the construction drawings for building permit plan check submittal, the plans shall be modified to allow for a garage door to accommodate for a one car garage on the first floor.
- 4. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Conditional Use Permit process, shall not waive compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
- 5. Any site specific condition imposed by the Planning Commission in approving this project may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the approval of this project. No such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use for this approval.

PASSED AND ADOPTED THIS 10th day of November, 2015 by the following Roll Call Vote:

AYES: Brennan, Donaldson, Cooper, Rollins, Burgett, Barth, Vanderlip

NOES: None

ABSENT: None

ABSTAIN: None

ATTEST:  _____
 VINCE VANDERLIP, CHAIRMAN

WARREN FRACE, SECRETARY OF THE PLANNING COMMISSION

- DEMOLITION PLAN**
1. FIELD VERIFY ALL DIMENSIONS.
 2. FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 3. PROTECT THE EXISTING CONDITIONS TO REMAIN FROM DAMAGE DURING THE DEMOLITION AND/OR NEW CONSTRUCTION OPERATIONS.
 4. CONDUCT DEMOLITION OPERATIONS SO AS TO MINIMIZE THE DEVELOPER'S AND OPERATOR'S COST.
 5. DO NOT ALTER THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING OR ITS ADJACENT UNLESS SPECIFICALLY NOTED OTHERWISE. AFTER AND REPAIR DAMAGE RESULTING FROM DEMOLITION OPERATIONS AS REQUIRED.
 6. CONDUCT DEMOLITION OPERATIONS AS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT EXISTING BUILDINGS AREAS. ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION AREA.
 7. THE CONTRACTOR IS TO PROVIDE TEMPORARY SHIELDING AND BRACING OF EXISTING STRUCTURE TO REMAIN AS REQUIRED.
 8. THE CONTRACTOR IS TO NOTIFY THE ENGINEER OF ANY DAMAGED EXISTING CONSTRUCTION BEFORE BEING THE DEMOLITION / CONSTRUCTION PROCEEDS.
 9. VERIFY ALL ITEMS NOTED TO BE DEMOLISHED WITH THE ARCHITECTURAL DRAWINGS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

M.L.C. DESIGN
Civil & Structural Engineering
Drafting & Design

445 5TH FLOOR, SUITE 10
SAN JOAQUIN, CA 95128
TEL: 916.484.8800 FAX: 916.484.8801
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PLAN PREPARED FOR:
TRACY BURNS
1311 CHESTNUT STREET
PASO ROBLES, CA

REVISION LOG

NO.	DESCRIPTION	DATE

PROJECT NO.:
FILE NO.:
DESIGN BY:
DATE:

DEMOLITION FLOOR PLAN

A-1.1

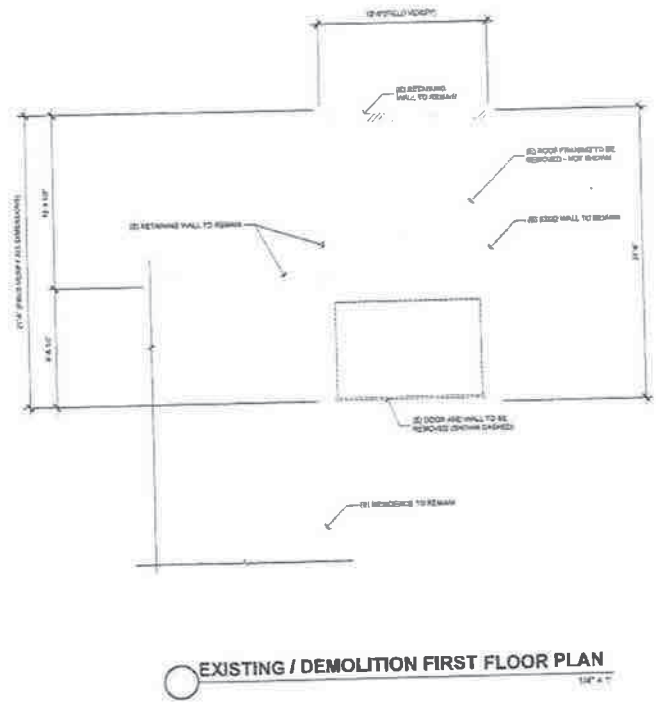
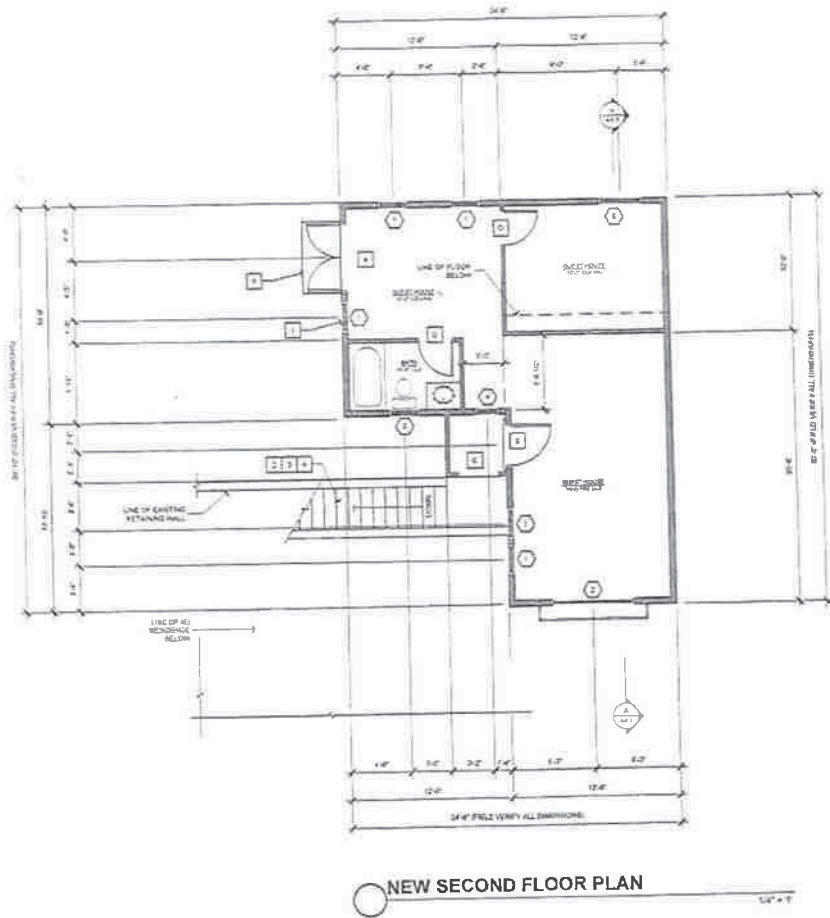


Exhibit C
Existing Floor Plan
CUP 15-018
1311 Chestnut Street
(Burns)



FLOOR PLAN CALLOUTS

1. ALL NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.

WINDOW SCHEDULE

SYM	QTY	SIZE	OPERATION	NOTES
W1	1	48\"	FIXED	DOUBLE GLAZED
W2	1	48\"	FIXED	DOUBLE GLAZED
W3	1	48\"	FIXED	DOUBLE GLAZED
W4	1	48\"	FIXED	DOUBLE GLAZED
W5	1	48\"	FIXED	DOUBLE GLAZED

DOOR SCHEDULE

SYM	QTY	SIZE	OPERATION	NOTES
D1	1	36\"	SLIP	TEMPORARY
D2	1	36\"	SLIP	TEMPORARY
D3	1	36\"	SLIP	TEMPORARY
D4	1	36\"	SLIP	TEMPORARY

LEGEND

- W1: 48\" FIXED WALL
- W2: 48\" FIXED WALL
- W3: 48\" FIXED WALL
- W4: 48\" FIXED WALL
- W5: 48\" FIXED WALL

M.E. Designs
Civil & Structural Engineering
Drafting & Design

3000 Lower Buckle Road, Suite 100
Pasadena, CA 91107
Tel: 626.791.1111 Fax: 626.791.1112

PLAN PREPARED FOR
TRACY BURNS
1311 CHESTNUT STREET
PASO ROBLES, CA

REVISION LOG

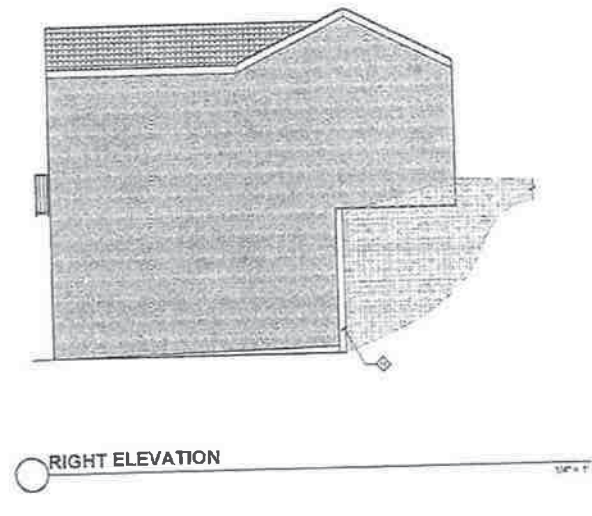
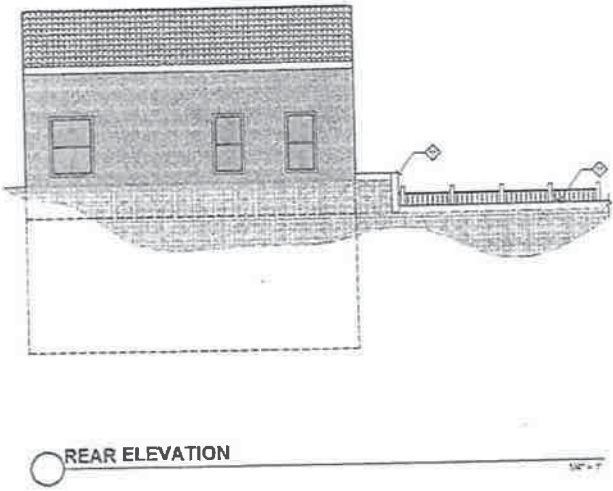
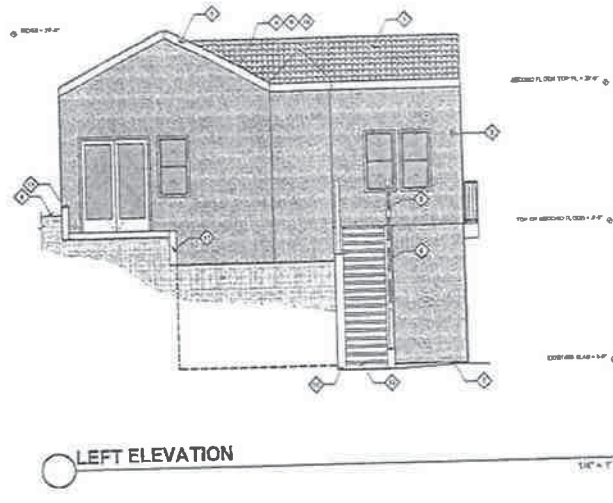
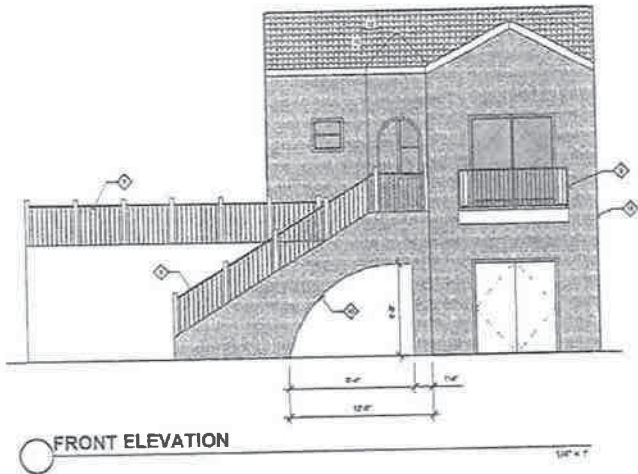
NO.	DESCRIPTION	DATE

PROJECT NO.: _____
FILE NAME: _____
DESIGN BY: _____
DATE: _____

SHEET TITLE:
SECOND FLOOR PLAN

SHEET NUMBER:
A-3.1

Exhibit E
Second Floor Plan
CUP 15-018
1311 Chestnut Street
(Burns)



- ELEVATION NOTES**
1. PLANT TALL ROOFING OVER TOP MINIMUM ROOFING FELT (TFR) OVER 3/8\"/>
 2. 2\"/>
 3. 2\"/>
 4. UNLESS PLUMBING SHALL NOT BE LESS THAN 2 1/2\"/>
 5. CORROSION RESISTANT METAL INSTALLED OVER A MINIMUM OF TWO UNDEVELOPED 1/2\"/>
 6. GUARD RAIL ABOVE FINISHED FLOOR, PROVIDE TWO VERTICAL BRACES PER RAIL SECTION
 7. HANDRAILS PER IRC 1016.16 AND 1021. TOP OF HANDRAILS SHALL BE MOUNTED 42\"/>
 8. CONTRIBUTE THE FULL LENGTH OF STAIRS AND EXTEND 12\"/>
 9. POSTS OF SAFETY TERMINALS, HORIZONTAL PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1 1/4\"/>
 10. ON NEW STAIRS FOLLOWING TO BASE OF EXISTING FLIGHT AND INSTALLED PER CODES. 12. RAILY STAIRS SHALL BE CORROSION RESISTANT WITH A MINIMUM VERTICAL ALIGNMENT PLATE OF 3/16\"/>
 11. BELOW THE FOUNDATION PLATE ARE, THE AREAS SHALL BE PLACED A MINIMUM OF 4\"/>
 12. SLURR AWAY FROM BUILDING 24\"/>
 13. GUTTER AND DOWNSPOUTS SHALL BE INSTALLED ON ALL ROOF AREAS UNLESS FULLY COMPLETED SHALL BE TIED INTO EXISTING DRAINAGE, REFER TO GRADING/IRRIABLE PLAN FOR ADDITIONAL INFORMATION. GUTTERS SHALL BE SLOPED TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
 14. NEW CONCRETE SHALL WITH ANCHOR OPENING - CONTRACTOR TO FIELD VERIFY EXISTING WALLS WITH OWNER
 15. NEW SITE RE FINISHES SHALL LESS THAN 3\"/>
 16. EXISTING SITE NETWORKING SHALL
 17. MINIMUM OF ONE SCOURM FORTH A MINIMUM TO 7\"/>
 18. ATIC LOCATION CALCULATIONS: HOUSE ATTIC AREA = 883 SQ FT
REQUIRED ATIC VENTILATION = 146.1 SQ FT @ 1.5 FT @ 1.5 FT @ 542 SQ IN.
USE 1/4\"/>
 19. ATIC LOCATION CALCULATIONS: CHIMNEY AREA = 207 SQ FT
REQUIRED UNDER FLOOR VENTILATION = 287.1 SQ FT @ 1.5 FT @ 1.5 FT @ 588 SQ IN.
USE 1/4\"/>

TRACY BURNS
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Drafting & Design

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PLAN PREPARED FOR:
TRACY BURNS
1311 CHESTNUT STREET
PASO ROBLES, CA

REVISION LOG		
NO.	DESCRIPTION	DATE

PROJECT NO.:
DATE:
SHEET NO.:
ELEVATIONS

SHEET NUMBER:
A-4.1

Exhibit F
Arch. Elevations
CUP 15-018
1311 Chestnut Street
(Burns)

Attachment 3 Existing Conditions



Site Photo 1: View of foundation for the upper level of the guest house addition, looking northeast.

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Site Photo 2: View of foundation for the upper level of the guest house addition, looking north.



Site Photo 3: View of garage on the lower level, looking west.

1311 Chestnut Paso Robles

Conformity Report for Paso Robles Planning Commission

The purpose of this report is to expand on provided plans and structural drawings. This report is mostly visual to give a better perspective of the surrounding neighborhood for the detached accessory building taking place above the existing garage at 1311 Chestnut. This report will show existing structures of the neighborhood taken from Chestnut Street and the Fire Road that runs along parallel to Chestnut Street to give a perspective from the opposite side of the new structure. Also included are pictures of the foundation that has been built as well architectural inspirations the owner hopes to emulate in the new conditional use permit.

Surrounding Neighborhood from Chestnut Street



Front on view of 1311 Chestnut from the street



Front on view of 1311 Chestnut from the driveway



Street view of 1311 and 1321 Chestnut



Street view of 1321 Chestnut



Street view of 1301 Chestnut (1)



Street view of 1301 Chestnut (2)

Surrounding Neighborhood from Fire Road behind Chestnut Street



Behind 1311 Chestnut taken from fire road



1311 and 1321 Chestnut taken from fire road



Directly behind 1321 Chestnut taken from fire road



1311 and 1301 Chestnut taken from fire road



Directly behind 1301 Chestnut taken from fire road



Directly behind 1291 Chestnut taken from fire road



Directly behind 1271 Chestnut 2nd unit taken from fire road



Behind 1271 Chestnut 2nd unit taken from fire road



Terrace Hill Spanish Style taken from fire road

Current Site



Taken at property line of 1321 and 1311 Chestnut



Property line of 1321 and 1311 Chestnut

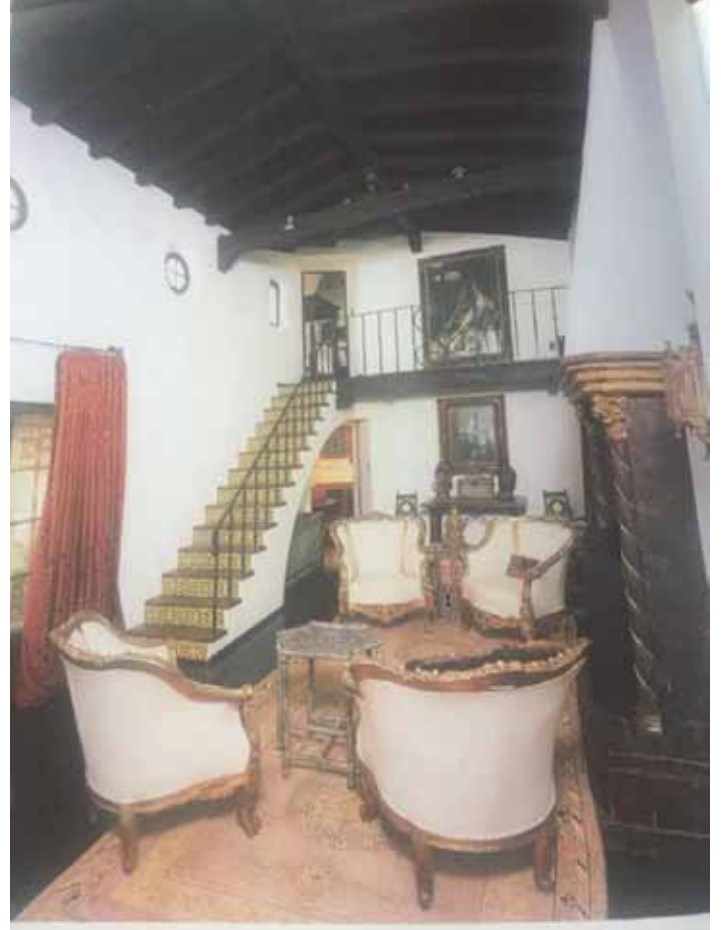


View facing north to 1321 Chestnut



View of new structure and proximity to back fence/property line

Inspirational Architecture taken from *California Colonial The Spanish and Rancho Revival Styles*



The owner would like a room similar to this with high ceilings but not including the staircase

Attachment 5

Draft Resolution A

RESOLUTION NO: PC 17-XXX
A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
TO APPROVE CONDITIONAL USE PERMIT AMENDMENT 15-018
FOR SIZE AND HEIGHT EXCEPTIONS FOR AN ACCESSORY STRUCTURE
(1311 Chestnut Street – Burns)
APN: 009-021-039

WHEREAS, in accordance with the Historic Preservation Ordinance (Chapter 21.50), the primary residence at 1311 Chestnut Street is recognized by the City of Paso Robles as historically significant and may warrant special consideration in local planning; and

WHEREAS, one of the purposes of the Historic Preservation Ordinance is to provide for the recognition, preservation, and use of historic resources in the City by establishing procedures and regulations necessary to ensure that new development maintains continuity with the City's historic character and scale. Furthermore, it is unlawful for any person, owner, or entity to directly or indirectly alter, remodel, demolish, grade, remove, construct, reconstruct, or restore and site, building, structure, object or district listed in the historic resources inventory without first obtaining a certificate of no effect; and

WHEREAS, an application has been filed by Mark Foos (representative) on behalf of Tracy Burns (owner), requesting to amend Conditional Use Permit 15-018 in order to amend a previously approved guest house addition to a detached garage by increasing its overall size and height at 1311 Chestnut Street; and

WHEREAS, the request would increase the size of the guest house addition from 855 square feet to 978 square feet of gross floor area and would increase the height from 24-feet to 31-feet; and

WHEREAS, since the existing primary residence is 1,183 square feet, the proposed addition would exceed 50-percent of the primary residence and as noted above would be taller than 15-feet; and

WHEREAS, Zoning Code sections 21.16E.210 and 21.16E.260.C allow detached accessory buildings to exceed 15-feet in height and have a building square footage greater than 50-percent of the primary residence, with the approval of a CUP in the R-1 zoning district; and

WHEREAS, this application is Categorically Exempt from environmental review per Section 15303 (new construction of small structures) of the State's Guidelines to Implement the California Environmental Quality Act (CEQA); and

WHEREAS, a public hearing was conducted by the Planning Commission on May 9, 2017, to consider facts as presented in the staff report prepared for this project, and to accept public testimony regarding the application; and

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF EL PASO DE ROBLES DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. All of the above recitals are true and correct and incorporated herein by reference.

Section 2 - Findings: based upon the facts and analysis presented in the staff report, public testimony received and subject to the conditions listed below, the Planning Commission makes the following findings:

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1. The proposed use is consistent with the General Plan and Zoning Ordinance; and
2. The proposed use satisfies the applicable provisions of the Zoning Ordinance; and
3. The establishment, and subsequent operation or conduct of the use will not, because of the circumstances and conditions applied in the particular case, be detrimental to the health, safety or welfare of the general public or persons residing or working in the neighborhood of the use, or be detrimental or injurious to property or improvements in the vicinity of the use; and
4. That the proposed project or use will not be inconsistent with the character of the immediate neighborhood or contrary to its orderly development; and
5. That the proposed use or project will not generate a volume of traffic beyond the safe capacity of all roads providing access to the project, either existing or to be improved in conjunction with the project, or beyond the normal traffic volume of the surrounding neighborhood; and

Section 3 - Environmental Determination: This application is Categorical Exempt from environmental review per Section 15303 (new construction of small structures) of the State's Guidelines to Implement the California Environmental Quality Act (CEQA).

Section 4 - Approval: Conditional Use Permit Amendment 15-018 is approved subject to the following:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Project Conditions of Approval
B	Architectural and Structural Plans

PASSED AND ADOPTED THIS 9th Day of May 2017 by the following Roll Call Vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

CHAIRMAN JOHN DONALDSON

ATTEST:

WARREN FRACE, PLANNING COMMISSION SECRETARY

Exhibit A

Project Conditions of Approval – CUP Amendment 15-018

Planning Division Conditions:

1. The project shall substantially conform to Exhibit B (Architectural and Structural Plans) as attached to this Resolution. ~~The project shall be constructed so as to substantially conform with the following listed exhibits and conditions established by this resolution:~~

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Title Sheet
B	Site Plan
C	Existing Floor Plan
D	First Floor Plan
E	Second Floor Plan
F	Elevations and Materials
G	Section

2. This Conditional Use Permit Amendment (CUP) authorizes the construction of a 978 ~~an 855~~-square foot, 31-2" ~~25-foot~~ tall, detached accessory building located within 3-feet of the side property line, ~~as described in Exhibits A-G to this resolution~~ located at 1928 Experimental Station Road.
3. In conjunction with the development of the construction drawings for building permit plan check submittal, the plans shall be modified to allow for a garage door to accommodate for a one car garage on the first floor.
4. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Conditional Use Permit process, shall not waive compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
5. Any site specific condition imposed by the Planning Commission in granting this Conditional Use Permit may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the granting of the original permit. No such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use under the Conditional Use Permit.
6. Prior to the issuance of a building permit, the Planning Division Staff shall approve the following:
 - a. Final site plan and architectural elevations;
 - b. Floor Plans;
 - c. Detailed building elevations of all structures indicating materials, colors, and architectural treatments.

ARCHITECTURAL & STRUCTURAL PLANS FOR TRACY BURNS 1311 CHESTNUT STREET PASO ROBLES, CA



EROSION CONTROL

1. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST BE IN PLACE AND FUNCTIONAL PRIOR TO THE FIRST INSPECTION. NO INSPECTIONS CAN BE PERFORMED IF THEY ARE NOT IN PLACE OR HAVE FAILED TO PROVIDE EROSION CONTROL. FAILURE TO MAINTAIN EROSION CONTROL WILL CAUSE INSPECTIONS TO BE DELAYED UNTIL EROSION CONTROL MEASURES ARE FUNCTIONAL.
2. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND MAINTAINED TO THE SATISFACTION OF THE BUILDING OFFICIAL AND PUBLIC WORKS DIRECTOR DURING ALL DEMOLITION, CONSTRUCTION AND GROUND DISTURBING ACTIVITIES.
3. THE ADJACENT STREET SHALL BE CLEANED BY SWEEPING TO REMOVE DIRT, DUST, MUD AND CONSTRUCTION DEBRIS AT THE END OF EACH DAY.
4. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN PERMANENT IMPROVEMENTS, PLANTINGS AND FACILITIES ARE IN PLACE. TEMPORARY MEASURES SHALL BE REMOVED PRIOR TO FINAL INSPECTION APPROVALS.
5. THE FOLLOWING PERSON SHALL BE RESPONSIBLE FOR IMPLEMENTING & MONITORING THE APPROVED EROSION & SEDIMENTATION CONTROL PLAN:

TO BE DETERMINED

AIR QUALITY CONTROL

- DURING CONSTRUCTION/GROUND DISTURBING ACTIVITIES, THE FOLLOWING PARTICULATE (DUST) CONTROL MEASURES SHALL BE IMPLEMENTED. THE CONTRACTOR OR BUILDER SHALL BE DESIGNATED TO MONITOR THE DUST CONTROL PROGRAM AND ORDER INCREASED WATERING, AS NECESSARY, TO PREVENT TRANSPORT OF DUST OFF SITE. THEIR DUTIES SHALL INCLUDE HOURLY AND WEEKEND PERIODS WHEN NECESSARY. THIS CONTACT INFORMATION SHALL BE PRESENTED TO THE APCD PRIOR TO COMMENCEMENT OF CONSTRUCTION.
1. REDUCE THE AMOUNT OF DISTURBED AREA WHERE POSSIBLE
 2. USE OR WATER TRUCKS OR SPRINKLER SYSTEMS IN SUFFICIENT QUANTITIES TO PREVENT AIRBORNE DUST FROM LEAVING THE SITE. INCREASED WATERING FREQUENCY SHOULD BE USED UNTIL THE UNDERLYING SOIL HAS BEEN RECLAIMED. NONPOTABLE WATER SHOULD BE USED WHENEVER POSSIBLE.
 3. ALL DIRT STOCK-PILE AREAS SHOULD BE SPRAYED DAILY AS NEEDED.
 4. ALL ROADWAYS, DRIVEWAYS, SIDING SHALL BE COMPLETED AS SOON AS POSSIBLE; AND BUILDING PADS SHALL BE LAID AS SOON AS POSSIBLE AFTER GRADING UNLESS SEEDING OR SOIL BINDERS ARE USED.
- DURING INITIAL GRADING/SCRAPING, BURNING SHALL NOT BE ALLOWED, OR IF NO ALTERNATIVE IS AVAILABLE, THE APPLICANT SHALL OBTAIN A BURN PERMIT FROM THE APCD AND COUNTY DEPARTMENT OF FORESTRY, AND COMPLY WITH ALL CONDITIONS REQUIRED BY THESE AGENCIES.

GENERAL GRADING NOTES

1. ANY AND ALL SITE WORK AND GRADING SHALL BE IN ACCORDANCE WITH CBC CHAPTER 18 AND CBC APPENDIX J AND ANY APPLICABLE LOCAL ORDINANCES.
2. A SOILS ENGINEER SHALL DETERMINE GRADING PERFORMED IS IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS AND IS SUITABLE TO SUPPORT THE INTENDED STRUCTURES.
3. THE BOTTOM OF ALL EXCAVATIONS SHOULD BE OBSERVED BY THE GEOTECHNICAL ENGINEER AND RECORDED ON THE PLANS.
4. AN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK DONE WITHIN A RIGHT OF WAY MAINTAINED BY THE PRESIDING JURISDICTION.
5. MAXIMUM CUT AND FILL SLOPE TO BE 2:1.
6. THE EXISTING GROUND SURFACE SHOULD BE PREPARED FOR GRADING BY REMOVING ALL VEGETATION, TREES, LARGE ROOTS, DEBRIS, NON-COMPLYING FILL, AND ALL OTHER ORGANIC MATERIAL. Voids CREATED BY REMOVAL OF SUCH MATERIALS SHOULD NOT BE BACKFILLED UNTIL THE UNDERLYING SOIL HAS BEEN OBSERVED BY A SOILS ENGINEER.
7. FILL AND BACKFILL SHOULD BE PLACED AT NEAR OPTIMUM MOISTURE IN LAYERS WITH LOOSE THICKNESS NOT GREATER THAN EIGHT (8) INCHES AND COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY OBTAINABLE BY TEST METHOD ASTM 1557, AND CERTIFIED BY A SOILS ENGINEER.
8. IMPORT SOILS USED TO RAISE SITE GRADE SHOULD BE EQUAL TO OR BETTER THAN ON-SITE SOILS IN STRENGTH, EXPANSION AND COMPRESSIBILITY CHARACTERISTICS. IMPORT SOIL CAN BE EVALUATED BUT WILL NOT BE PRE-QUALIFIED BY THE GEOTECHNICAL ENGINEER. FINAL COMMENTS ON THE CHARACTERISTICS OF THE IMPORT SOIL WILL BE PROVIDED AFTER THE MATERIAL IS STOCKPILED AT THE PROJECT SITE.
9. FINAL SITE GRADE SHOULD BE SUCH THAT ALL WATER IS DIVERTED AWAY FROM THE STRUCTURE(S) A MINIMUM OF 5% FOR 10 FEET. WATER SHALL NOT FLOOD ALL SURFACE WATER SHOULD BE DIRECTED INTO APPROVED DISCHARGE STRUCTURES.
10. ACCESS ROAD/DRIVEWAYS: ANY ROAD GRADE IN EXCESS OF 12% SHALL BE PAVED WITH A NON-SKID MATERIAL. GRADE FOR FIRE ACCESS SHALL NOT EXCEED 20%.
11. ALL NON-PERMITTED FILL SHALL BE REMOVED BY CONTRACTOR.
12. ELECTRICAL, TELECOMMUNICATIONS, AND OTHER UTILITIES SHALL BE INSTALLED UNDERGROUND IN AN APPROVED METHOD OF CONSTRUCTION. THIS REGULATION APPLIES TO UTILITIES ON SITES THAT ARE 6 ACRES OR LESS AND SERVING NEW STRUCTURES AND/OR NEW UTILITY DISTRIBUTION.
13. UTILITY TRENCH BACKFILL SHOULD BE GOVERNED BY THE PROVISIONS OF THIS REPORT RELATING TO MINIMUM COMPACTON STANDARDS. IN ALL OTHER SERVICE LINES INSIDE THE PROPERTY LINES MAY BE BACKFILLED WITH NATIVE SOILS COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY. BACKFILL OF OFF-SITE SERVICE LINES WILL BE SUBJECT TO THE SPECIFICATIONS OF THE JURISDICTIONAL AGENCY OR THE GEOTECHNICAL REPORT, WHICHEVER IS GREATER.
14. LINED DRAINAGE SWALES AND DOWN DRAINS SHOULD BE PROVIDED AT THE TOPS OF CUT AND FILL SLOPES TO DIVERT DRAINAGE AWAY FROM SLOPE FACES.
15. FILL SLOPES SHOULD BE KEPT AND BENCHED INTO FIRM NATURAL GROUND WHEN THE EXISTING SLOPE TO RECEIVE FILL IS 5:1 OR STEEPER. HORIZONTAL TO VERTICAL. THE KEYS SHOULD BE TIED INTO THE SLOPE A MINIMUM OF 2% SHOULD BE A MINIMUM OF ONE EQUIPMENT WHEEL AND SHOULD BE A MINIMUM OF THREE (3) FEET DEEP ON THE OUTSIDE EDGE. ALL KEYS AND BENCHES SHOULD BE OBSERVED AND VERIFIED BY THE GEOTECHNICAL ENGINEER.

GENERAL CONSTRUCTION NOTES

1. ALL WORK SHALL CONFORM WITH THE:
2013 CBC (2012 IBC AND CALIFORNIA AMENDMENTS)
2013 CALIFORNIA GREEN BUILDING CODE
2013 CFC (2012 IFC AND CALIFORNIA AMENDMENTS)
2013 CMC (2012 IAPMO UIC AND CALIFORNIA AMENDMENTS)
2013 CMC (2012 IAPMO UPC AND CALIFORNIA AMENDMENTS)
2013 CMC (2012 IAPMO UIC AND CALIFORNIA AMENDMENTS)
2013 CFC (2012 IFC AND CALIFORNIA AMENDMENTS)
2. THESE NOTES SHALL TAKE PRECEDENCE OVER ANY OTHERS OTHERWISE NOTED OR SHOWN. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND THEY SHALL BE CONSIDERED AS SUCH UNLESS OTHERWISE NOTED. ALL OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR GENERAL NOTES SHALL BE THE RIGHT TO THE ARCHITECT/ENGINEER.
BY THE GENERAL CONTRACTOR BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
3. ALL WORK AND CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODES AND OTHER

RULES, REGULATIONS AND ORDINANCES GOVERNING THE CONSTRUCTION SITE. BUILDING CODE REQUIREMENTS IN ALL CASES TAKE PRECEDENCE OVER THE DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF ANY SUPPLYING LABOR AND/OR MATERIALS TO BRING TO THE ATTENTION OF THE ARCHITECT/ENGINEER ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
4. DO NOT SCALE THE DRAWINGS. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
5. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE INTENT OF THE ARCHITECT/ENGINEER. UNLESS OTHERWISE NOTED, INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL SURVEY AND DIRECT WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT/ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE

CONSTRUCTION PROCEDURES REQUIRED FOR SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY SUPPORT SERVICES PERFORMED BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT/ENGINEER SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED SUPPORT SERVICES PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND SPECIFICATIONS, AND THEREFORE THEY DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSIDERED AS SUPERVISION OF CONSTRUCTION.
6. CONTRACTOR HEREBY GUARANTEES TO THE OWNER AND THE ARCHITECT/ENGINEER THAT ALL MATERIALS, FIXTURES, AND EQUIPMENT FURNISHED TO THE PROJECT ARE NEW UNLESS OTHERWISE SPECIFIED. CONTRACTOR ALSO WARRANTS THAT ALL WORK WILL BE OF GOOD QUALITY AND FREE FROM ANY FAULTS AND DEFECTS FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION UNLESS A GREATER WARRANTY OR GUARANTEE IS REQUIRED BY THE PROJECT SPECIFICATIONS.
7. ANYONE SUPPLYING LABOR AND/OR MATERIALS TO THE PROJECT

SHALL CAREFULLY EXAMINE ALL SUBSURFACES TO RECEIVE WORK. ANY CONDITIONS DETRIMENTAL TO WORK SHALL BE REPORTED IN WRITING TO THE CONTRACTOR PRIOR TO BEGINNING WORK. THE COMMITMENT OF WORK SHALL IMPLY ACCEPTANCE OF ALL SUBSURFACES.
8. REFER TO ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR DERESSED SLABS CURB, FINISHES, TEXTURES, CLIPS, GROUNDS, ETC., NOT SHOWN ON STRUCTURAL DRAWINGS.
9. ANY MATERIALS STORED AT THE SITE SHALL BE COMPLETELY SUPPORTED FREE OF THE GROUND COVERED AND OTHERWISE PROTECTED TO AVOID DAMAGE FROM THE ELEMENTS.
10. MORE DETAILED INFORMATION SHALL TAKE PRECEDENCE OVER LESS DETAILED INFORMATION. SPECIFICATIONS SHALL TAKE PRECEDENCE OVER DRAWINGS.
11. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL APPLICABLE CODES AND LOCAL ORDINANCES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE OR DISBURSE

ANY EXCESS MATERIAL FROM PROJECT SITE.
13. THIS SET OF PLANS TO BE ON JOB SITE AT ALL TIMES DURING CONSTRUCTION. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPROVED PLANS. NO CHANGES OR REVISIONS TO THE APPROVED PLANS OR SPECIFICATIONS SHALL BE PERMITTED UNLESS SUBMITTED TO AND APPROVED BY THE BUILDING OFFICIAL. THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS OR OMISSIONS FROM THE APPROVED PLANS AND SPECIFICATIONS. [CBC 108]
14. ALL CONTRACTORS AND SUB-CONTRACTORS MUST HAVE ON FILE WITH THE BUILDING DEPARTMENT, A LIST OF ALL SUCH CONTRACTORS AND SUB-CONTRACTORS WITH APPROPRIATE CURRENT BUSINESS LICENSE NUMBERS.
15. UNLESS NOTED OTHERWISE, ALL VESTIBULES, CLOSETS, COLUMNS, PROJECTIONS, RECESSES OR OTHER ADJACENT AREAS WITHIN SCHEDULED AREA SHALL HAVE FINISHES AS SCHEDULED FOR THE RESPECTIVE SPACES IN WHICH THEY OCCUR.
16. CONTRACTOR SHALL VERIFY ALL SETBACKS, EASEMENTS, CONTOURS,

SHEET INDEX

- T-1.1 TITLE SHEET
- C-1.1 SITE PLAN
- A-1.1 DEMOLITION FLOOR PLAN
- A-2.1 FIRST FLOOR PLAN
- A-3.1 SECOND FLOOR PLAN
- A-3.2 NEW SECOND FLOOR ATTIC PLAN
- A-4.1 ELEVATIONS
- A-4.2 ELEVATIONS
- A-4.3 ELEVATIONS
- A-4.4 PERSPECTIVE VIEWS
- A-5.1 SECTION

PROJECT INFORMATION

OWNER: TRACY BURNS
PROJECT ADDRESS: 1311 CHESTNUT STREET PASO ROBLES, CA 93446
APN: 009-021-039
PHONE: 805-237-1269

PROJECT STATISTICS

LOT SIZE	5653-50 SF
AREA OF DISTURBANCE	340 SQ FT
OCCUPANCY (CBC 310.1)	R-3 (SFD)
CONSTRUCTION TYPE	VB
MAX HEIGHT (ABV. GRADE)	25'-6"
EXISTING STRUCTURE	270 SQ FT
NEW 2nd FLOOR ADDITION	708 SQ FT
NEW 3rd FLOOR ATTIC	46 SQ FT
NEW COVERED ENTRY	20 SQ FT
TOTAL SQUARE FOOTAGE	1403 SQ FT (EXISTING + NEW)

PROJECT DESIGN CRITERIA

GOVERNING BUILDING CODE	
2013 CALIFORNIA RESIDENTIAL CODE 2013 CALIFORNIA BUILDING CODE	
GENERAL PARAMETERS	
CONSTRUCTION TYPE	TYPE V-B
NUMBER OF STORIES	2
MAX HEIGHT (ABV. GRADE)	25'-6"
FLOOR	DL / LL 20.5/20 PSF
ROOF	DL / LL 17.0/40 PSF
ATTIC (UNINHABITABLE w/ STORAGE)	DL / LL 17.0/20 PSF
WALLS (STUCCO)	DL 17.0 PSF
WALLS (INTERIOR)	DL 7.5 PSF
GEOTECHNICAL PARAMETERS (ASSUMED)	
BEARING PRESSURE	1500 PSF
LATERAL PASSIVE PRESSURE	150 PCF
EFP (REST / ACTIVE)	60 /45 PCF
FRICITION COEFFICIENT	0.25
WIND DESIGN PARAMETERS	
DESIGN PROCEDURE	SIMPLIFIED
BASIC WIND SPEED	110 MPH
EXPOSURE	C
RISK CATEGORY	II
INTERNAL PRESSURE COEFF.	N/A
DESIGN LATERAL WIND PRESSURE	16.4 PSF (H=20')
DESIGN VERTICAL WIND PRESSURE	14.6 PSF
RESMIG DESIGN PARAMETERS	
DESIGN PROCEDURE	EQUIN. FORCE
SITE CLASS	D
IMPORTANCE FACTOR	1.00
OCCUPANCY CATEGORY	II
MARKED SPECTRAL RESPONSE	SDS = 1.388 S1 = 0.5149
SPECTRAL RESPONSE COEFFICIENT	SDS = 0.925 SD1 = 0.515
SEISMIC DESIGN CATEGORY	SDC = D
SEISMIC FORCE RESISTING SYSTEM	WOOD SHEAR WALL
RESPONSE MODIFICATION FACTOR	R = 2
DESIGN BASE SHEAR	0.17W
ANALYSIS PROCEDURE USED	ASD

STRUCTURAL OBSERVATION

WHERE SPECIAL INSPECTION OR TESTING IS REQUIRED BY SECTION 1709.4, THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE SHALL PREPARE A STATEMENT OF SPECIAL INSPECTIONS IN ACCORDANCE WITH SECTION 1709.4 FOR SUBMITTAL BY THE PERMIT APPLICANT.

ITEM	REMARKS	INSPECTOR
OTHER	NOT REQUIRED	

SPECIAL INSPECTION

WHERE SPECIAL INSPECTION OR TESTING IS REQUIRED BY SECTION 1709.4, THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE SHALL PREPARE A STATEMENT OF SPECIAL INSPECTIONS IN ACCORDANCE WITH SECTION 1709.4 FOR SUBMITTAL BY THE PERMIT APPLICANT.

ITEM	REMARKS	INSPECTOR
VERIFY MATERIALS BELOW FOOTINGS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY	P	MID-COAST GEOTECHNICAL
VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL	P	MID-COAST GEOTECHNICAL
PERFORM CLASSIFICATION AND TESTING OF CONTROLLED FILL MATERIALS	P	MID-COAST GEOTECHNICAL
VERIFY USE OF PROPER MATERIALS, DENSITIES AND FILL THICKNESSES DURING PLACEMENT AND COMPACTION OF CONTROLLED FILL	C	MID-COAST GEOTECHNICAL
PRIOR TO PLACEMENT OF CONTROLLED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY	P	MID-COAST GEOTECHNICAL
OTHER	NOT REQUIRED	

CONSULTANTS

ARCHITECTURAL, STRUCTURAL & CIVIL ENGINEERING	
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GEOTECHNICAL ENGINEERS	
MID-COAST GEOTECHNICAL, INC	3124 EL CAMINO REAL ATASCADERO, CA 93422 805-661-0965

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PLAN PREPARED FOR:
TRACY BURNS
 1311 CHESTNUT STREET
 PASO ROBLES, CA

REV	DESCRIPTION	DATE

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PROJECT NO.	---
FILE NAME	T-1.1 TITLE SHEET.DWG
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TITLE SHEET

SHEET NUMBER:
T-1.1

DEMOLITION NOTES

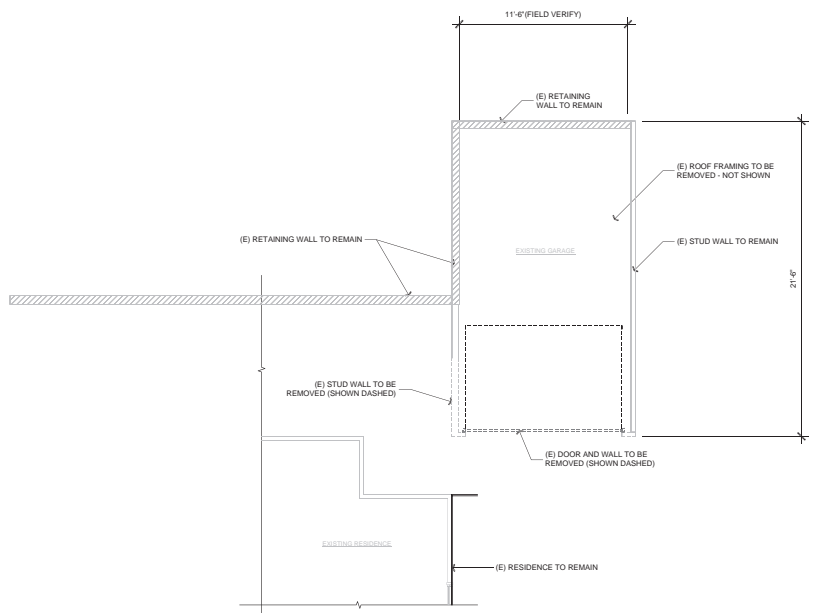
1. FIELD VERIFY ALL DIMENSIONS
2. FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES
3. PROTECT THE EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING THE DEMOLITION AND/OR NEW CONSTRUCTION OPERATIONS
4. CONDUCT DEMOLITION OPERATIONS SO AS TO MINIMIZE THE DEVELOPMENT AND SPREAD OF DUST
5. DO NOT ALTER THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING OR ITS ASSEMBLIES UNLESS SPECIFICALLY NOTED OTHERWISE
6. PATCH AND REPAIR DAMAGE RESULTING FROM DEMOLITION OPERATIONS AS REQUIRED
7. CONDUCT DEMOLITION OPERATIONS AS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDING BUILDING AREAS. ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION AREA
8. THE CONTRACTOR IS TO PROVIDE TEMPORARY SHORING AND BRACING OF EXISTING STRUCTURE TO REMAIN AS REQUIRED
9. THE CONTRACTOR IS TO NOTIFY THE ENGINEER OF ANY DAMAGED EXISTING CONSTRUCTION EXPOSED DURING THE DEMOLITION / CONSTRUCTION PROCESS
10. VERIFY ALL ITEMS NOTED TO BE DEMOLISHED WITH THE ARCHITECTURAL DRAWINGS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION

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PASO ROBLES, CA



EXISTING / DEMOLITION FIRST FLOOR PLAN
1/4" = 1'

REVISION LOG

REV.	DESCRIPTION	DATE

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PROJECT NO. —
FILE NAME A-1.1 DEMOLITION FLOOR PLAN.DWG
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DATE 4/28/21 4:56 PM

SHEET TITLE:
DEMOLITION FLOOR PLAN

SHEET NUMBER:
A-1.1

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1311 CHESTNUT STREET
PASO ROBLES, CA

FLOOR PLAN CALLOUTS

- EXTERIOR STAIRS WITH 7" MAX RISE AND 11" MIN TREAD
- HANDRAILS PER CBC 1009.10 AND 1012. TOP OF HANDRAILS SHALL BE MOUNTED +3/4" ABOVE THE NOSING OF THE TREADS AND LANDINGS (CBC 1012.2). HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS AND SHALL EXTEND 12" BEYOND TOP AND BOTTOM RISES. ENDS SHALL BE RETURNED OR SHALL END IN REVEL, POSTS OR SAFETY TERMINALS. HANDRISP PORTION ON HANDRAILS SHALL NOT BE LESS THAN 1 1/2" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION AND SHALL HAVE A SPIRE OF NOT LESS THAN 1/2" BETWEEN THE WALL AND THE HANDRAIL (CBC 1012.3 & 1012.6). PROVIDE 8" CLEAR ABOVE ALL PORTION OF THE STAIRS & ONE TREAD DEPTH BEYOND THE BOTTOM RISE (CBC 1009.2) MEASURED FROM A PLANE TANGENT TO STAIRWAY TREAD NOSING. OPENINGS FOR GUARDS SHALL NOT ALLOW A SPHERE OF 4.375" INCHES TO PASS THROUGH
- PROVIDE 36" SQUARE MINIMUM CLEAR AREA @ BOTTOM OF STAIRWAY CBC 1009.4
- EXISTING GUARD: 8'-02" ABOVE FINISHED FLOOR. PROVIDE 2X2 PICKETS SPACED PER CBC 1013.1. OPENINGS FOR GUARDS SHALL NOT ALLOW A SPHERE OF 4.375" INCHES TO PASS THROUGH
- EXISTING CONCRETE WALL
- 18"x4" UNDER FLOOR ACCESS AREA ABOVE TOP OF WALL
- CEILING MOUNTED OUTLET FOR GARAGE DOOR OPENER. PROVIDE AND INSTALL APPROVED GARAGE DOOR OPENER WITH REMOTE CONTROL.

DOOR SCHEDULE

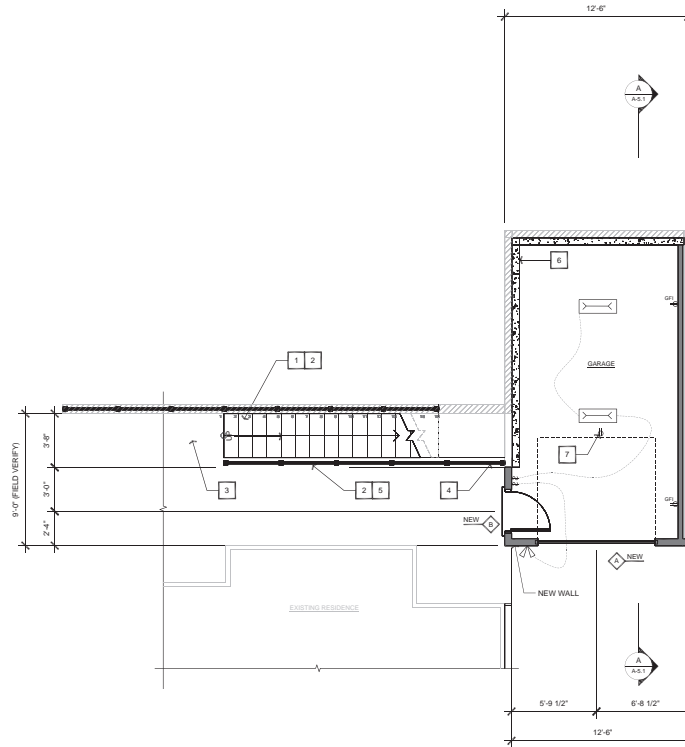
SYM.	QTY.	SIZE	OPERATION	NOTES
A	1	8070	GARAGE DOOR	NEW
B	1	3068	MAN DOOR	NEW

LEGEND

- CEILING MOUNTED EXHAUST FAN TO EXTERIOR
- PHONE
- CATV
- 115 V DUPLEX RECEPTACLE @ +18" AFF. U.O.N.
- 115 V GFCI DUPLEX RECEPTACLE
- 115 V WATER PROOF GFCI OUTLET
- 115 V GFI FAULT CIRCUIT INTERRUPTER OUTLET
- 3-WAY SWITCH
- 4-WAY SWITCH
- SINGLE POLE SWITCH
- SWITCH w/ DIMMER CONTROL
- SMOKE DETECTOR, HARD-WIRED TOGETHER
- CARBON MONOXIDE ALARM
- GAS STUB (SIZE AS REQUIRED)
- ELECTRIC SUB-PANEL
- FAN
- HOSE BIB
- FLOOD LIGHT
- RECESSED CAN LIGHT FIXTURE, FLUORESCENT
- RECESSED CAN LIGHT FIXTURE, STD RECESSED
- WALL MOUNTED LIGHT FIXTURE
- WALL MOUNTED EXTERIOR LIGHT FIXTURE, DOWNCAST
- CEILING MOUNTED PENDANT FIXTURE
- CEILING MOUNTED LIGHT FIXTURE
- CEILING MOUNTED FAN w/ LIGHT FIXTURE
- PROVIDE SEPARATE SWITCH FOR FAN & LIGHT
- FLUORESCENT BAR LIGHT

LEGEND

- (N) 2x4 STUD WALL
- (N) 2x6 STUD WALL
- (E) 2x4 STUD WALL
- (E) RETAINING WALL
- NEW CONCRETE RETAINING WALL



FIRST FLOOR PLAN & ELECTRICAL PLAN

1/4" = 1'

REVISION LOG

REV.	DESCRIPTION	DATE

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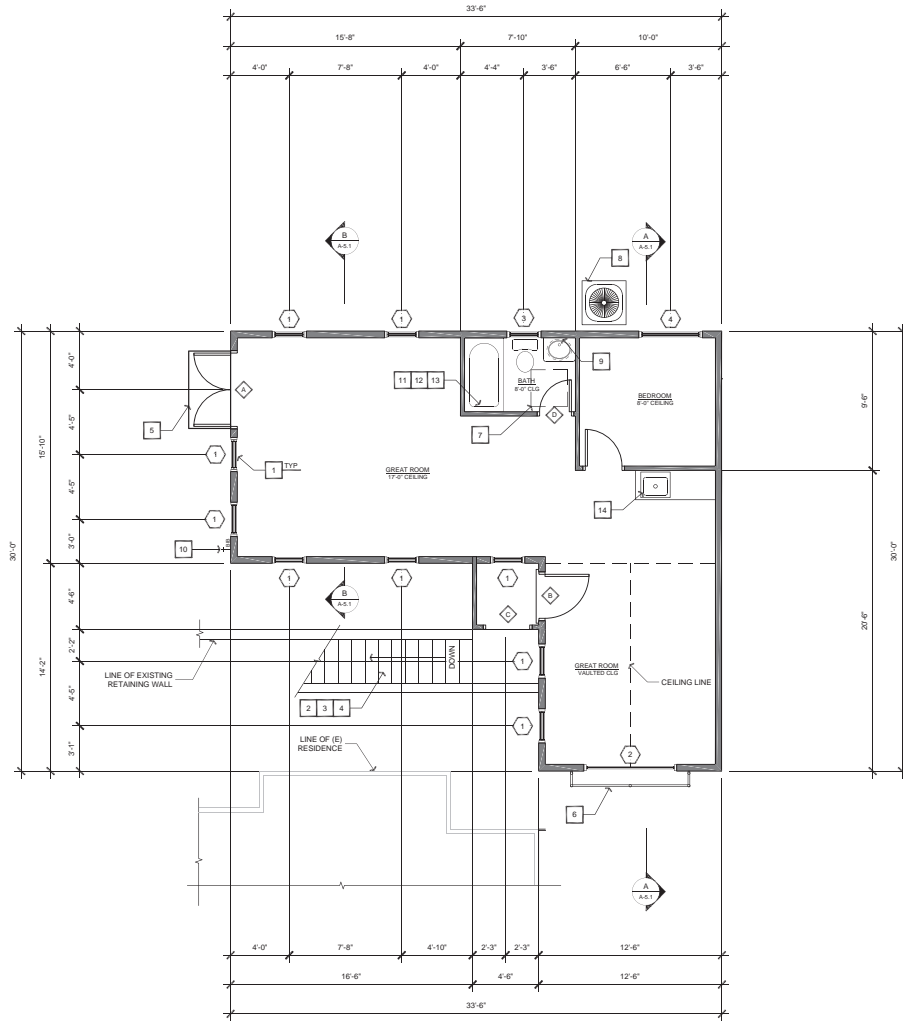
PROJECT NO. —
FILE NAME FIRST FLOOR PLAN.DWG
DRAWN BY JMB
DATE 4/28/17 4:56 PM

SHEET TITLE:
FIRST FLOOR PLAN

SHEET NUMBER:
A-2.1



PLAN PREPARED FOR:
TRACY BURNS
1311 CHESTNUT STREET
PASO ROBLES, CA



NEW SECOND FLOOR PLAN
1/4" = 1'

FLOOR PLAN CALLOUTS

- SAFETY GLAZING REQUIRED BUT NOT LIMITED TO GLAZING IN FIXED PANELS ADJACENT TO A DOOR WHERE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE WALKING SURFACE. CBC SECTION 2406.3 ALSO WITHIN 18" OF FLOORS, WITHIN TUBS, SHOWER ENCLOSURES, WITHIN HOT TUB WIRING, POOL, SPA AND STEAM ROOM AND GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET.
- EXTERIOR STAIRS WITH 7" MAX RISE AND 11" MIN TREAD, FOR R.3, L.1, OR WITHIN R.2, 7.75" MAX RISE AND 10" MIN TREAD. USE 1/2" CDX PLY SUB-FLOOR ON TREAD, RISER AND LANDING (TYP). HANDRAILS PER CBC 1013.0 AND 1013.1. TOP OF HANDRAILS SHALL BE MOUNTED 34" ABOVE THE NOSING OF THE TREADS AND LANDINGS (CBC 1013.2). HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS AND SHALL EXTEND 12" BEYOND TOP AND BOTTOM RISERS. ENDS SHALL BE RETURNED OR SHALL END IN NEVEL POSTS OR SAFETY TERMINALS. HANDGRIP PORTION ON HANDRAILS SHALL NOT BE LESS THAN 1 1/2" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION AND SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL (CBC 1013.3 & 1013.4). PROVIDE 60" CLEAR ABOVE ALL PORTION OF THE STAIRS & ONE TREAD DEPTH BEYOND THE BOTTOM RISER (CBC 1005.2) MEASURED FROM A PLANE TANGENT TO STAIRWAY TREAD NOSING. OPENINGS FOR GLAZED SHALL NOT ALLOW A SPHERE OF 4.375" INCHES TO PASS THROUGH.
- GLAZED 8" x 42" ABOVE FINISHED FLOOR. PROVIDE 2X2 PICKETS SPACED PER CBC 1013.3.
- CONCRETE LANDING AT DOORS AND TOP OF STAIRS (TYP). MINIMUM 36" SQUARE.
- DECORATIVE BALCONY RAILING, STYLE BY OWNER. NO ACCESS TO BALCONY FROM GUEST HOUSE.
- PROVIDE 30" x 30" ATTIC ACCESS TO MECHANICAL UNIT. A 22" x 30" ACCESS OPENING CAN BE USED IF A LETTER FROM THE MANUFACTURER STATING THAT ALL COMPONENTS OF F.U.U. UNIT CAN FIT THROUGH AN OPENING OF THAT SIZE. ACCESS TO BE WITHIN 20" OF F.U.U. AND HAVE A CONTINUOUS 24" WIDE WALKWAY. ALSO PROVIDE 30" CLEAR UNOBSTRUCTED WORKING SPACE IN FRONT OF F.U.U.
- AIR CONDENSING UNIT ON CONCRETE PAD. PROVIDE 5" MINIMUM CLEAR PASSAGE AROUND UNIT.
- 38" HIGH MIRROR OVER ENTIRE LENGTH OF LAVATORY SET ABOVE BACK SPLASH (TYP).
- ALL HOSE BIBS TO HAVE NON-REMOVABLE BACKFLOW PREVENTION DEVICES PER CBC 403.3.7 INDIVIDUAL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE ARE REQUIRED AT THE SHOWERS AND TUB-SHOWER COMBINATION PER CBC 401.
- SHOWERS AND WALLS ABOVE BATHTUBS WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 10" ABOVE THE DRAIN INLET. CBC 1510.3
- ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE WITH THE CBC 403.4.1-4.4
- "WET BATH" CABINETS AND CABINETS.

WINDOW SCHEDULE

SYM.	QTY.	SIZE	OPERATION	NOTES
1	9	2040	XO	DOUBLE HUNG
2	1	6060	FIXED	TEMPERED
3	1	2030	XO	TEMPERED / FROSTED
4	1	4540	XO	DOUBLE HUNG

EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS AND GLAZED OPENING WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE OR GLASS BLOCK UNITS OR HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES.

DOOR SCHEDULE

SYM.	QTY.	SIZE	OPERATION	NOTES
A	1	5058	FRENCH DOOR	TEMPERED
B	1	3068	SOLID CORE	
C	1	3068	ARCHED OPENING	
D	2	2658	SOLID CORE	

LEGEND

- (N) 2x4 STUD WALL
- (N) 2x6 STUD WALL
- (E) 2x4 STUD WALL
- (E) RETAINING WALL

REVISION LOG

REV.	DESCRIPTION	DATE

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PROJECT NO. —
FILE NAME SECOND FLOOR PLAN.DWG
DRAWN BY JMB
DATE 4/26/21 4:56 PM

SHEET TITLE:
SECOND FLOOR PLAN

SHEET NUMBER:
A-3.1

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PLAN PREPARED FOR:
TRACY BURNS
1311 CHESTNUT STREET
PASO ROBLES, CA

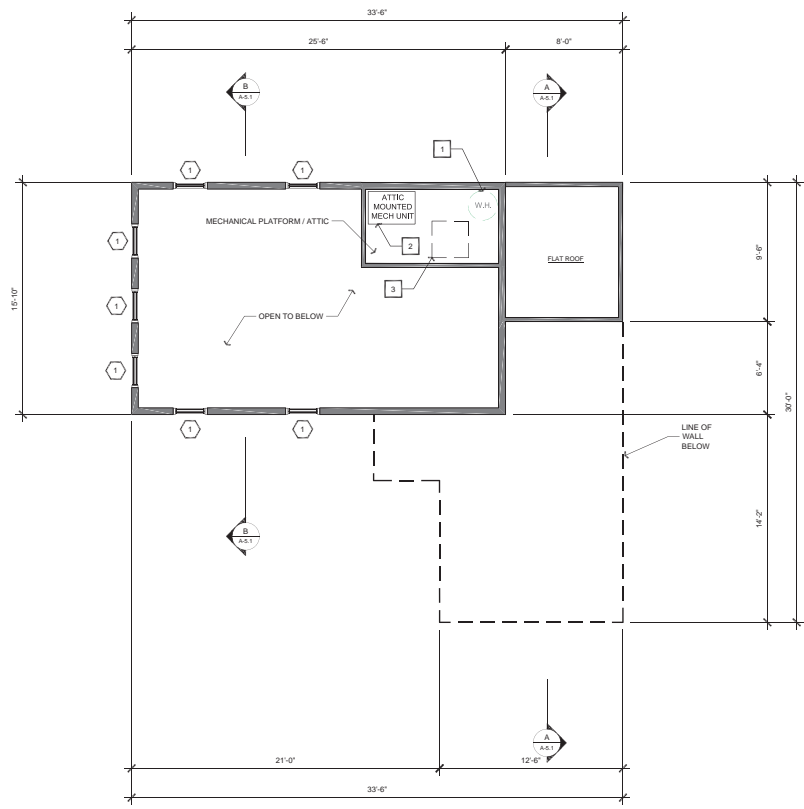
FLOOR PLAN CALLOUTS

1. PROVIDE 50 GALLON OR LESS GAS WATER HEATER WITH SEISMIC STRAPPING WITHIN THE UPPER AND LOWER 1/3 OF THE VERTICAL DIMENSION OF THE WATER HEATER WITH THE LOWER STRAP TO BE NO LESS THAN 4" ABOVE THE CONTROLS PER CPIC 41.16. AND PRESSURE RELIEF VALVE W/ A FULL SIZED DRAIN OF GALVANIZED STEEL, HARD DRAWN COPPER, CPIC, PP OR LISTED RELIEF VALVE DRAIN TUBE WITH FITTINGS TO THE EXTERIOR OF THE BUILDING WITH THE END OF PIPE NOT MORE THAN 2 FEET NOR LESS THAN 4" ABOVE THE GRADE, POINTING DOWNWARD. THE THERMAL END BEING ANTIFREEZE, UPC, SCS, BOLS. WATER HEATER SHALL BE SET ON AN 1" BASED PLATFORM. PROVIDE RECIRCULATION PUMP FOR HOT WATER. BOND THE HOT AND COLD WATER LINES AND GAS LINES AT THE WATER HEATER.
2. F.A.U. ON ATTIC FLOOR. PROVIDE SWITCH, LIGHT, AND OUTLET NEAR ACCESS AND UNIT.
3. PROVIDE 30" X 30" ATTIC ACCESS TO MECHANICAL UNIT. A 22" X 30" ACCESS OPENING CAN BE USED IF A LETTER FROM THE MANUFACTURER STATING THAT ALL COMPONENTS OF F.A.U. UNIT CAN FIT THROUGH AN OPENING OF THAT SIZE. ACCESS TO BE WITHIN 20" OF F.A.U. AND HAVE A CONTINUOUS 24" WIDE WALKWAY. ALSO PROVIDE 30" CLEAR UNOBSTRUCTED WORKING SPACE IN FRONT OF F.A.U.

UPPER WINDOW SCHEDULE

SYM.	QTY.	SIZE	OPERATION	NOTES
1	7	2040	XO	DOUBLE HUNG

EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS AND GLAZED OPENING WITHIN EXTERIOR DOORS SHALL BE INSULATING GLASS UNITS WITH A MINIMUM OF ONE TEmPERED PANE OR GLASS BLOCK UNITS OR HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES



NEW SECOND FLOOR ATTIC PLAN (LEVEL 3)
1/4" = 1'

REVISION LOG

REV.	DESCRIPTION	DATE

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PROJECT NO. —
FILE NAME A-3.2 THIRD FLOOR PLAN/DWG
DRAWN BY jms
DATE 4/28/21 4:56 PM

SHEET TITLE:
NEW SECOND FLOOR ATTIC PLAN

SHEET NUMBER:
A-3.2

NEW SECOND FLOOR ATTIC PLAN - A-3.2



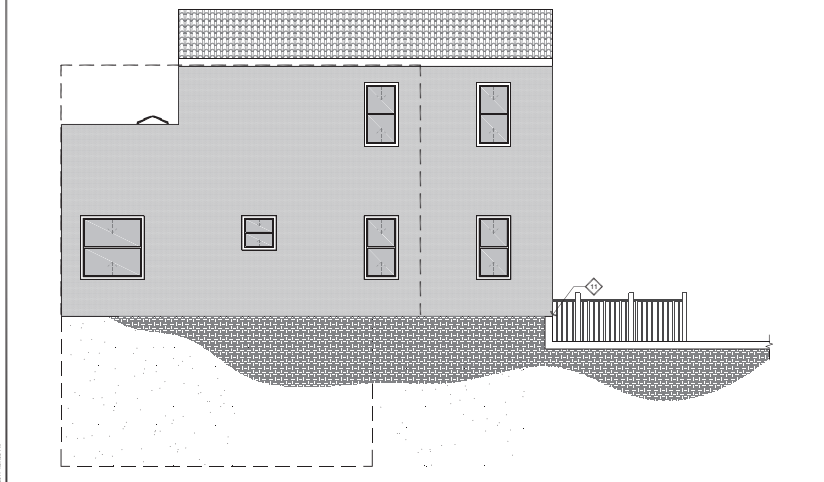
FRONT ELEVATION

1/4" = 1'



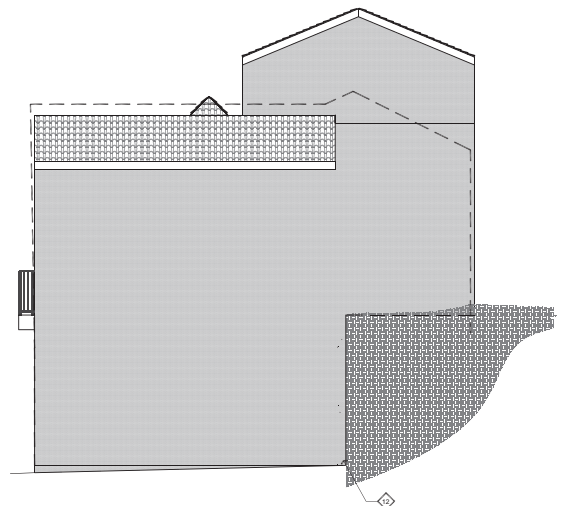
LEFT ELEVATION

1/4" = 1'



REAR ELEVATION

1/4" = 1'



RIGHT ELEVATION

1/4" = 1'

- ELEVATION CALLOUTS**
1. FLAT TILE ROOFING OVER 30# MINIMUM ROOFING FELT (TYP) OVER 5/8" PLYWOOD SHEATHING W/ 5/8" 8' x 12' (TYP)
 2. 2 X 8 HEM FIR FASCIA (TYP)
 3. 7/8" CEMENT PLASTER OVER WIRE LATH AND APPROVED BUILDING PAPER (TYP)
 4. VALLEY FLASHING SHALL NOT BE LESS THAN 0.016" (NO. 26 GALV. SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 30" WIDE UNDERLAYMENT OF 1 LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF VALLEY
 5. GUARD RAIL 42" ABOVE FINISHED FLOOR. PROVIDE 2X2 PICKETS SPACED PER CBC 1013.3.
 6. HANDRAILS PER CBC 1009.10 AND 1012. TOP OF HANDRAILS SHALL BE MOUNTED +34" ABOVE THE NOSING OF TREADS AND LANDINGS. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF STAIRS AND EXTEND 12" BEYOND TOP AND BOTTOM RISERS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NOVEL, POSTS OR SAFETY TERMINALS. HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1 1/4" MORE THAN 2" IN CROSS SECTIONAL DIMENSION
 7. 24 GA. WEEP SCREED FLASHING AT BASE OF CEMENT PLASTER AND INSTALLED PER CBC 12.1.2. WEEP SCREED SHALL BE CORROSION RESISTANT WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2" AND SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE. THE SCREED SHALL BE PLACED A MINIMUM OF 4" ABOVE THE EXISTING GRADE AND 2" MINIMUM ABOVE PAVED SURFACE
 8. SLOPE AWAY FROM BUILDING 5% FOR 10'-0" MINIMUM (TYP) OR TO DRAINAGE SWALE
 9. GUTTER AND DOWNSPOUTS SHALL BE INSTALLED ON ALL ROOF AREAS UNDO. ALL DOWNSPOUTS SHALL BE TIED INTO UNDERGROUND DRAINAGE. REFER TO GRADING/DRAINAGE PLAN FOR ADDITIONAL INFORMATION. GUTTERS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER
 10. FUTURE CONCRETE WALL WITH ARCHED OPENING
 11. SITE RETAINING WALL (LESS THAN 30" HIGH - NO GUARDRAIL REQUIRED) - SEE SITE PLAN
 12. EXISTING SITE RETAINING WALL
 13. MINIMUM 30" WIDE STAIRWAY WITH 4" MINIMUM TO 7" MAXIMUM RISE AND 11" MINIMUM RUN (FUTURE)
 14. ATTIC VENTILATION CALCULATIONS: HOUSE ATTIC AREA = 404 SQ FT
REQUIRED ATTIC VENTILATION = 404 / 150 = 2.69 SQ. FT. = 309 SQ. IN.
USE (14 22"x15" UNDER EAVE VENTS (NFVA = 41) = 574 SQ. IN.
USE VULCAN VENTS OR APPROVED EQUAL TO RESIST INTRUSION OF FLAME & EMBER INTO ATTIC AREA. VENTS SHALL BE DISTRIBUTED EVENLY FOR CROSS-VENTILATION
 15. FLOOR VENTILATION CALCULATIONS: CRAWL-SPACE AREA = 297 SQ FT
REQUIRED UNDER-FLOOR VENTILATION = 297 / 150 = 1.98 SQ. FT. = 285 SQ. IN.
USE (8) 14"x8" FOUNDATION VENTS (NFVA = 62) = 372 SQ. IN.
USE VULCAN VENTS OR APPROVED EQUAL. TO RESIST INTRUSION OF FLAME & EMBER INTO UNDER-FLOOR AREA. VENTS SHALL BE DISTRIBUTED EVENLY FOR CROSS-VENTILATION
 16. DECORATIVE BALCONY RAILING. STYLE BY OWNER. NO ACCESS TO BALCONY FROM GUEST HOUSE.

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TRACY BURNS
1311 CHESTNUT STREET
PASO ROBLES, CA

REVISION LOG

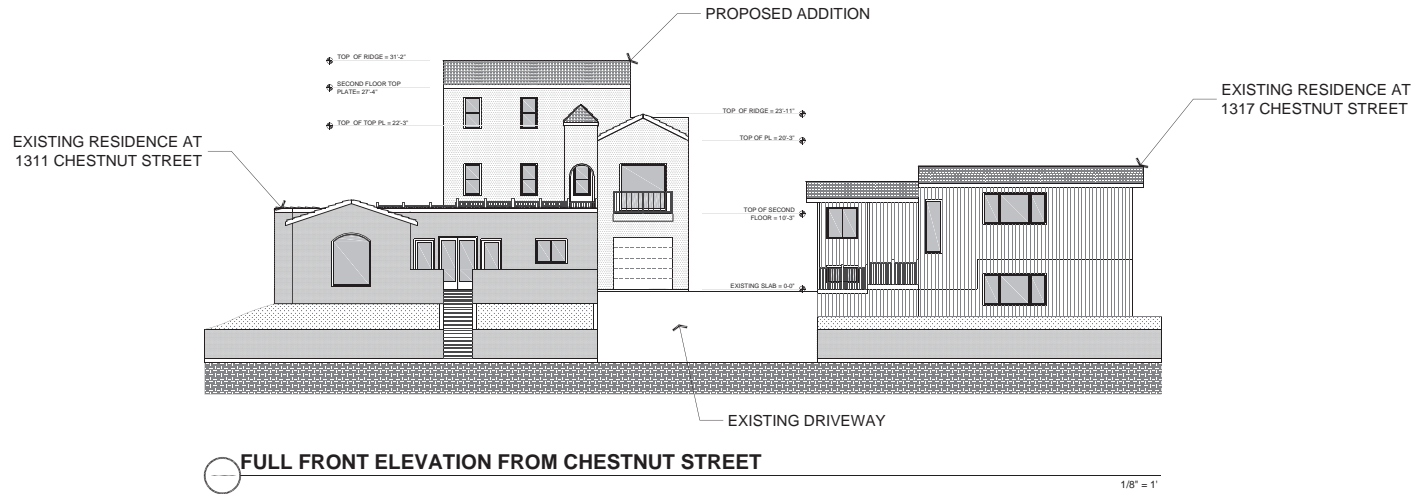
REV.	DESCRIPTION	DATE

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PROJECT NO. —
FILE NAME ELEVATIONS.DWG
DRAWN BY JMB
DATE 4/26/2017 4:57 PM

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
A-4.1
ELEVATIONS - A.4.1



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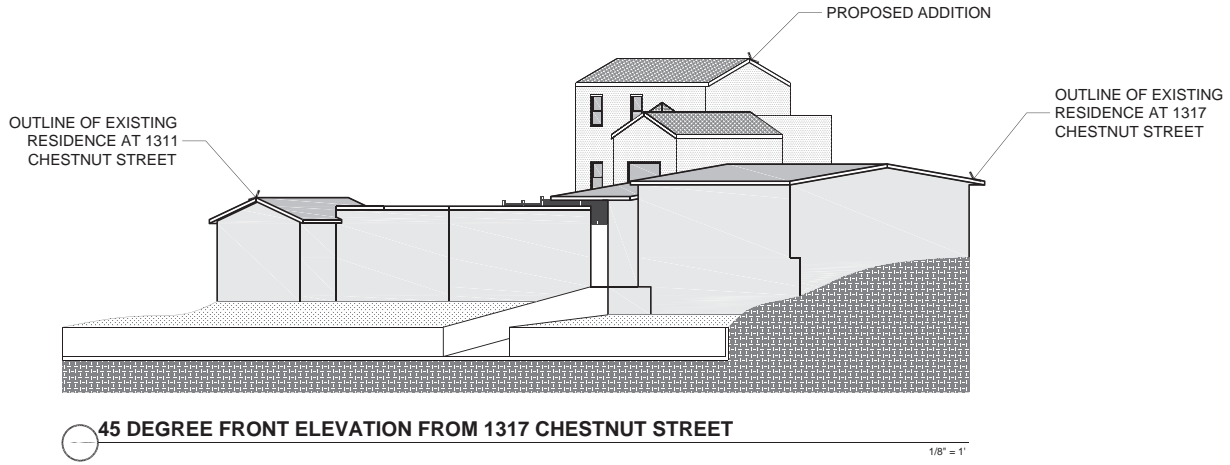
REV.	DESCRIPTION	DATE

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PROJECT NO. —
FILE NAME A-4.2 ELEVATIONS.DWG
DRAWN BY jms
DATE 4/28/17 4:57 PM

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
A-4.2



45 DEGREE FRONT ELEVATION VIEW FROM 1301 CHESTNUT STREET

1/8" = 1'

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1311 CHESTNUT STREET
PASO ROBLES, CA

REVISION LOG

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PROJECT NO. ---
FILE NAME A-4.3 ELEVATIONS.DWG
DRAWN BY JMB
DATE 4/28/2017 4:57 PM

SHEET TITLE:
ELEVATIONS

SHEET NUMBER:
A-4.3

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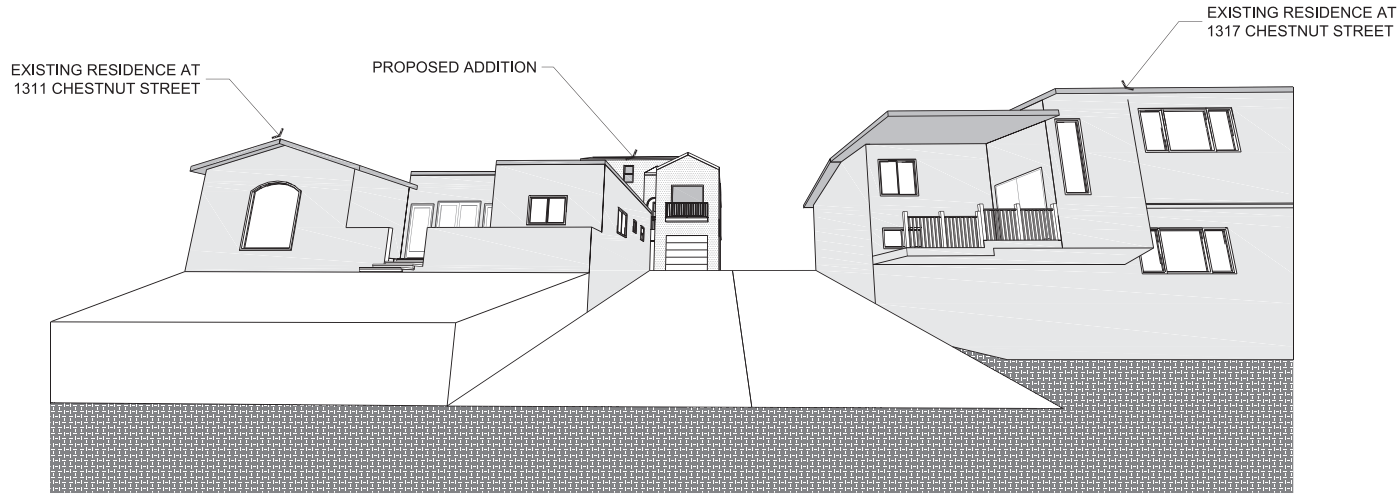
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45 DEGREE FRONT PERSPECTIVE (STREET VIEW) FROM 1317 CHESTNUT STREET

NTS

PLAN PREPARED FOR:
TRACY BURNS
1311 CHESTNUT STREET
PASO ROBLES, CA



FRONT PERSPECTIVE (STREET VIEW)

NTS

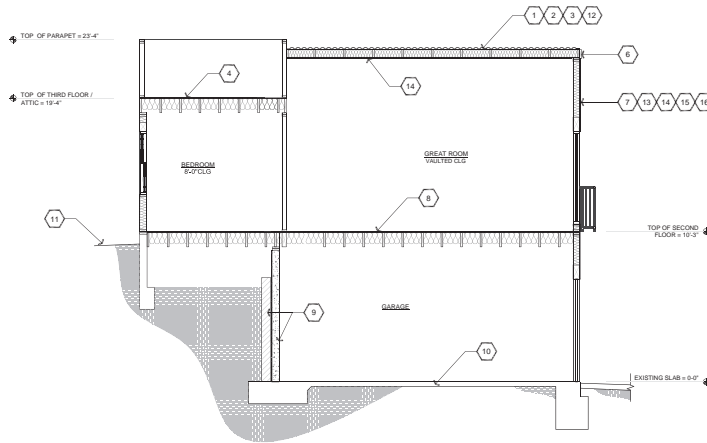
REVISION LOG		
REV.	DESCRIPTION	DATE

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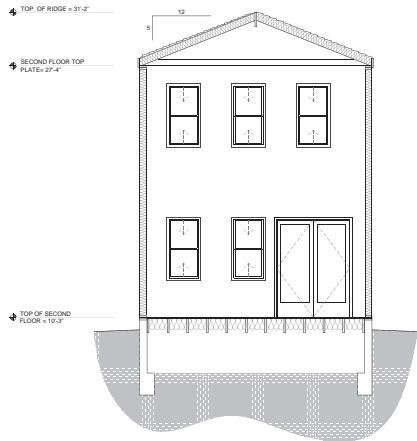
PROJECT NO. —
FILE NAME A-4.4 PERSPECTIVE VIEW.DWG
DRAWN BY JMB
DATE 4/26/2017 4:57 PM

SHEET TITLE:
PERSPECTIVE VIEWS

SHEET NUMBER:
A-4.4



SECTION A 1/4" = 1'



SECTION B 1/4" = 1'

SECTION CALLOUTS

1. FLAT TILE ROOFING OVER 30# MINIMUM ROOFING FELT (TYP) OR 5/8" PLYWOOD SHEATHING W/ 6# @ 8" O.C. 12" ON HOR. SURFACE OF EXTERIOR (TYP)
2. 2" ROOF RAFTERS. SEE FRAMING PLAN
3. ALL ROOF PLY AND GABLE END WALLS AT ATTIC SPACE MUST HAVE RADIANT BARRIER
4. BUILT-UP ROOFING
5. NOT USED
6. 2 X 8 HEM FIR FASCIA (TYP)
7. 7/8" CEMENT PLASTER OF WIRE LATH AND APPROVED BUILDING PAPER (TYP)
8. FLOOR JOISTS PER PLAN
9. NEW AND EXISTING RETAINING WALL - SEE FOUNDATION PLAN
10. EXISTING SLAB AND FOOTINGS PER FOUNDATION PLAN
11. SLOPE AWAY FROM BUILDING 1% FOR 10'-0" MIN (TYP)
12. GUTTER AND DOWNSPOUTS (NOT SHOWN) SHALL BE INSTALLED ON ALL ROOF AREAS UNLESS OTHERWISE NOTED. GUTTERS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER
13. **BUILDING INSULATION:**
EXTERIOR WALL: R-21 MINIMUM(TYP)
CEILING: R-30 MINIMUM(TYP)
FLOOR: R-30 MINIMUM(TYP)
14. **INTERIOR FINISH MATERIAL:**
WALLS: 1/2" GYPSUM BOARD
CEILING: 5/8" GYPSUM BOARD (GARAGE WALLS & CEILING USE 5/8" TYPE "X" BOARD AND FOR USABLE AREA UNDER STAIRS)
15. **WALL FRAMING:**
EXTERIOR WALLS: 2X6 STUD WALLS @ 16" O/C
INTERIOR WALLS: 2X4 STUD WALLS @ 16" O/C
16. **HEADERS UNLESS OTHERWISE NOTED:**
EXTERIOR BEARING: 6#8 D.F. #1 (U.O.N.)
INTERIOR BEARING: 4X12 D.F. #2 (U.O.N.)
INTERIOR NON-BEARING: 4X8 D.F. #2 (U.O.N.)

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PLAN PREPARED FOR:

TRACY BURNS
1311 CHESTNUT STREET
PASO ROBLES, CA

REVISION LOG

REV.	DESCRIPTION	DATE

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PROJECT NO. —
FILE NAME A-5.1 SECTION.DWG
DRAWN BY jms
DATE 4/28/17 4:57 PM

SHEET TITLE:
SECTION

SHEET NUMBER:
A-5.1

Attachment 6

Draft Resolution B

**RESOLUTION NO: PC 17-XXX
A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
TO DENY AN AMENDMENT TO CONDITIONAL USE PERMIT 15-018
FOR SIZE AND HEIGHT EXCEPTIONS FOR AN ACESSORY STRUCTURE
(1311 Chestnut Street – Burns)
APN: 009-021-039**

WHEREAS, in accordance with the Historic Preservation Ordinance (Chapter 21.50), the primary residence at 1311 Chestnut Street is recognized by the City of Paso Robles as historically significant and may warrant special consideration in local planning; and

WHEREAS, one of the purposes of the Historic Preservation Ordinance is to provide for the recognition, preservation, and use of historic resources in the City by establishing procedures and regulations necessary to ensure that new development maintains continuity with the City's historic character and scale. Furthermore, it is unlawful for any person, owner, or entity to directly or indirectly alter, remodel, demolish, grade, remove, construct, reconstruct, or restore and site, building, structure, object or district listed in the historic resources inventory without first obtaining a certificate of no effect; and

WHEREAS, an application has been filed by Mark Foos (representative) on behalf of Tracy Burns (owner), requesting to amend Conditional Use Permit 15-018 in order to amend a previously approved guest house addition to a detached garage by increasing its overall size and height at 1311 Chestnut Street; and

WHEREAS, the request would increase the size of the guest house addition from 855 square feet to 978 square feet of gross floor area and would increase the height from 24-feet to 31-feet; and

WHEREAS, since the existing primary residence is 1,183 square feet, the proposed addition would exceed 50-percent of the primary residence and as noted above would be taller than 15-feet; and

WHEREAS, Zoning Code sections 21.16E.210 and 21.16E.260.C allow detached accessory buildings to exceed 15-feet in height and have a building square footage greater than 50-percent of the primary residence, with the approval of a CUP in the R-1 zoning district; and

WHEREAS, based on the facts and analysis presented in the staff report and the attachments thereto, the height and location of the proposed accessory building would not be considered compatible with the immediate neighborhood nor the primary residence which is a historic resource, and therefore it would not be consistent with maintaining continuity with the historic character of the property established under the Historic Preservation Ordinance; and

WHEREAS, a public hearing was conducted by the Planning Commission on May 9, 2017, to consider facts as presented in the staff report prepared for this project, and to accept public testimony regarding the application; and

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF EL PASO DE ROBLES DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. All of the above recitals are true and correct and incorporated herein by reference.

Agenda Item 2

Section 2 - Findings: based upon the facts and analysis presented in the staff report, public testimony received and subject to the conditions listed below, the Planning Commission makes the following findings to support the denial of the Amendment to Conditional Use Permit 15-018:

1. That the proposed project or use will be inconsistent with the character of the immediate neighborhood or contrary to its orderly development because the overall height of the structure would cause it to be substantially taller than the existing single-family residence as well as the property immediately to the north; and
2. The proposed work will diminish, eliminate or adversely affect the character of the historic resource because the increase in the height of the building from 25-feet to 31-feet will result in the guest house addition being out of scale with the existing single-family residence resulting in a negative effect on the existing residence's historical significance.

Section 3 - Denial: The Amendment to Conditional Use Permit 15-018 is denied based on the findings the proposed use would not be consistent with the character of the immediate neighborhood and would adversely affect the historical significance of the existing single-family residence.

PASSED AND ADOPTED THIS 9th Day of May 2017 by the following Roll Call Vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

CHAIRMAN JOHN DONALDSON

ATTEST:

WARREN FRACE, PLANNING COMMISSION SECRETARY



**AFFIDAVIT
OF MAIL NOTICES
PLANNING COMMISSION/CITY COUNCIL PROJECT NOTICING**

I, Monica Hollenbeck, employee of the City of El Paso de Robles, California, do hereby certify that the mail notices have been processed as required for Conditional Use Permit Amendment CUP 15-018, on this 27th day of April, 2017.

City of El Paso de Robles
Community Development Department
Planning Division

Signed: 
Monica Hollenbeck

THE Newspaper of the Central Coast TRIBUNE

RECEIVED MAY 01 2017 City of Paso Robles Community Development Dept

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In The Superior Court of The State of California In and for the County of San Luis Obispo AFFIDAVIT OF PUBLICATION

AD # 3048714 CITY OF PASO ROBLES

STATE OF CALIFORNIA

ss.

County of San Luis Obispo

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen and not interested in the above entitled matter; I am now, and at all times embraced in the publication herein mentioned was, the principal clerk of the printers and publishers of THE TRIBUNE, a newspaper of general Circulation, printed and published daily at the City of San Luis Obispo in the above named county and state; that notice at which the annexed clippings is a true copy, was published in the above-named newspaper and not in any supplement thereof - on the following dates to wit; APRIL 28, 2017 that said newspaper was duly and regularly ascertained and established a newspaper of general circulation by Decree entered in the Superior Court of San Luis Obispo County, State of California, on June 9, 1952, Case #19139 under the Government Code of the State of California.

I certify (or declare) under the penalty of perjury that the foregoing is true and correct.

[Signature of Jane E. Durand]

(Signature of Principal Clerk)

DATE: APRIL 28, 2017

AD COST: \$225.06

CITY OF PASO ROBLES NOTICE OF PUBLIC HEARING. NOTICE IS HEREBY GIVEN that the Planning Commission will hold a Public Hearing to consider the following project: APPLICATION: Conditional Use Permit Amendment (CUP 15-018), a request to amend a previously approved guest house addition to a detached garage by increasing its overall size and height. APPLICANT: Tracy Burns. LOCATION: 1311 Chestnut Street; Assessor's Parcel Number 009-021-039. ENVIRONMENTAL DETERMINATION: This application is Categorical Exempt from environmental review per Section 15303 (new construction of small structures) of the State's Guidelines to Implement the California Environmental Quality Act (CEQA). HEARING: The Planning Commission will hold a Public Hearing on Tuesday, May 9, 2017, at 6:30 p.m. at the Library Conference Center, 1000 Spring Street, Paso Robles, California. Questions about this application may be directed to the Community Development Department at (805) 237-3970 or via email at planning@prcity.com. Comments on the proposed application may be mailed to the Community Development Department, or emailed to planning@prcity.com provided that such comments are received prior to the time of the hearings. If you challenge the application in court, you may be limited to raising only those issues you or someone else raised at the public hearings described in this notice, or in written correspondence delivered to the Planning Commission or City Council at, or prior to, the public hearings. Copies of the staff report pertaining to this project will be available for review at the Community Development Department on the Thursday preceding each hearing (copies are available for purchase for the cost of reproduction). If you have any questions, please contact the Community Development Department at (805) 237-3970. Darcy Delgado Assistant Planner April 28, 2017 3048714