

TO: HONORABLE CHAIRMAN AND PLANNING COMMISSION

FROM: WARREN FRACE, COMMUNITY DEVELOPMENT DIRECTOR

SUBJECT: PLANNED DEVELOPMENT 16-001 & OAK TREE REMOVAL 16-003
APN: 008-031-029, 030 & 033 (SOUTHEAST CORNER OF 36TH & OAK - WEBB)

DATE: JUNE 14, 2016

Needs: For the Planning Commission to consider an application for a development plan (PD) filed by Warren Hamrick on behalf of Jim Webb, proposing to construct a ten unit apartment complex and request that the Planning Commission make a recommendation to the City Council for removal of two oak trees.

- Facts:**
1. The project site is a vacant 20,000 square foot lot located at the south east corner of Oak and 36th Streets (see attached Vicinity Map, Attachment 1).
 2. The General Plan designation of the site is Residential Multi-Family, 12 units to the acre (RMF-12). The current zoning designation is T4-Neighborhood (T4-N) within the Uptown/Town Center Specific Plan (UTTC Specific Plan).
 3. Zoning Code Section 21.23B, Development Review, requires that the development of 5 or more residential units requires the processing of a Development Plan (PD).
 4. The project consists of a 2-story, 10-unit apartment complex, where the unit mix would be the same on both floors: two 3-bedroom units, two 2-bedroom units and one 1-bedroom unit.
 5. The apartment building has been designed utilizing the 'courtyard' building form type, which is one of the approved building types in the UTTC Specific Plan. The architectural style of the building is considered Multi-Family Farmhouse, also a style suggested in the Specific Plan.
 6. The applicant is requesting that the Planning Commission allow for three modifications to the Specific Plan standards:
 - a. 150 square foot balcony requirement;
 - b. Encroachment of building in two separate locations into the 12-foot setback, 24-inches;
 - c. Exceeding the 36-foot height limit by 8.5-inches;

See the analysis and conclusion section of this report for further discussion on these modification requests.

7. There are three oak trees located on the site (Tree No. 1, 2 & 3 as shown on the site plan, Attachment 2). Tree 1 is a 33-inch Valley Oak that will be preserved. Trees 2 & 3 are located within the 36th Street right of way and have been severely trimmed over the years by the utility company to provide clearance for the overhead utility lines. An Arborist Report has been provided which recommends that trees 2 & 3 be removed. See Report by Whit's Turn Tree Care, dated September 2015, attached as Exhibit I of Draft Resolution – A (Attachment 4). The project PD can be approved separate from the tree removals, since the trees are outside of the project footprint.

8. The DRC reviewed the project on May 16, 2016, where the project was reviewed, including the proposed modifications to the development standards mentioned above. The DRC was in favor of the project site plan, building form, and architecture with modifications, and recommended that the Planning Commission approve the project, including recommendation to the City Council to remove the two oak trees.

9. This application is Categorically Exempt from environmental review per Section 15332 (Infill) of the State's Guidelines to Implement the California Environmental Quality Act (CEQA).

**Analysis
and
Conclusion:**

Modification Requests:



West Elevation (Oak Street)



North Elevation (36th Street)

Section 5.1D.4 of the UTTC Specific Plan, allows an applicant to apply to the Planning Commission to ask for modifications when “compliance with the provisions of this Code can be demonstrated to be physically infeasible for any reasonable type of development”. The modifications discussed below appear to be necessary to make development of this site feasible.

- **Setback Encroachment / Height:**
The applicant is requesting to allow for a 24-inch encroachment of two portions of the building on the front (west) elevation, and a minor 8.5-inch increase in height for the ridge of the gable elements for a portion of the building. Both of these modification elements are directly related to the enhancing architectural character of the building. While these elements could be reduced to comply with the standards, it was discussed at the DRC meeting that these design elements help provide a quality architectural appearance to the building. These minor modifications would seem reasonable and supported by the Specific Plan which suggests that providing four-sided architecture is an important design element for building within the UTTC Specific Plan.
- **Private Open Space – Balconies:**
Section 5.5.1.F.e.vi of the UTTC Specific Plan, Open Space Standards, requires that second floor balconies be a minimum 150 square feet, with a minimum width of 10-feet. Each of the five units on the second floor has an outdoor balcony. Unit E2 has the smallest balcony at 104 square feet; the other balconies all exceed 120 square feet. All first floor units comply with the open space standards by each having a private patio area. In addition to the private outdoor areas, the project provides common use for all units the interior courtyard area, as well as an outdoor area under the oak tree at the back corner of the lot. Also, the project site is directly across the street from the Uptown Family Park. It would appear that the reduction of the upper unit balconies could be justified, based on the multiple other options for open space for this project.

Oak Tree Removals:

As discussed in the Arborist Report, the two trees requested to be removed have been continuously pruned over the years to provide clearance to the overhead power lines. Both trees are multi-trunk live oaks that are rated a 2 and 3, on a scale of 1-10, where 10 is the best rating.

Tree No. 2



Tree No. 3



Ultimately it will be up to the City Council to determine whether the trees warrant removal or not. If the Council does not approve the removals, the public improvements can be designed to be installed in a manner to accommodate the trees. Additionally, the utility lines along 36th Street are conditioned to be undergrounded with this project.

If the Council approves the tree removals, replacement trees or payment into the City's oak tree replacement fund will be a requirement.

Conclusion:

Overall, the project seems reasonable for the site given the site challenges mentioned above. The proposed modifications to the UTTC specific plan would help develop the site in a manner that provides for a reasonable amount of density that would be an improvement to the development in the neighborhood.

The project would seem to be consistent with the Economic Strategy, by providing a cohesive, compact, and livable community for individuals and family. Aside from the modification mentioned above, the project would meet the intent of the Specific Plan T4-N zone, by providing a mix of housing types and by creating a "vibrant, walkable, primarily residential neighborhood".

Policy

Reference: General Plan Land Use Element, Uptown Town Centre Specific Plan, and 2006 Economic Strategy.

Fiscal

Impact: There are no specific fiscal impacts associated with approval of this Planned Development.

Options:

After opening the public hearing and taking public testimony, the Planning Commission is requested to take one of the actions listed below:

1. Approve project as follows:
 - a. Approve the attached Draft Resolution A; approving Planned Development 16-001, allowing for the construction of a 10-unit courtyard apartment project, including the 24-inch encroachment of the building at the front setback, the balcony square footage reduction as indicated in the project site plan, and the 8.5-inch building height exception, subject to standard and site specific conditions;
 - b. Approve the attached Draft Resolution B; recommending the City Council approve the request to remove the two oak trees within the 36th Street right of way, subject to replacement requirements;

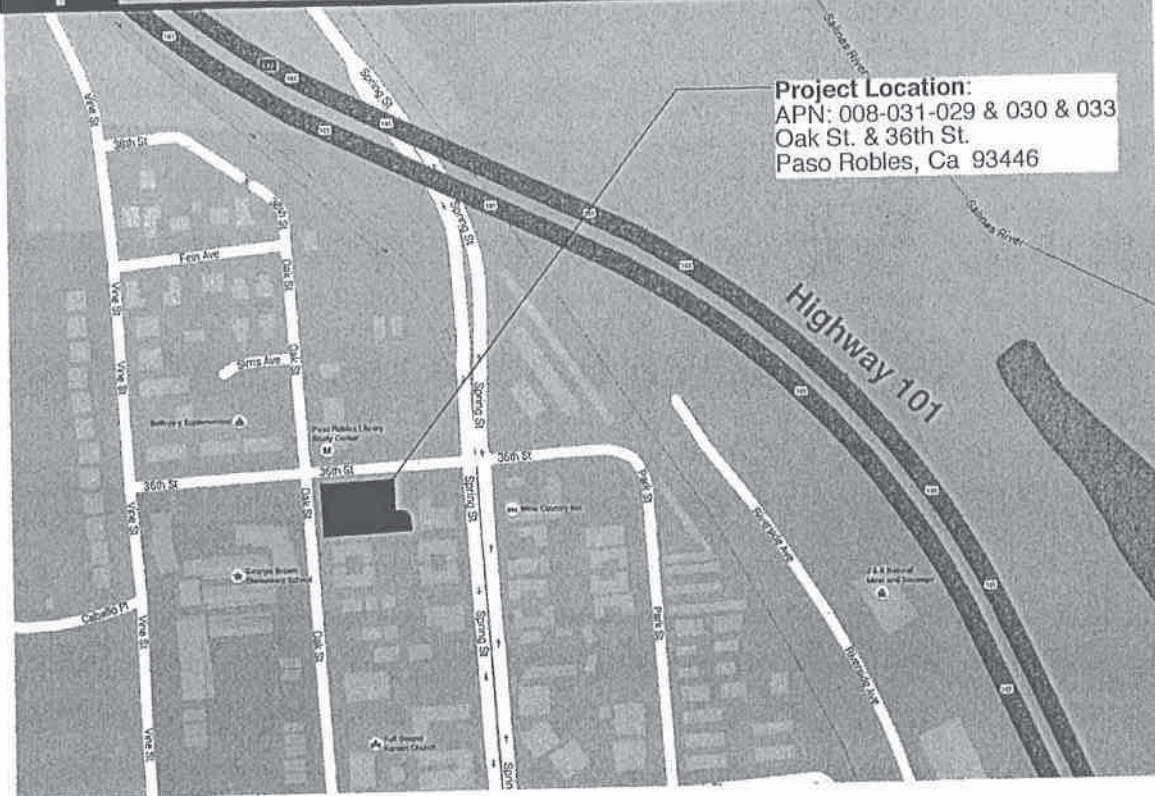
2. Amend the above options.
3. Refer back to staff for additional analysis.
4. Recommend the City Council deny the request to remove the native oak trees based on findings.
5. Deny the project by adopting findings of denial for Draft Resolution A.

Attachments:

1. Vicinity Map
2. Site Plan
3. City Engineer's Memo
4. Draft Resolution – A
5. Draft Resolution - B
6. Mail and Newspaper Affidavits



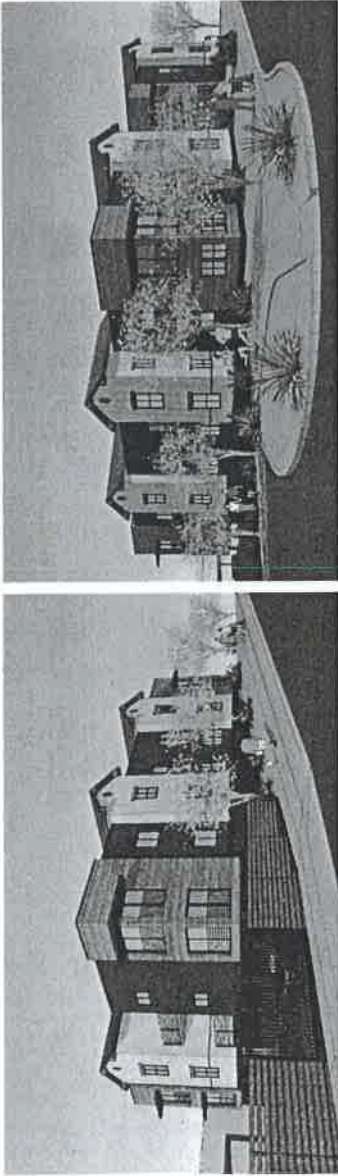
Vicinity Map



Attachment 1
Vicinity Map
PD 16-003

Webb Apartments

Oak St. & 36th St., Paso Robles, CA



PROJECT SUMMARY

Project Owner:
 JIM WEBB
 201 E. DOWD ST., PASO ROBLES, CA 92571
 805.773.2527

Architects:
 HAI
 1000 CALIFORNIA ST., PASO ROBLES, CA 92571
 805.773.2527

Project Description
 This project consists of the construction of a 15-unit multi-family residential building. The building will be constructed on a 0.25-acre lot located at the intersection of Oak Street and 36th Street. The building will consist of three buildings, each with five units. The building will be constructed in accordance with the City of Paso Robles Ordinance 16.04.010. The building will be constructed in accordance with the City of Paso Robles Ordinance 16.04.010. The building will be constructed in accordance with the City of Paso Robles Ordinance 16.04.010.

Project Information
 Project Address:
 201 E. DOWD ST., PASO ROBLES, CA 92571
 Site Area:
 0.25 ACRES
 Construction Type:
 MULTI-FAMILY RESIDENTIAL

Project Statistics

STANDARD	CODE REQUIREMENTS	PROVIDED	TABLE #
Building Size	1274	1274	1.1
Number of Units	15	15	1.2
Units per Floor	3	3	1.3
Number of Floors	5	5	1.4
Maximum Height	30 FT	30 FT	1.5
Parking	15	15	1.6

Lot Coverage
 Max. Footprint:
 11,000 SQ. FT.
 Max. Height:
 30 FT.

Parking
 15 spaces

City of Paso Robles, CA
 Planning Department
 1000 CALIFORNIA ST., PASO ROBLES, CA 92571
 805.773.2527

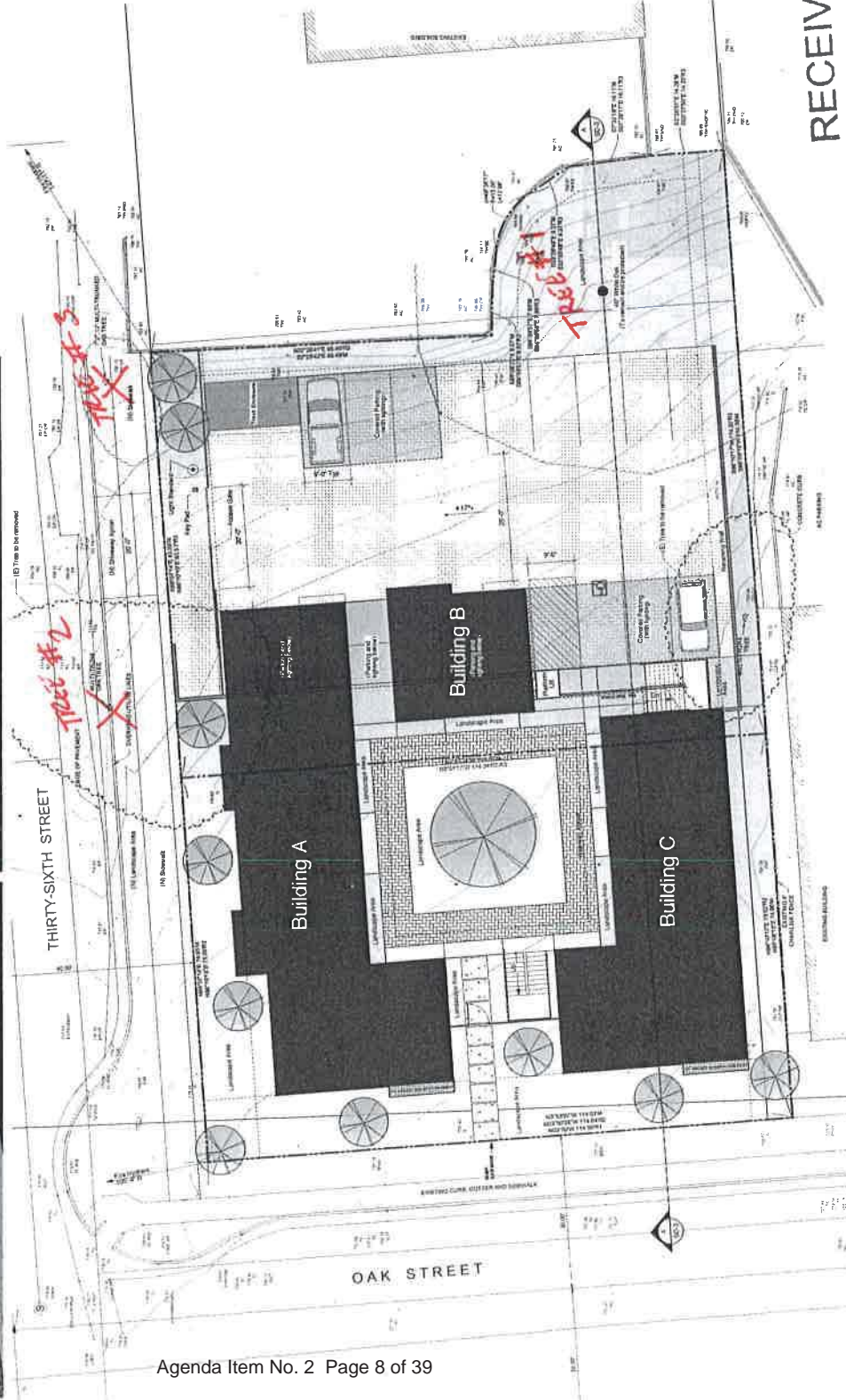


SD-1
 Date: 02-23-19

Sheet Index

- ARCHITECTURAL PLANS & SITE PLAN
- 36-1 Floor Plans, Elevations & Sections
- CIVIL PLANS
- 36-2 Primary Grading & Drainage Plan
- LANDSCAPE PLAN
- 36-3 Parking Plan

hai
 Hamrick
 Associates, Inc.
 Architecture + Planning
 www.hamrickassociates.com
 805.773.2527



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 FEB 23 2019
 City of Paso Robles
 Community Development

Attachment 2
 Site Plan
 PD 16-003
 (Webb Apartments)

Site Plan
 SCALE: 1" = 10'±

MEMORANDUM

TO: Darren Nash
FROM: John Falkenstien
SUBJECT: PD 16-001 Webb Apartments 36th and Oak
DATE: June 6, 2016

Streets

The project is located at the southeast corner of 36th and Oak Streets. Oak Street improvements have recently been completed. Curb, gutter and sidewalk needs to be completed on 36th Street. It appears that the 36th Street design could be revised to save the oak trees.

Sewer and Water

An 8-inch sewer line and a 10-inch water line are available to serve the project from 36th Street.

Overhead Utilities

Overhead power lines run along Oak Street. These lines will be difficult to relocate underground. Overhead cable and phone lines exist on 36th Street. It does appear feasible to work on relocating these lines underground.

Grading, Drainage and Stormwater Quality

In accordance with Water Board mandates, the City has adopted a Storm Water Ordinance requiring all projects to implement low impact development best management practices to mitigate impacts to the quality of stormwater run-off and to limit the increase in the rate and volume of stormwater run-off to the maximum extent practicable.

In this case, the applicant has limited their impervious surfaces to less than 5,000 square feet by the use of pervious pavers in the parking area.

Conditions of Approval

Prior to occupancy, the applicant shall complete street improvements on 36th Street in accordance with plans approved by the City Engineer.

Prior to occupancy, the applicant shall relocate the wire utilities on 36th Street underground along the frontage of the project.

Attachment 4

DRAFT RESOLUTION - A

**A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES APPROVING
PLANNED DEVELOPMENT 16-003
36TH & OAK STREETS
(JIM WEBB)
APN: 008-031-029, 030 & 033**

WHEREAS, Planned Development 16-003 has been submitted by Warren Hamrick, Architect, on behalf of Jim Webb, requesting to construct a 10-unit apartment complex; and

WHEREAS, the project is located at the southeast corner Oak Street at 36th Street; and

WHEREAS, the site is located within the T4-Neighborhood (T4-N) zoning district; and

WHEREAS, Section 21.23B.030(5a), of the Zoning Code require the development of five (5) or more residential units go through the development plan (PD) review process; and

WHEREAS, in conjunction with PD 12-007, the applicants have submitted an application for OTR 16-003, requesting to remove two oak trees located within the 36th Street right of way; and

WHEREAS, the applicants have requested that the Planning Commission allow modifications to the development standards within the Uptown Town Centre Specific Plan, as described in Section 5.1D.4 of the Specific Plan; and

WHEREAS, the modifications would include building height limits, building setbacks, and size of private balconies; and

WHEREAS, this application is Categorically Exempt from environmental review per Section 15332 (Infill) of the State's Guidelines to Implement the California Environmental Quality Act (CEQA); and

WHEREAS, a public hearing was conducted by the Planning Commission on June 14, 2016, to consider facts as presented in the staff report prepared for this project, and to accept public testimony regarding this proposed development plan; and

WHEREAS, based upon facts and analysis presented in the staff report and the attachments thereto, the public testimony received, and subject to the Conditions of Approval listed below, the Planning Commission makes the following findings:

1. The development plan is consistent with the adopted codes, policies, standards and plans of the City; and
2. The proposed development plan will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the residents and or businesses in the surrounding area, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City; and

3. The proposed development plan accommodates the aesthetic quality of the City as a whole, especially where development will be visible from the gateways to the City, scenic corridors; and the public right-of-way; and
4. The proposed development plan are compatible with, and are not detrimental to, surrounding land uses and improvements, provides an appropriate visual appearance, and contributes to the mitigation of any environmental and social impacts; and
5. The proposed development plan and tentative tract map are compatible with existing scenic and environmental resources such as hillsides, oak trees, vistas, etc.; and
6. The proposed development plan contributes to the orderly development of the City as a whole.
7. The proposed development plan as conditioned would meet the intent of the General Plan and Zoning Ordinance by providing residential development in an area of the City that is in close proximity to schools, churches and shopping.
8. As conditioned, the design of lots, streets, open space, drainage, sewers, water and other improvements is consistent with the General Plan and Zoning Ordinance;
9. The site is physically suitable for the type of development proposed as shown on the project site plan (Exhibit B to this resolution);
10. The site is physically suitable for the proposed density of development by meeting the General Plan and Zoning requirements;
11. The proposed development plan as conditioned, would meet the intent of the Uptown Town Centre Specific Plan by providing small scale detached and attached residential development in an area of the City that is in close proximity to schools, churches and shopping.
12. The setback encroachment and 8.5-inch height increase modifications to the Uptown Town Centre Specific Plan would help provide an architectural design that best fits the suggested Multi-family Farmhouse architectural character identified in the Specific Plan, and provide a design that will provide four-side architecture.
13. The reduction in the balcony square footage from 150 square feet to 104 – 136 square feet would be warranted, based on the project providing area for use by all units of the common courtyard area, the outdoor activity area provided under the large oak tree at the back corner of the site, and the proximity to the Uptown Family Park located across 36th Street.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles does hereby approve Planned Development 16-003, subject to the following conditions:

STANDARD CONDITIONS:

1. The applicant/developer shall comply with those standard conditions which are indicated as applicable in "Exhibit A" to this resolution.

SITE SPECIFIC CONDITIONS:

NOTE: In the event of conflict or duplication between standard and site-specific conditions, the site-specific condition shall supersede the standard condition.

2. The project shall be constructed in substantial conformance with the Conditions of Approval established by this Resolution and it shall be constructed in substantial conformance with the following Exhibits:

EXHIBIT	DESCRIPTION
A	Standard Conditions
B	Site Plan
C	Floor Plan
D	Architectural Elevations
E	Preliminary Grading & Drainage Plan
F	Site Profile & Sections
G	Planting Plan
H	Trash Enclosure

3. PD 16-003 allows for the development of a 10 unit apartment project, as presented in the Exhibits B-H listed above. With the approval of PD 16-003, the Planning Commission allows modifications from the development standards outlined in the Uptown Town Centre Specific Plan as follows:
 - a. Second floor balconies may be reduced from the 150 square feet to range from 104 square feet to 136 square feet, as indicated in Exhibit B to this resolution;
 - b. Encroachment of building in two separate locations into the 12-foot front yard setback by 24-inches, as indicated in Exhibit B, C & D to this resolution;
 - c. Exceed the 36-foot height limit by 8.5-inches, as indicated by Exhibit D to this resolution.
4. Prior to the issuance of a building permit, the architectural plans for the carport structure shown over three parking spaces on the east side of the parking lot shall be submitted for review by Planning Staff for consistency with the architectural plans for the project.
5. Prior to the issuance of a grading permit, all necessary oak tree protection fencing shall be installed, along with any other measures indicated in the Arborist Report. Provide a letter from the Arborist verifying all conditions have been met.
6. Prior to occupancy, the applicant shall complete street improvements on 36th Street in accordance with plans approved by the City Engineer.
7. Prior to occupancy, the applicant shall relocate the wire utilities on 36th Street underground along the frontage of the project.

PASSED AND ADOPTED THIS 14th day of June, 2016 by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

BOB ROLLINS, CHAIRMAN

ATTEST:

WARREN FRACE, PLANNING COMMISSION SECRETARY

EXHIBIT A OF RESOLUTION
CITY OF EL PASO DE ROBLES
STANDARD DEVELOPMENT CONDITIONS

Planned Development Conditional Use Permit

Tentative Parcel Map Tentative Tract Map

Approval Body: Planning Commission Date of Approval: Feb. 23, 2016

Applicant: Firestone Brewery Location: 1400 Ramda Drive

APN: 008-031-029, 030 & 033

The following conditions that have been checked are standard conditions of approval for the above referenced project. The checked conditions shall be complied with in their entirety before the project can be finalized, unless otherwise specifically indicated. In addition, there may be site specific conditions of approval that apply to this project in the resolution.

COMMUNITY DEVELOPMENT DEPARTMENT - The applicant shall contact the Community Development Department, (805) 237-3970, for compliance with the following conditions:

A. GENERAL CONDITIONS – PD/CUP:

- 1. This project approval shall expire on June 14, 2018 unless a time extension request is filed with the Community Development Department, or a State mandated automatic time extension is applied prior to expiration.
- 2. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Planned Development process shall not waive compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
- 3. To the extent allowable by law, Owner agrees to hold City harmless from costs and expenses, including attorney's fees, incurred by City or held to be the liability of City in connection with City's defense of its actions in any proceeding brought in any State or Federal court challenging the City's actions with respect to the project. Owner understands and acknowledges that City is under no obligation to defend any legal actions challenging the City's actions with respect to the project.

- 4. Any site specific condition imposed by the Planning Commission in approving this project **(Conditional Use Permit)** may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the approval of this project. No such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use for this approval.
- 5. The site shall be kept in a neat manner at all times and the landscaping shall be continuously maintained in a healthy and thriving condition.
- 6. All signs shall be subject to review and approval as required by Municipal Code Section 21.19 and shall require a separate application and approval prior to installation of any sign.
- 7. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 8. Prior to the issuance of a Building Permit a landscape and irrigation plan consistent with the Landscape and Irrigation Ordinance, shall be submitted for City review and approval. The plan needs to be designed in a manner that utilizes drought tolerant plants, trees and ground covers and minimizes, if not eliminates the use of turf. The irrigation plan shall utilize drip irrigation and limit the use of spray irrigation. All existing and/or new landscaping shall be installed with automatic irrigation systems.
- 9. A reciprocal parking and access easement and agreement for site access, parking, and maintenance of all project entrances, parking areas, landscaping, hardscape, common open space, areas and site lighting standards and fixtures, shall be recorded prior to or in conjunction with the Final Map. Said easement and agreement shall apply to all properties, and be referenced in the site Covenants, Conditions and Restrictions (CC&Rs).
- 10. All outdoor storage shall be screened from public view by landscaping and walls or fences per Section 21.21.110 of the Municipal Code.
- 11. For commercial, industrial, office or multi-family projects, all refuse enclosures are required to provide adequate space for recycling bins. The enclosure shall be architecturally compatible with the primary building. Gates shall be view obscuring and constructed of durable materials. Check with Paso Robles Waste Disposal to determine the adequate size of enclosure based on the number and size of containers to be stored in the enclosure.

- 12. For commercial, industrial, office or multi-family projects, all existing and/or new ground-mounted appurtenances such as air-conditioning condensers, electrical transformers, backflow devices etc., shall be screened from public view through the use of decorative walls and/or landscaping subject to approval by the Community Development Director or his designee. Details shall be included in the building plans.
- 13. All existing and/or new roof appurtenances such as air-conditioning units, grease hoods, etc. shall be screened from public view. The screening shall be architecturally integrated with the building design and constructed of compatible materials to the satisfaction of the Community Development Director or his designee. Details shall be included in the building plans.
- 14. All existing and/or new lighting shall be shielded so as to be directed downward in such a manner as to not create off-site glare or adversely impact adjacent properties. The style, location and height of the lighting fixtures shall be submitted with the building plans and shall be subject to approval by the Community Development Director or his designee.
- 15. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 16. It is the property owner's responsibility to insure that all construction of private property improvements occur on private property. It is the owner's responsibility to identify the property lines and insure compliance by the owner's agents.
- 17. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No.835 N.S., Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to removal.
- 18. No storage of trash cans or recycling bins shall be permitted within the public right-of-way.
- 19. Prior to recordation of the map or prior to occupancy of a project, all conditions of approval shall be completed to the satisfaction of the City Engineer and Community Developer Director or his designee.
- 20. Two sets of the revised Planning Commission approved plans incorporating all Conditions of Approval, standard and site specific, shall be submitted to the Community Development Department prior to the issuance of building permits.

- 21. Prior to the issuance of building permits, the
 - Development Review Committee shall approve the following:
 - Planning Division Staff shall approve the following:
 - a. A detailed site plan indicating the location of all structures, parking layout, outdoor storage areas, walls, fences and trash enclosures;
 - b. A detailed landscape plan;
 - c. Detailed building elevations of all structures indicating materials, colors, and architectural treatments;
 - d. Other: See PD 16-003 Amend. Res._____

B. GENERAL CONDITIONS – TRACT/PARCEL MAP:

- 1. In accordance with Government Section 66474.9, the subdivider shall defend, indemnify and hold harmless the City, or its agent, officers and employees, from any claim, action or proceeding brought within the time period provided for in Government Code section 66499.37, against the City, or its agents, officers, or employees, to attack, set aside, void, annul the City's approval of this subdivision. The City will promptly notify subdivider of any such claim or action and will cooperate fully in the defense thereof.
- 2. The Covenants, Conditions, and Restrictions (CC&Rs) and/or Articles Affecting Real Property Interests are subject to the review and approval of the Community Development Department, the Public Works Department and/or the City Attorney. They shall be recorded concurrently with the Final Map or prior to the issuance of building permits, whichever occurs first. A recorded copy shall be provided to the affected City Departments.
- 3. The owner shall petition to annex residential Tract (or Parcel Map)_____ into the City of Paso Robles Community Facilities District No. 2005-1 for the purposes of mitigation of impacts on the City's Police and Emergency Services Departments.
- 4. Street names shall be submitted for review and approval by the Planning Commission, prior to approval of the final map.
- 5. The following areas shall be permanently maintained by the property owner, Homeowners' Association, or other means acceptable to the City:

ENGINEERING DIVISION- The applicant shall contact the Engineering Division, (805) 237-3860, for compliance with the following conditions:

All conditions marked are applicable to the above referenced project for the phase indicated.

C. PRIOR TO ANY PLAN CHECK:

- 1. The applicant shall enter into an Engineering Plan Check and Inspection Services Agreement with the City.

D. PRIOR TO ISSUANCE OF A GRADING PERMIT:

- 1. Prior to approval of a grading plan, the developer shall apply through the City, to FEMA and receive a Letter of Map Amendment (LOMA) issued from FEMA. The developer's engineer shall provide the required supporting data to justify the application.
- 2. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No. 553, Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to its removal.
- 3. A complete grading and drainage plan shall be prepared for the project by a registered civil engineer and subject to approval by the City Engineer. The project shall conform to the City's Storm Water Discharge Ordinance.
- 4. A Preliminary Soils and/or Geology Report providing technical specifications for grading of the site shall be prepared by a Geotechnical Engineer.
- 5. A Storm Water Pollution Prevention Plan per the State General Permit for Storm Water Discharges Associated with Construction Activity shall be provided for any site that disturbs greater than or equal to one acre, including projects that are less than one acre that are part of a larger plan of development or sale that would disturb more than one acre.

E. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

- 1. All off-site public improvement plans shall be prepared by a registered civil engineer and shall be submitted to the City Engineer for review and approval. The improvements shall be designed and placed to the Public Works Department Standards and Specifications.

- 2. The applicant shall submit a composite utility plan signed as approved by a representative of each public utility.
- 3. Landscape and irrigation plans for the public right-of-way shall be incorporated into the improvement plans and shall require approval by the Streets Division Supervisor and the Community Development Department.
- 4. In a special Flood Hazard Area as indicated on a Flood Insurance Rate Map (FIRM) the owner shall provide an Elevation Certificate in accordance with the National Flood Insurance program. This form must be completed by a land surveyor or civil engineer licensed in the State of California.

F. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY OR RECORDATION OF THE FINAL MAP:

The Planning Commission has made a finding that the fulfillment of the construction requirements listed below are a necessary prerequisite to the orderly development of the surrounding area.

- 1. The applicant shall pay any current and outstanding fees for Engineering Plan Checking and Construction Inspection services.
- 2. All public improvements are completed and approved by the City Engineer, and accepted by the City Council for maintenance.
- 3. The owner shall offer to dedicate and improve the following street(s) to the standard indicated:

36 th Street		
Street Name	City Standard	Standard Drawing No.
- 4. If, at the time of approval of the final map, any required public improvements have not been completed and accepted by the City the owner shall be required to enter into a Subdivision Agreement with the City in accordance with the Subdivision Map Act.

Bonds required and the amount shall be as follows:
Performance Bond.....100% of improvement costs.
Labor and Materials Bond.....50% of performance bond.

- 5. If the existing City street adjacent to the frontage of the project is inadequate for the traffic generated by the project, or will be severely damaged by the construction, the applicant shall excavate the entire structural section and replace it with a standard half-width street plus a 12' wide travel lane and 8' wide graded shoulder adequate to provide for two-way traffic.
- 6. If the existing pavement and structural section of the City street adjacent to the

frontage of the project is adequate, the applicant shall provide a new structural section from the proposed curb to the edge of pavement and shall overlay the existing paving to centerline for a smooth transition.

- 7. Due to the number of utility trenches required for this project, the City Council adopted Pavement Management Program requires a pavement overlay on _____ along the frontage of the project.
- 8. The applicant shall install all utilities. Street lights shall be installed at locations as required by the City Engineer. All existing overhead utilities adjacent to or within the project shall be relocated underground except for electrical lines 77 kilovolts or greater. All utilities shall be extended to the boundaries of the project.
- 9. The owner shall offer to dedicate to the City the following easement(s). The location and alignment of the easement(s) shall be to the description and satisfaction of the City Engineer:
 - a. Public Utilities Easement;
 - b. Water Line Easement;
 - c. Sewer Facilities Easement;
 - d. Landscape Easement;
 - e. Storm Drain Easement.
- 10. The developer shall annex to the City's Landscape and Lighting District for payment of the operating and maintenance costs of the following:
 - a. Street lights;
 - b. Parkway/open space landscaping;
 - c. Wall maintenance in conjunction with landscaping;
 - d. Graffiti abatement;
 - e. Maintenance of open space areas.
- 11. For a building with a Special Flood Hazard Area as indicated on a Flood Insurance Rate Map (FIRM), the developer shall provide an Elevation Certificate in accordance with the National Flood Insurance Program. This form must be completed by a lands surveyor or civil engineer licensed in the State of California.
- 12. All final property corners shall be installed.
- 13. All areas of the project shall be protected against erosion by hydro seeding or landscaping.
- 14. All construction refuse shall be separated (i.e. concrete, asphalt concrete, wood gypsum board, etc.) and removed from the project in accordance with the City's Source Reduction and Recycling Element.

- 15. Clear blackline mylars and paper prints of record drawings, signed by the engineer of record, shall be provided to the City Engineer prior to the final inspection. An electronic autocad drawing file registered to the California State Plane – Zone 5 / NAD83 projected coordinate system, units in survey feet, shall be provided.

PASO ROBLES DEPARTMENT OF EMERGENCY SERVICES- The applicant shall contact the Department of Emergency Services, (805) 227-7560, for compliance with the following conditions:

G. GENERAL CONDITIONS

- 1. Prior to the start of construction:
 - Plans shall be reviewed, approved and permits issued by Emergency Services for underground fire lines.
 - Applicant shall provide documentation to Emergency Services that required fire flows can be provided to meet project demands.
 - Fire hydrants shall be installed and operative to current, adopted edition of the California Fire Code.
 - A based access road sufficient to support the department’s fire apparatus (HS-20 truck loading) shall be constructed and maintained for the duration of the construction phase of the project.
 - Access road shall be at least twenty (20) feet in width with at least thirteen (13) feet, six (6) inches of vertical clearance.

- 2. Provide central station monitored fire sprinkler system for all residential, commercial and industrial buildings that require fire sprinklers in current, adopted edition of the California Building Code, California Fire Code and Paso Robles Municipal Code.
 - Plans shall be reviewed, approved and permits issued by Emergency Services for the installation of fire sprinkler systems.

- 3. Provide central station monitored fire alarm system for all residential, commercial and industrial buildings that require fire alarm system in current, adopted edition of the California Building Code, California Fire Code and Paso Robles Municipal Code.

- 4. If required by the Fire Chief, provide on the address side of the building if applicable:
 - Fire alarm annunciator panel in weatherproof case.
 - Knox box key entry box or system.
 - Fire department connection to fire sprinkler system.

5. Provide temporary turn-around to current City Engineering Standard for phased construction streets that exceed 150 feet in length.
6. Project shall comply with all requirements in current, adopted edition of California Fire Code and Paso Robles Municipal Code.
7. Prior to the issuance of Certificate of Occupancy:
 - Final inspections shall be completed on all underground fire lines, fire sprinkler systems, fire alarm systems and chemical hood fire suppression systems.
 - Final inspections shall be completed on all buildings.

Webb Apartments

Oak St. & 36th St., Paso Robles, CA

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MAY 05 2016

City of Paso Robles
Community Development Dept.



PROJECT SUMMARY

Project Name: Webb Apartments
 Project Address: 36th St. & Oak St., Paso Robles, CA 92371
 Project No: 16-003
 Project Date: 05/05/2016

Project Description:
 This project consists of the construction of a new 110-unit apartment building. The building will be a three-story structure with a mix of brick and wood siding. It will include a central courtyard with landscaping and a parking area. The project is located at the intersection of Oak Street and 36th Street in Paso Robles, California.

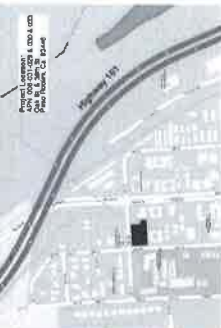
Project Information:
 Project Name: Webb Apartments
 Project Address: 36th St. & Oak St., Paso Robles, CA 92371
 Project No: 16-003
 Project Date: 05/05/2016

Project Statistics:

Category	Quantity
Total Units	110
1-Bedroom Units	55
2-Bedroom Units	55
Total Parking Spaces	110
Surface Area (sq. ft.)	110,000

Code Requirements:
 3.1.1 Section 01
 3.1.2 Section 02
 3.1.3 Section 03
 3.1.4 Section 04
 3.1.5 Section 05
 3.1.6 Section 06
 3.1.7 Section 07
 3.1.8 Section 08
 3.1.9 Section 09
 3.1.10 Section 10
 3.1.11 Section 11
 3.1.12 Section 12

Vicinity Map



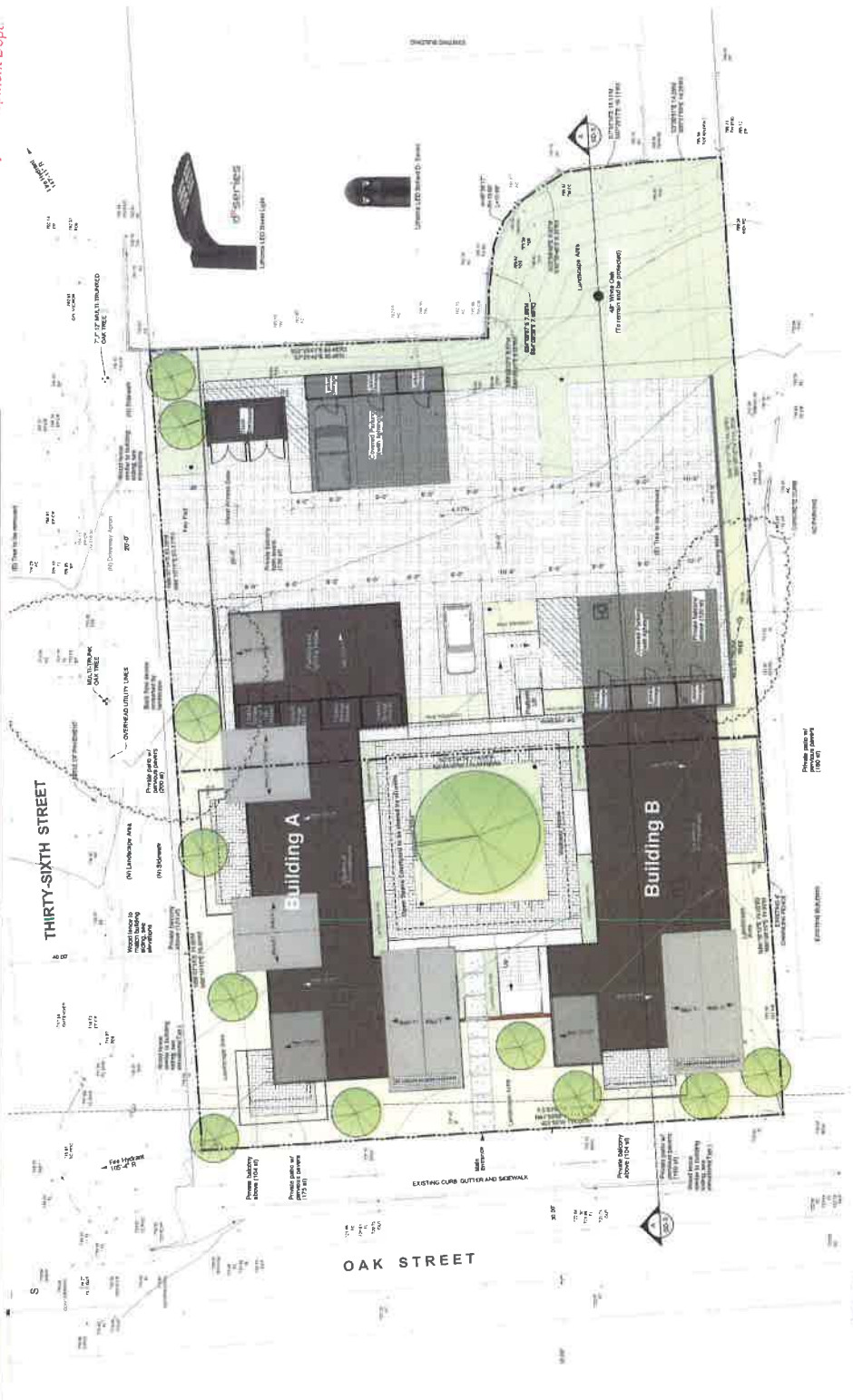
SD-1

DATE: 05/05/16

Sheet Index

- ARCHITECTURAL PLANS
- SD-1 Project Summary & Site Plan
- SD-2 Elevations & Sections
- SD-3 Elevations & Sections
- CIVIL PLANS
- 1 Preliminary Grading & Drainage Plan
- 2 Preliminary Grading & Drainage Plan
- LANDSCAPE PLANS
- 1 Preliminary Site Plan

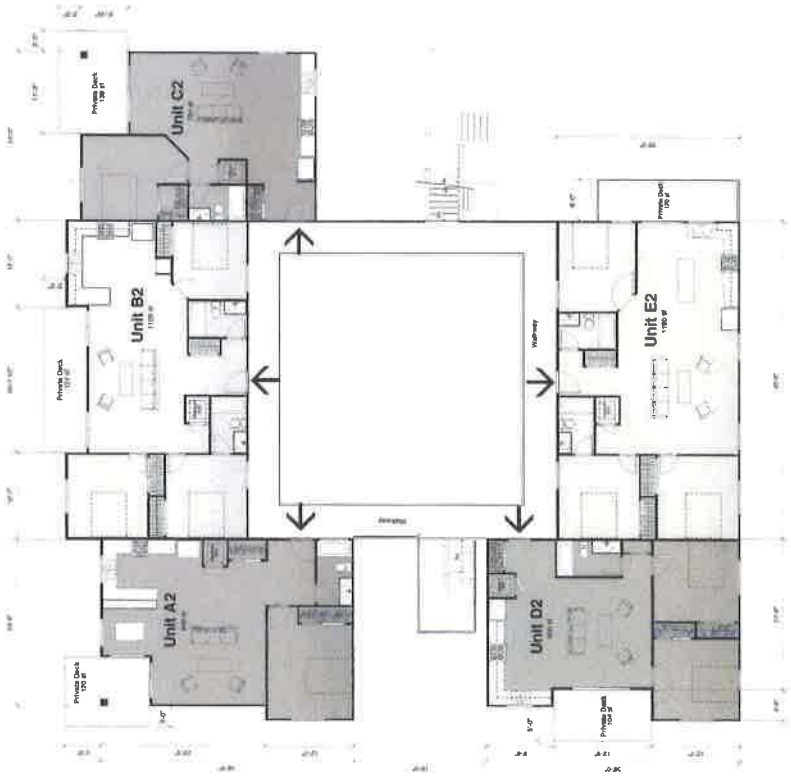
ham
 Hamrick
 Associates, Inc.
 Architects + Planners
 www.hamrickassociates.com
 805.773.9277



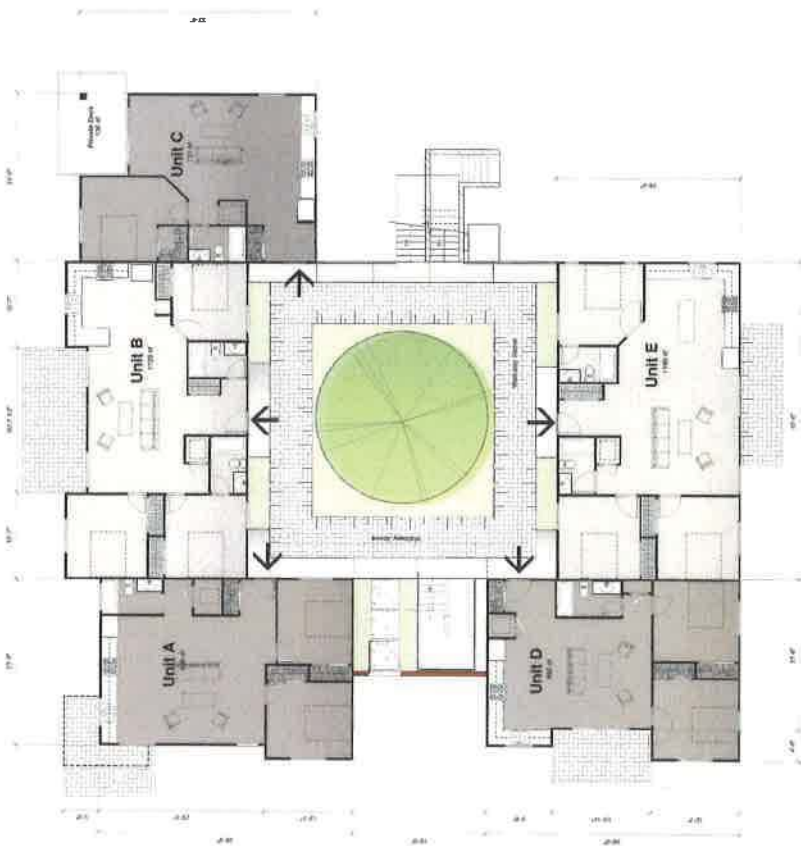
Site Plan

Scale: 1" = 10'-0"

Exhibit B
 Site Plan
 PD 16-003
 (Webb Apartments)



Second Level Floor Plan
Scale: 1/8" = 1'-0"



First Level Floor Plan
Scale: 1/8" = 1'-0"

Exhibit C
Floor Plans
PD 16-003
(Webb Apartments)



Midnight MDC
Paso Robles, CA

Color palette, material
used
Midnight MDC
Paso Robles, CA
Midnight MDC
Paso Robles, CA
Midnight MDC
Paso Robles, CA
Midnight MDC
Paso Robles, CA

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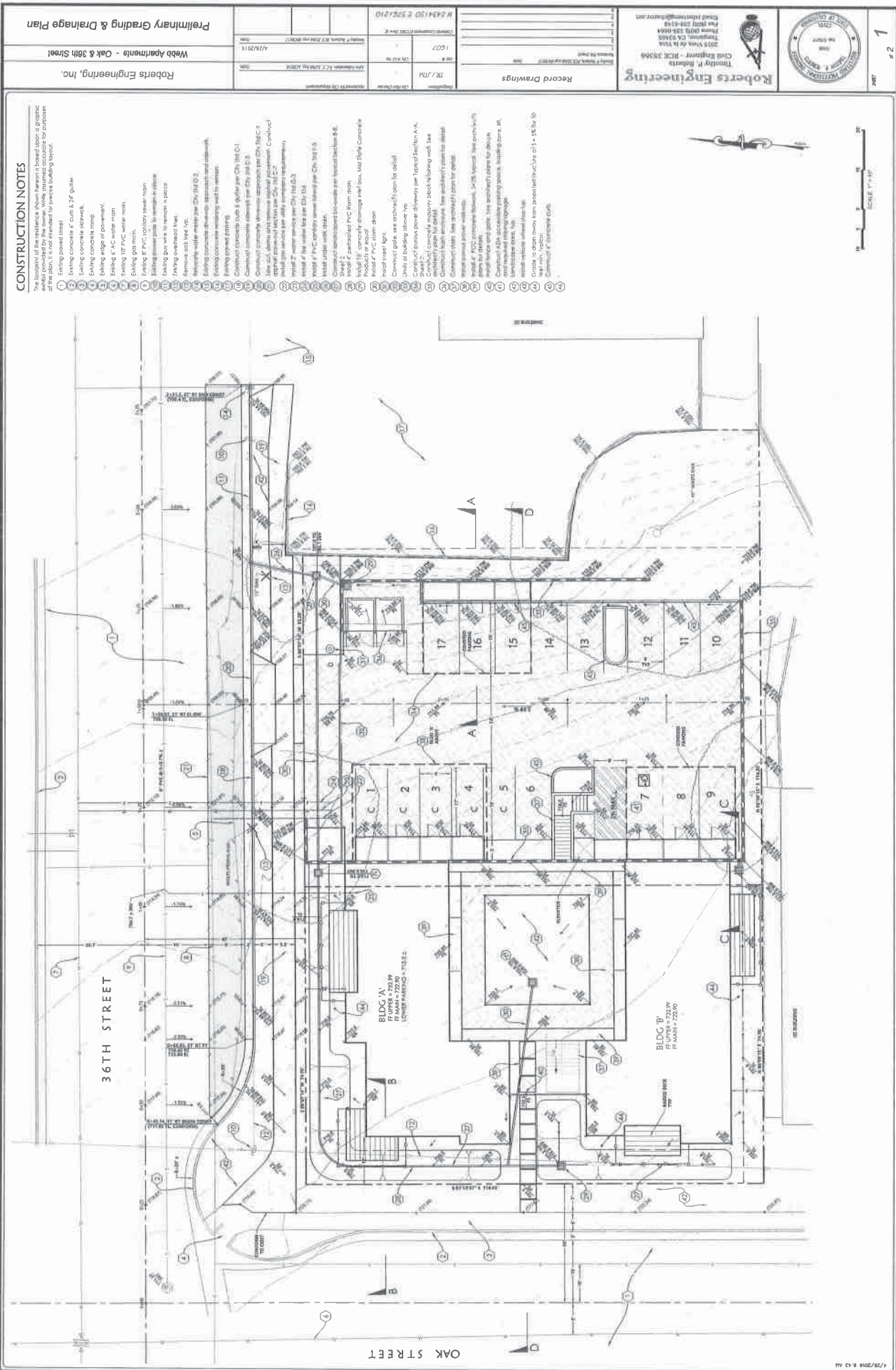
Midnight MDC
Paso Robles, CA
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Midnight MDC
Paso Robles, CA
Midnight MDC
Paso Robles, CA
Midnight MDC
Paso Robles, CA
Midnight MDC
Paso Robles, CA

SD-3
COLUMBIA, MISSISSIPPI, U.S.A.

hamrick
Hamrick
Associates, Inc.
Architectural + Planning
www.hamrickassociates.com
601.774.6277

Exhibit D
Arch. Elevations
PD 16-003
(Webb Apartments)



CONSTRUCTION NOTES

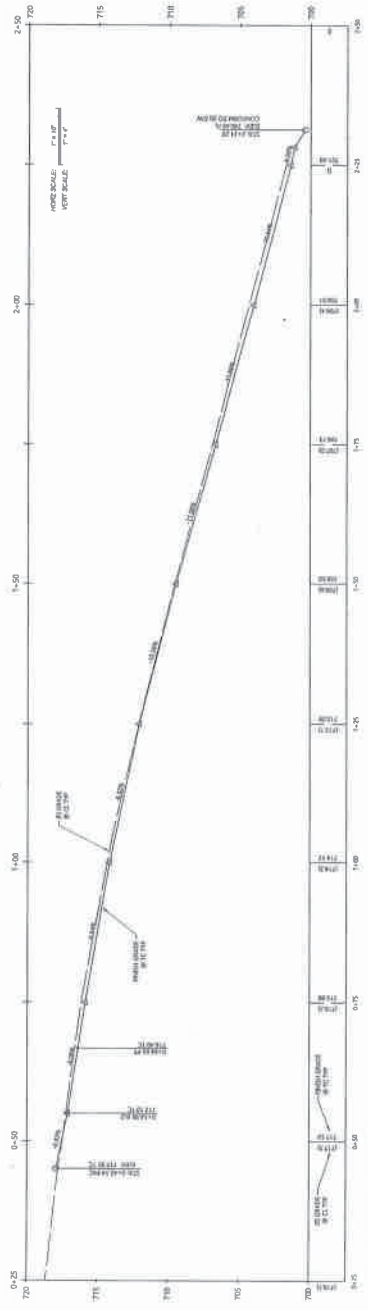
- The location of the reference shown herein is based upon a graphic which was provided by the owner. While assumed accurate for purposes of this plan, the engineer does not warrant its accuracy.
- 1) Existing paved street
 - 2) Existing concrete curb & gutter
 - 3) Existing concrete sidewalk
 - 4) Existing concrete ramp
 - 5) Existing edge of pavement
 - 6) Existing 4" AC water main
 - 7) Existing 12" PVC water main
 - 8) Existing gas main
 - 9) Existing 2" PVC utility sewer main
 - 10) Existing 4" PVC utility sewer main
 - 11) Existing 6" PVC utility sewer main
 - 12) Existing 8" PVC utility sewer main
 - 13) Existing 10" PVC utility sewer main
 - 14) Existing 12" PVC utility sewer main
 - 15) Existing 14" PVC utility sewer main
 - 16) Existing 16" PVC utility sewer main
 - 17) Existing 18" PVC utility sewer main
 - 18) Existing 20" PVC utility sewer main
 - 19) Existing 22" PVC utility sewer main
 - 20) Existing 24" PVC utility sewer main
 - 21) Existing 26" PVC utility sewer main
 - 22) Existing 28" PVC utility sewer main
 - 23) Existing 30" PVC utility sewer main
 - 24) Existing 32" PVC utility sewer main
 - 25) Existing 34" PVC utility sewer main
 - 26) Existing 36" PVC utility sewer main
 - 27) Existing 38" PVC utility sewer main
 - 28) Existing 40" PVC utility sewer main
 - 29) Existing 42" PVC utility sewer main
 - 30) Existing 44" PVC utility sewer main
 - 31) Existing 46" PVC utility sewer main
 - 32) Existing 48" PVC utility sewer main
 - 33) Existing 50" PVC utility sewer main
 - 34) Existing 52" PVC utility sewer main
 - 35) Existing 54" PVC utility sewer main
 - 36) Existing 56" PVC utility sewer main
 - 37) Existing 58" PVC utility sewer main
 - 38) Existing 60" PVC utility sewer main
 - 39) Existing 62" PVC utility sewer main
 - 40) Existing 64" PVC utility sewer main
 - 41) Existing 66" PVC utility sewer main
 - 42) Existing 68" PVC utility sewer main
 - 43) Existing 70" PVC utility sewer main
 - 44) Existing 72" PVC utility sewer main
 - 45) Existing 74" PVC utility sewer main
 - 46) Existing 76" PVC utility sewer main
 - 47) Existing 78" PVC utility sewer main
 - 48) Existing 80" PVC utility sewer main
 - 49) Existing 82" PVC utility sewer main
 - 50) Existing 84" PVC utility sewer main
 - 51) Existing 86" PVC utility sewer main
 - 52) Existing 88" PVC utility sewer main
 - 53) Existing 90" PVC utility sewer main
 - 54) Existing 92" PVC utility sewer main
 - 55) Existing 94" PVC utility sewer main
 - 56) Existing 96" PVC utility sewer main
 - 57) Existing 98" PVC utility sewer main
 - 58) Existing 100" PVC utility sewer main

Exhibit E
 Prelim. Grading & Drainage
 PD 16-003
 (Webb Apartments)

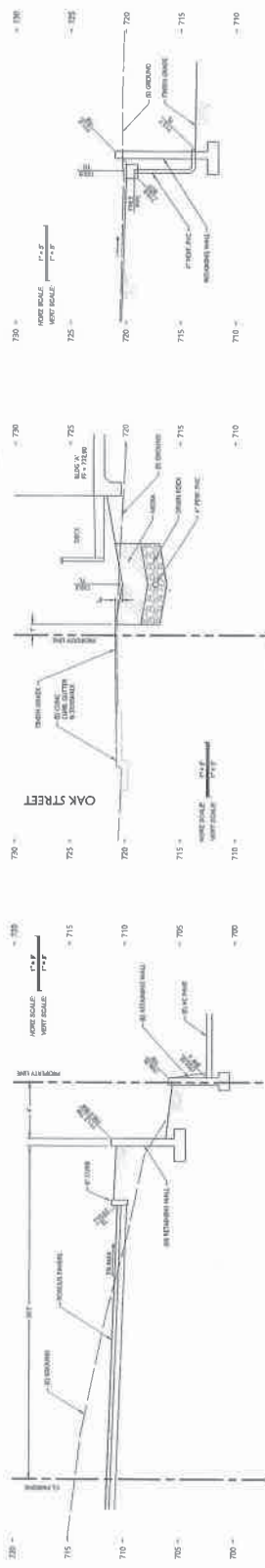
Project No.	1607
Client	Webb Apartments, LLC
City	San Francisco, CA
Date	4/24/2016
Drawn by	J.P. Roberts
Checked by	J.P. Roberts
Scale	AS SHOWN

Record Drawings

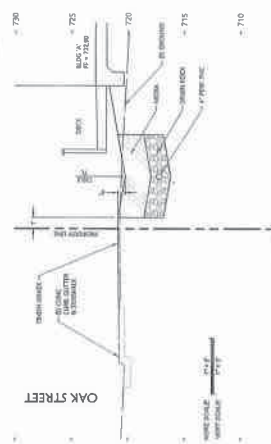
Roberts Engineering
 Trinity P. Roberts
 Civil Engineer - No. 35366
 2615 Third St. Suite 400
 Emeryville, CA 94608
 Phone (925) 236-0664
 Fax (925) 236-0440
 Email: roberts@rob-engineering.com



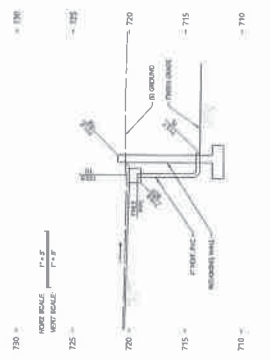
36TH STREET PROFILE



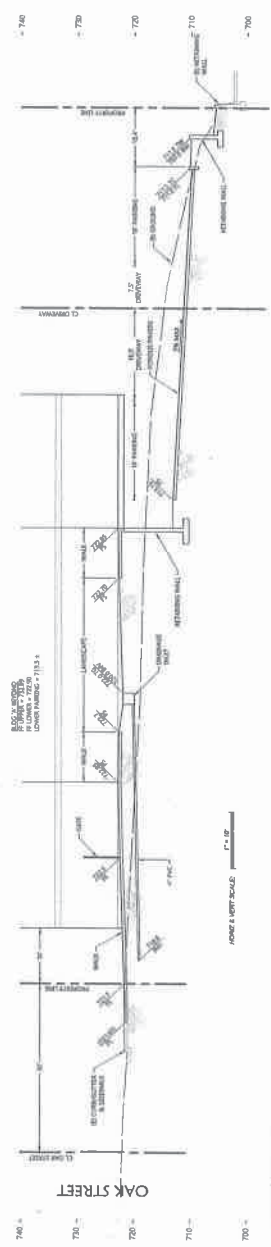
SECTION A-A
 RETAINING WALL



SECTION B-B
 10' WALL



SECTION C-C
 WALL DETAIL



SECTION D-D

Exhibit F
 Site Profile & Sections
 PD 16-003
 (Webb Apartments)



MADRONE LANDSCAPES
 4044 Morse Road
 Alameda, CA 94602
 Ph: 866-666-4444 Fax: 857-464-0775
 www.madrone.com

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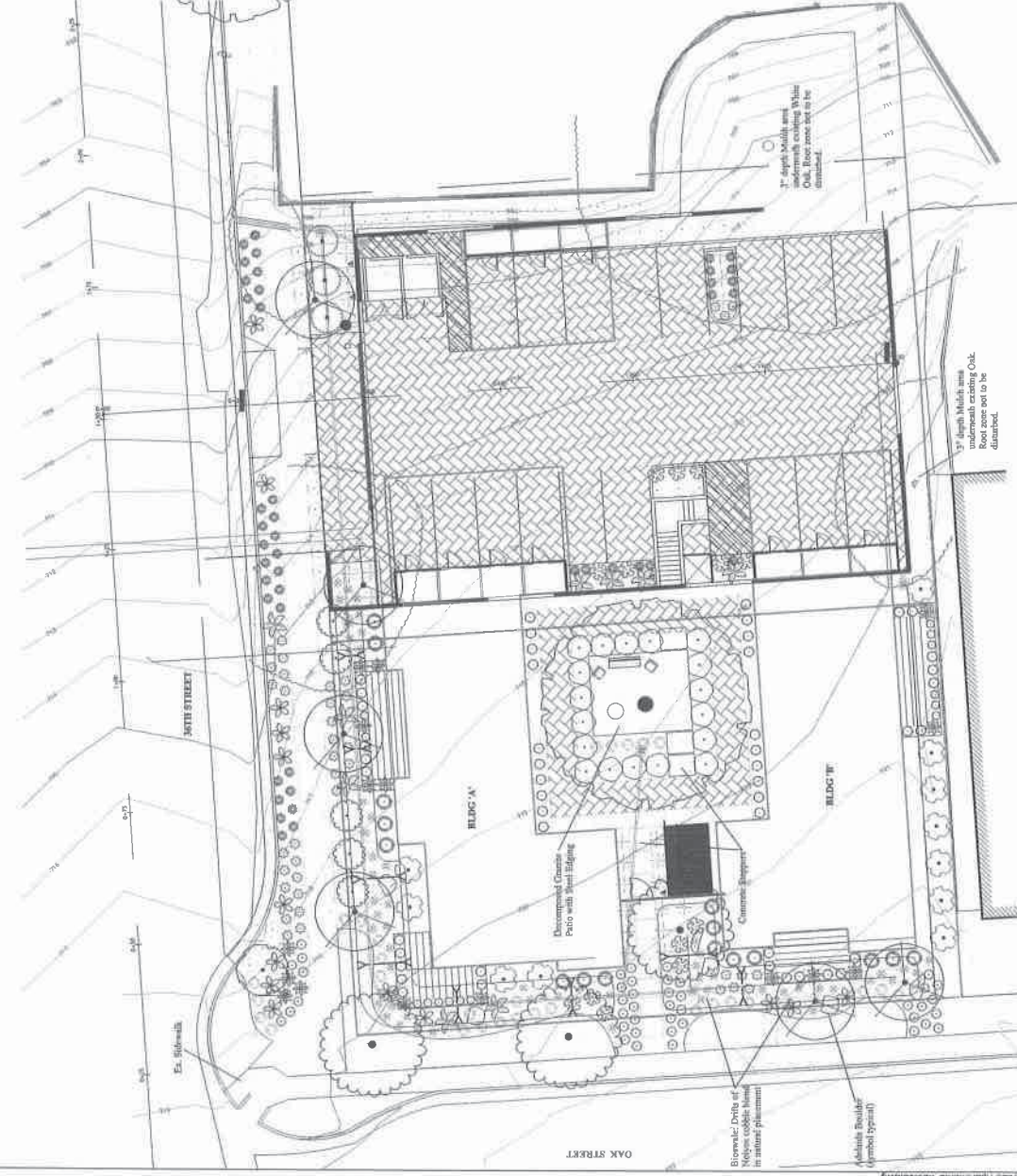
PLANTING PLAN
 PROJECT NAME & ADDRESS
WEBB APARTMENTS
 OAK ST. AND 36TH ST.
 PASO ROBLES, CA 93446

REVISION	DATE
	02/23/16
DRAWN BY Danah Turner	
OWNER APPROVAL	
STAMP	
PROJECT NUMBER	
FILE NAME webb apartments 1-29-16	
PLOT DATE February 23, 2016	

SHEET NUMBER
L-1.0

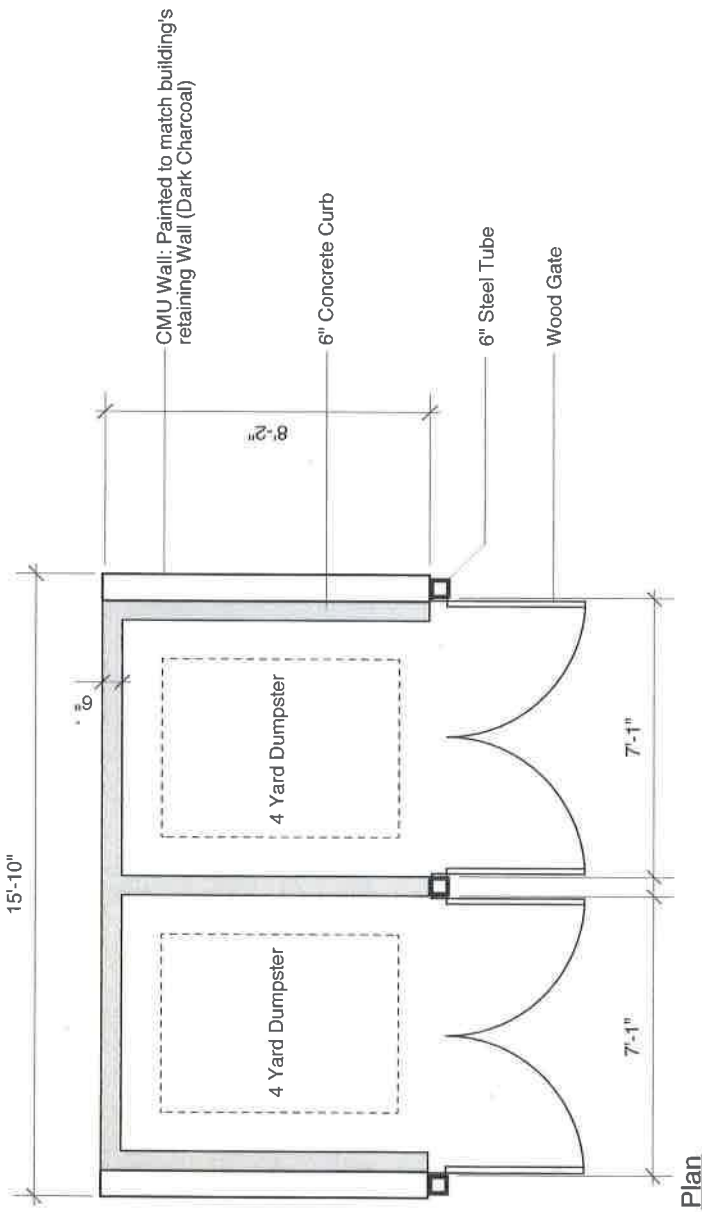
Planting Schedule

TREE	QTY	BOTANICAL NAME / COMMON NAME	CONT
1	3	Adiantum x 'Marian' / Adiantum Standard	18" cont
2	1	Antrophyum nasutaiba 'Dr. Hood' / Dr. Hood Monarda	18" cont
3	1	Cercis occidentalis / Western Redbud Multi-trunk	18" cont
4	1	Quercus agrifolia / Coast Live Oak Standard	Field Grown
SHRUB	QTY	BOTANICAL NAME / COMMON NAME	SIZE
5	25	Chenopodium nutans / Cape Bush	1 gal
6	53	Artemisia parviflora 'Blue' / Spreading Bush	1 gal
7	18	Ligustrum japonicum / Japanese Privet	15 gal
8	47	Nandina domestica 'Fire Power' / Empress Nandina	1 gal
9	13	Noyeda x basensis / Cutout	1 gal
10	9	Phormium tenax 'Pink Stripe' / New Zealand Flax	5 gal
11	16	Phormium tenax 'Yellow Wave' / New Zealand Flax	2 gal
12	17	Phormium tenax 'Black' / New Zealand Flax	1 gal
13	11	Rhaphanocarpus 'Lambert' / California Coffeeberry	1 gal
14	3	Sedum x 'Allen Chidsey' / Sage	1 gal
15	5	Sedum x 'Blue' / Sage	1 gal
GRASSES	QTY	BOTANICAL NAME / COMMON NAME	SIZE
16	40	Dianthus sibiricus 'Ice Feather' / Prairie Red Grass	1 gal
17	29	Carex divaricata / Berkeley Sedge	1 gal
18	38	Carex tereticaulis / Prairie Fire Sedge	1 gal
19	43	Koeleria glauca / Blue Prairie	1 gal
20	16	Muhlenbergia tuberosa / Fire Mule	1 gal
21	44	Pennisetum setosissimum / Rye Puffs	1 gal
22	14	Suaeda x 'Greenes Hybrid' / Greenes Moor Grass	1 gal
VINE/BALIER	QTY	BOTANICAL NAME / COMMON NAME	SIZE
23	4	Pericallis eriopetala / Stone Ivy	1 gal
GROUND COVERS	QTY	BOTANICAL NAME / COMMON NAME	CONT
24	1,071	Carex glauca / Blue Sedge	1/2" x 1/2" Puck



Match Note: (small) 2" wood chip mulch in all planter areas.
 Irrigation Note: Install drip irrigation to all container plants and to all in-ground plants in the following quantities per size:
 4" - (1) emitter
 5 gal - (2) emitters
 Box and Field Grown - (6) emitters (circle around root ball)

Exhibit G
Planting Plan
PD 16-003
(Webb Apartments)



Plan



Elevation

Trash Enclosure Detail

Scale: 1/4" = 1'-0"

Oak St. & 36th St. (Webb Apartments)

05.29.16



Exhibit H
 Trash Enclosure
 PD 16-003
 (Webb Apartments)

Attachment 5

DRAFT RESOLUTION - B

**A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES RECOMMENDING
THE CITY COUNCIL APPROVE OAK TREE REMOVAL 16-003
36TH & OAK STREETS
(JIM WEBB)
APN: 008-031-029, 030 & 033**

WHEREAS, Planned Development 16-003 has been submitted by Warren Hamrick, Architect, on behalf of Jim Webb, requesting to construct a 10-unit apartment complex; and

WHEREAS, the project is located at the southeast corner Oak Street at 36th Street; and

WHEREAS, in conjunction with PD 12-007, the applicants have submitted an application for OTR 16-003, requesting to remove two oak trees located within the 36th Street right of way; and

WHEREAS, the Arborist Report has been prepared by Henry Curtis, Arborist, which indicates that the two trees are in extremely poor condition as a result of several years of pruning for clearance from the overhead utility lines; and

WHEREAS, the Community Development Director could not make the determination that the tree is “clearly dead or diseased beyond correction,” and therefore, Section 10.01.050.C of the Oak Tree Ordinance would consider the tree “healthy” and require that the City Council make the determination of whether the tree should be removed or not, after consideration of the factors listed in Section 10.01.050.D; and

WHEREAS, a public hearing was conducted by the Planning Commission on June 14, 2016, to consider facts as presented in the staff report prepared for this project, and to accept public testimony regarding this proposed development plan; and

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission recommends that the City Council of the City of El Paso de Robles does hereby:

1. Authorize the removal of Tree 2 (11-inch Live Oak) and Tree 3 (12-inch Live Oak) based on the trees being in poor health, as indicated in the Arborist Report, attached as Exhibit A;
2. Require four (4) 1.5-inch diameter oak replacement trees to be plated at the direction of the Arborist, or the necessary funds donated to the City’s Oak Tree Replacement Fund.

PASSED AND ADOPTED THIS 14th day of June, 2016 by the following roll call vote:

AYES:

NOES:

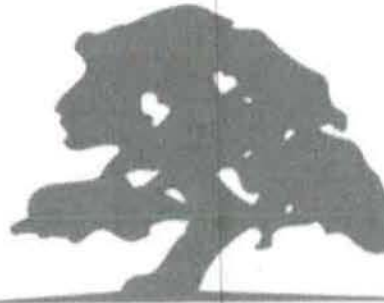
ABSENT:

ABSTAIN:

BOB ROLLINS, CHAIRMAN

ATTEST:

WARREN FRACE, PLANNING COMMISSION SECRETARY



**Whit's-Turn
Tree Care**

ARBORIST REPORT

Prepared for:

Hamrick Associates, Inc.

Property Location:

S.E. Corner of 36th & Oak, Paso Robles

Prepared By:

Henry Curtis
Certified Arborist WE-6345A
(805) 462-9958

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FEB 23 2016

City of Paso Robles
Community Development Dept.



Henry Curtis

Exhibit A
Arborist Report

Agenda Item No. 20 Page 32 of 39
(Webb Apartments)



P.O. Box 1784 Templeton, CA 93465
Telephone: 805-462-9958 Fax: 805-462-9978

HENRY CURTIS – CERTIFIED ARBORIST WE-6345A

September 1, 2015

Hamrick & Associates, Inc. is proposing to build a project on the S.E. corner of 36th and Oak Street in Paso Robles, CA. This property has three native Oak trees that will be impacted.

Tree #1 on the lot is a mature Valley Oak (*Quercus lobata*) located on the S.E corner. This tree appears to be in good health. The proposed project will impact the tree approximately 25%. The impact to this tree should be minimized by following the mitigation I have recommended in my report.

The contractor has designed the project to minimize intrusion of the critical root zone under the dripline of the tree. Pavers will be used for the parking area instead of concrete or asphalt, which helps minimize negative impact on feeder roots.

Trees #2 and #3 are located along 36th street. One Valley Oak (*Quercus lobata*) and one Live Oak (*Quercus agrifolia*). Both trees are directly under power lines and have been left in extremely poor condition due to the line clearance pruning done over several years. Neither of these trees is an asset to the City of Paso Robles or to the property owner. I am recommending removal of these two trees as is referenced on the tree chart within my arborist report.

If you have questions about this project as it relates to the Oak trees please contact my office.

Henry Curtis
Certified Arborist
WE-6345A

Table Of Contents

Tree Preservation Guidelines.....1-2

Tree Protection Chart.....3

Description of Chart.....4

Tree Protection Sign.....5

Tree Preservation Guidelines

The mitigation I am requesting must be followed by anyone working within the *C.R.Z of the native Oak tree located at this site. Copies of these guidelines must be provided to any contractors involved with this project.*The Critical Root Zone is an imaginary circle on the ground that corresponds with the "dripline" of the tree. The dripline of a tree is where the greatest extent of a tree's branches end.

Pre-Construction:

Tree Protection Fencing:

The tree indicated as Impacted, identified on the Tree Protection Chart, will require tree fencing installed one foot outside their entire drip-lines. A warning sign shall be prominently displayed on each fence. Please use the example attached with this report. The sign must be laminated for weather resistance. After fencing is installed please notify me to come and inspect the placement before ground is broken at the project site.

Pre-Construction Meeting:

Before any grading or trenching has begun there must be a meeting with all interested parties to discuss suggested mitigation for the protection of the native Oak tree. Generally, this includes a Certified Arborist, General Contractor, Grading Contractor, and any City or County Officials overseeing this project. Please notify me in advance of the meeting.

Construction:

The configuration of protective fencing cannot be changed without my prior authorization. All dirt work performed near the Oak tree should be done with extreme care to disturb as little of the trees C.R.Z as possible. Workers must use caution not to rip or tear large roots with shovels or equipment. The use of an "air spade" is encouraged for authorized excavation within the trees C.R.Z Tools such as a Ditch Witch are discouraged as they leave a jagged,

broken root surface which causes the roots to die back and leaves them vulnerable to be attacked by soil born fungi. Any tree roots larger than one inch dug up during dirt work need to be flush cut and recovered with dirt immediately. If large roots are exposed and cannot be recovered immediately then they must be covered with wet burlap to keep the roots moist.

Construction Waste:

There is to be no cleaning of construction equipment or any waste products near the C.R.Z of the native Oak trees at This site. All waste or extra materials that could possibly leach into the trees feeder roots need to be cleaned and Stored elsewhere.

Landscaping:

To ensure the longevity of your native tree, landscaping underneath their drip lines should be kept natural with The exception of the woodchips. Also, keeping irrigation systems outside of the trees drip lines. For more information Regarding landscaping near native Oaks, see the publication: Compatible Plants Under and Around Oaks, California Oak Foundation, <http://www.CaliforniaOaks.org/>

Whit's-Turn Tree Care

Tree #	Common Name	Scientific Name	Trunk DBH	*Tree Condition 1-10	Construction Status	C.R.Z. Impact	*Anticipated Construction Impact	Mitigation Proposal	Monitoring Required
1	Valley Oak	Quercus lobata	33"	9	Impacted	25%	Grading/parking area	Pavers/Tree protection fencing. Prune for clearance	NO
2	Live Oak	Quercus agrifolia	3 spar 11", 8", 8"	2	Removal	x	x	x	x
3	Live Oak	Quercus agrifolia	3 spar 12", 11", 10"	3	Removal	x	x	x	x

Tree Condition Key

Based on a scale of 1-10

1 being the worst and 10

being the best

Construction Impact

I=Impacted

NI=Not Impacted

R= Removal

Description of Tree Protection Chart

Tree number can be found on the project plans as well as labeled on the tree with a numerical tag.

Common Name: labels the tree with a common name such as VO=Valley Oak, BO=Blue Oak, LO=Live Oak
BW=Black Walnut

Scientific Name: Scientific name of the tree species

Trunk D.B.H., is the abbreviation for the trunk diameter at breast height in inches

Tree Condition, ranging from zero to ten. Zero= deceased, One=Poor condition, Ten=Excellent

Construction Status of tree, Avoided-Removal-Impacted

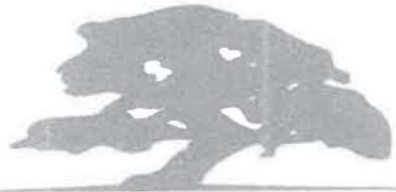
C.R.Z. Impact is the anticipated percentage of impact to the trees Critical Root Zone.

Anticipated Construction Impact

Such as; retaining wall, grading, trenching, etc.

Monitoring Required Yes/No

If yes, the Arborist must be notified and on site during any trenching or grading near the tree



Whit's-Turn
Tree Care

TREE PROTECTION

No grade change, storage of materials or equipment is permitted within this C.R.Z.

Tree protection fencing must not be removed or crossed without permission.

Henry Curtis
Arborist WE-6345-A
(805)462-9958