

TO: HONORABLE CHAIRMAN AND PLANNING COMMISSION
FROM: WARREN FRACE, COMMUNITY DEVELOPMENT DIRECTOR
SUBJECT: TIME EXTENSION FOR TENTATIVE PARCEL MAP PR 06-0236
2225 PARK STREET – RAY BUBAN (APN: 008-165-009)
DATE: MAY 10, 2016

Needs: For the Planning Commission to consider the applicant's request for a one-year time extension of PR 06-0236.

- Facts:
1. The site is located at 2225 Park Street, see Location Map, Attachment 1.
 2. The parcel map was initially approved on February 27, 2007, via Planning Commission resolution 07-0023; see Tentative Map, Attachment 2. PR 06-0236, allowed for the subdivision of the 12,585 square foot lot into four parcels, ranging in size from 2,800 square feet to 3,400 square feet. See Resolution 07-0023, Attachment 3.
 3. The parcel map was originally scheduled to expire on February 27, 2009. Since 2009, the parcel map has been automatically extended by the State as a result of SB 1185, AB 333, AB 208, and AB 116, to February 27, 2016.
 4. PR 06-0236, has not been recorded and was scheduled to expire on February 27, 2016. A request for a time extension was filed prior to the February 27, 2016 deadline.

Analysis
and

Conclusion: Since the approval of PR 06-0134 was approved in 2007, the Uptown Town Centre Specific Plan has been adopted, changing the zoning designation for this lot from R3 to T4-N. Staff has reviewed the time extension request and has determined that the preliminary architectural site plans that were created in conjunction with the tentative parcel map for the two lots that front on Park Street (Lot 1 and 2), would not comply with the current Specific Plan setback standards. The homes for lots 1 and 2 would need to be redesigned in a manner where the garage is set back behind the front wall of the house. It would appear that the subdivision could accommodate different options, since the land is still vacant.

Staff spoke with Ray Buban and discussed this matter. Mr. Buban was comfortable with adding a condition to the time extension that would require that future home

designs need to be changed from the original designs to comply with the Specific Plan requirements.

Policy

Reference: General Plan Land Use Element, Zoning Code.

Fiscal

Impact: There are no specific fiscal impacts associated with approval of this time extension.

Options:

After consideration of public testimony, the Planning Commission should consider one of the following options:

- a. Adopt a resolution granting a one-year time extension for Tentative Parcel Map PR 06-0236, with the added condition that the development for each lot will need to comply with standards outlined in the Uptown Town Centre Specific Plan for the T4-N district;
- b. Adopt a resolution granting a time extension for a shorter period of time;
- c. Amend, modify or reject the above noted options.

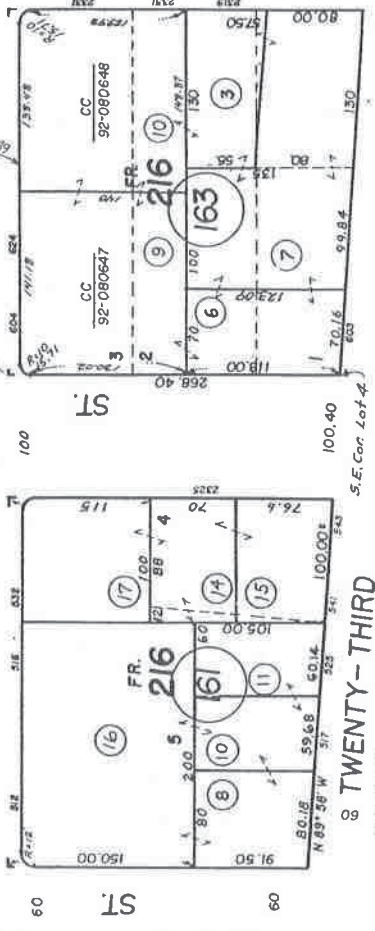
Attachments:

1. Vicinity Map
2. Tentative Parcel Map PR 06-0236
3. Resolution 07-0023
4. Draft Resolution granting a one year time extension.
5. Mail and Newspaper Affidavits

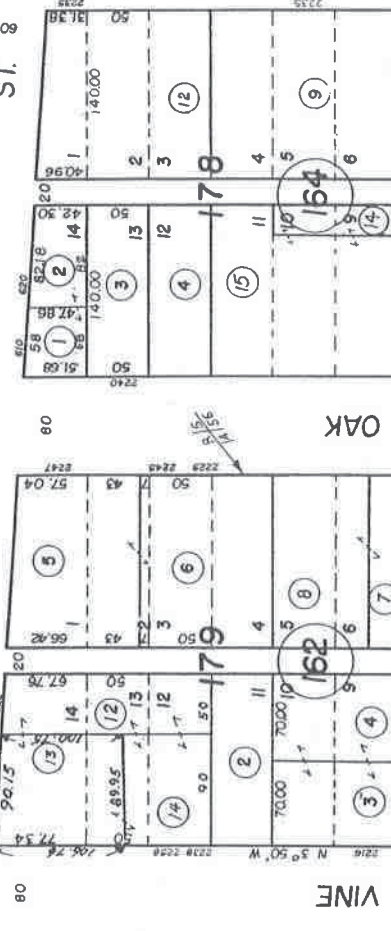


(10)

TWENTY-FOURTH

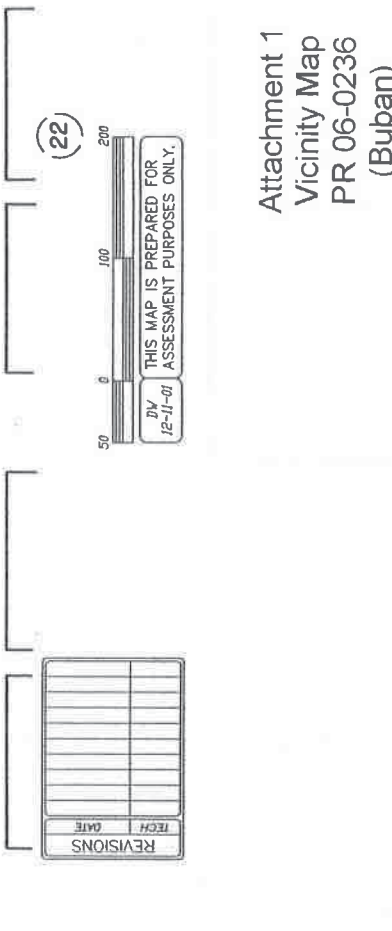


TWENTY-THIRD



(15)

TWENTY-SECOND



(22)

REVISIONS	TECH	DATE

50 0 100 200

DIV 12-11-01

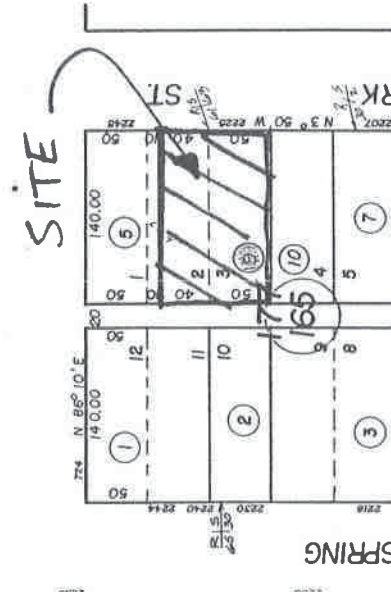
THIS MAP IS PREPARED FOR ASSESSMENT PURPOSES ONLY.

(17)

TWENTY-FIRST

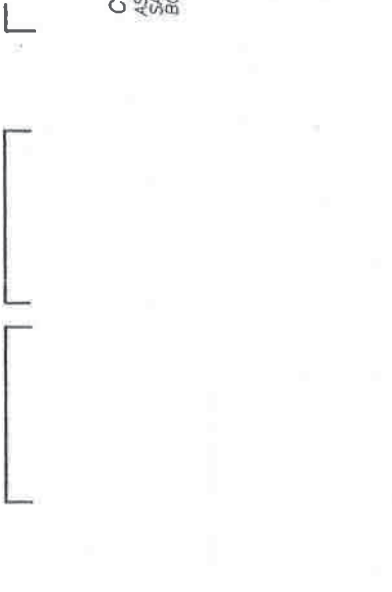


TWENTY



(17)

TWENTY-NINTH



Attachment 1
 Vicinity Map
 PR 06-0236
 (Buban)

VICINITY MAP:



PROJECT SUMMARY:

DWELLING UNITS: FOUR DWELLING UNITS, THREE BEDROOMS PER UNIT.

PARKING:
 LOTS 1 & 2: TWO SPACES IN GARAGE, TWO SPACES IN DRIVEWAY.
 LOTS 3 & 4: TWO SPACES IN GARAGE, ONE SPACE ADJACENT TO GARAGE.

FLOOD ZONE:

THIS PROJECT IS LOCATED IN A ZONE B FLOOD AREA. THIS DATA WAS OBTAINED IN ACCORDANCE TO THE FEMA FLOOD REFERENCE MAPS AVAILABLE AT THE CITY OF PASO ROBLES PUBLIC WORKS DEPARTMENT. PER THE FEMA REQUIREMENTS, THE FINISH FLOOR ELEVATIONS ARE TO BE A MINIMUM 12" ABOVE THE 100 YEAR MEAN FLOOD LEVEL. THE FLOOR ELEVATIONS ARE AT LEAST 12" HIGHER THAN THE HIGHEST ADJACENT VERTICAL ELEVATION FOR THIS COMPLIANCE REQUIREMENT.

LIGHTING:

ALL PROPOSED EXTERIOR LIGHTING SHALL BE LOW VOLTAGE & FULLY SHIELDED.

LEGAL DESCRIPTION:

BEING A SUBDIVISION OF LOT 09 AND A PORTION OF LOT 02 IN BLOCK 177 AS SHOWN ON MAP FILED IN BOOK 08 AT PAGE 169 IN THE OFFICE OF THE COUNTY RECORDER IN THE CITY OF PASO ROBLES, COUNTY OF SAN LUIS OBISPO, CALIFORNIA.

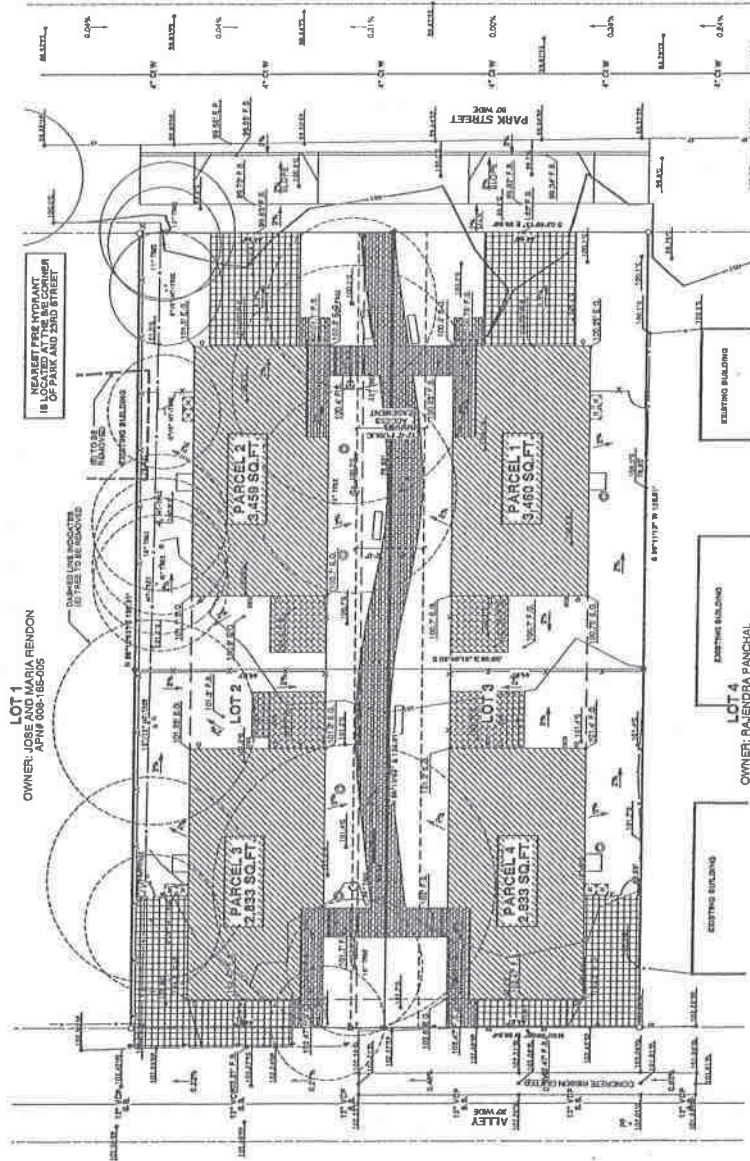
BENCH MARK:

THE BASIS OF ELEVATIONS USED FOR THIS SURVEY IS THE TOP OF AN IRON BENCH MARK IN MONUMENT WELL AT THE CENTERLINE INTERSECTION OF 24RD AND PARK STREETS THAT ELEVATION BEING 99.13' (ASSUMED DATUM)

TRACT AREA = 0.289 ACRES

OWNER:

LEGACY PARK PARTNERS, LLC
 C/O SPINAKER FINANCIAL
 116 GIBSON ROAD
 TEMPLETON, CA 93465



LOT 1
 OWNER: JOSE AND MARIA RENDON
 APN# 065-186005

NEAREST FIRE HYDRANT IS LOCATED AT THE CORNER OF PARK AND 24TH STREET

LOT 4
 OWNER: SPINAKER FINANCIAL
 APN# 004-186-010

CRAIG R. SMITH ARCHITECT & ASSOCIATES	
CONSULTING ARCHITECT	
250 GARDNER ST. SUITE 100 PASO ROBLES, CA 93426 TEL: (805) 431-2222 FAX: (805) 431-2222	
PARK STREET PROJECT	
2225 PARK STREET	
CITY OF PASO ROBLES, CALIFORNIA	
SCALE: 1" = 10'-0"	DATE:
DESIGNED BY: PMS	ACCEPTED BY:
DRAWN BY: MRL	CITY ENGINEER:
CHECKED BY: GHE	PASO ROBLES SEAL:
RECORD DATE:	

Attachment 2
 Tentative Parcel Map
 PR 06-0236
 (Buban)

RESOLUTION NO. 07-0023

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
TO GRANT TENTATIVE MAP APPROVAL FOR
PARCEL MAP PR 06-0236
(LEGACY PARTNERS, LLC)
APN: 008-165-009

WHEREAS, Parcel Map PR 06-0236, an application filed by Craig R. Smith Architects, on behalf of Legacy Park Partners, LLC to subdivide a 12,585 square foot lot into four parcels; and

WHEREAS, the site is located at 2225 Park Street; and

WHEREAS, the subject site is located in the Residential Multi-Family (RMF-12) land use category and the R3 zoning district; and

WHEREAS, as a result of the parcel map, Parcels 1 & 2 would be 3,400 square feet and Parcels 3&4 would be 2,800 square feet; and

WHEREAS, the proposed parcel map is Categorically Exempt from environmental review per Section 15315 of the State's Guidelines to Implement the California Environmental Quality Act (CEQA); and

WHEREAS, a public hearing was conducted by the Planning Commission on February 27, 2007, to consider facts as presented in the staff report prepared for the tentative parcel map, and to accept public testimony regarding the application; and

WHEREAS, based upon the facts and analysis presented in the staff report, public testimony received and subject to the conditions listed below, the Planning Commission makes the following findings as required by Government Code Sections 66474 and 65457:

1. The proposed tentative parcel map is consistent with the adopted General Plan for the City of El Paso de Robles in that it provides for infill development within close proximity to schools, shopping and other services;
2. As conditioned the design of lots, streets, open space, drainage, sewers, water and other improvements is consistent with the General Plan and Zoning Ordinance;
3. The site is physically suitable for the type of development proposed as demonstrated with the proposed building foot prints of the four homes;
4. The design of the land division is not likely to cause substantial environmental damage or substantially and unavoidably injure fish or wildlife or their habitat;

5. The design of the land division and types of improvements proposed are not likely to cause serious public health problems;
6. The design of the land division and the type of improvements proposed will not conflict with easements acquired by the public at large, for access through or use of, property within the proposed subdivision;
7. The fulfillment of the requirements listed in conditions No. 6&7 are necessary prerequisite to the orderly development of the site and surrounding area.
8. The proposed project provides for an innovative site and the homes proposed to be constructed on the four parcels are designed in a manner that promotes architectural and design excellence.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles, does hereby grant tentative map approval for Parcel Map PR 06-0236 subject to the following conditions of approval:

STANDARD CONDITIONS OF APPROVAL:

1. The applicant/developer shall comply with those standard conditions which are indicated as applicable in "Exhibit A" to this resolution.

SITE SPECIFIC CONDITIONS OF APPROVAL:

NOTE: In the event of conflict or duplication between standard and site specific conditions, the site specific condition shall supersede the standard condition.

PLANNING

2. The project shall be constructed so as to substantially conform with the following listed exhibit and conditions established by this resolution:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Standard Conditions of Approval
B	Title Sheet
C	Tentative Parcel Map PR 06-0236
D	Site and Utility Plan
E	Grading Plan
F	Landscape Plan
G	Unit A Floor Plan
H	Unit A Roof Plan
I	Unit A Exterior Elevations
J	Unit B Floor Plan

K	Unit B Roof Plan
L	Unit B Exterior Elevations
M	Unit C Floor Plan
N	Unit C Roof Plan
O	Unit C Exterior Elevations
P	Unit D Floor Plan
Q	Unit D Roof Plan
R	Unit D Exterior Elevations

3. PR 06-0236 would allow the subdivision of the existing 12,585 square foot lot into four lots where Parcels 1 and 2 would be 3,460 square feet and Parcel 3 and 4 would be 2,830 square feet.
4. Pursuant to submittal requirements and Standard Condition B-1 of Attachment A, prior to occupancy the applicant shall provide on a 3.5 inch disk or IBM-compatible CD a copy of all signed and stamped approved plans, exhibits, resolutions, and all submittal materials and other documentation pertaining to approval of this application for electronic archiving. The applicant may elect to have the City send out the documents for scanning at the applicant's expense.
5. The applicant shall take the steps necessary to annex to or form a City Community Facilities District (CFD) in order to provide funding for City services for each new parcel or dwelling unit in the proposed development. The agreement to form or annex to a CFD shall be in a manner to be approved by the City Attorney. Participation in a City CFD for services is intended to fully mitigate the incremental impact of new residential development on City services and maintain such services at the standards established in the General Plan.

If for any reason, applicant does not take the necessary steps to have the development included within a CFD, applicant shall, in a manner subject to approval by the City Council and City Attorney, provide for alternative means of fiscal mitigation at a level equal to the special taxes established in the Rate and Method of Apportionment applicable to CFD 2005-1, as they may be adjusted from time to time.

For any project resulting in the development of five (5) or more residential units on separate parcels, applicant shall also prepare and record the necessary documents to form a homeowners association (the "HOA") for such development, which HOA shall become active only if and when the CFD is terminated. The HOA documents shall provide that the HOA shall be required to fund the services provided by the CFD, and at the same level established in the Rate and Method of Apportionment for the CFD.

6. Prior to occupancy of a building permit on any parcel; curb, gutter, sidewalk and paving shall be constructed on Park Street in accordance with City Standard A-12 and plans approved by the City Engineer.

7. Prior to occupancy of a building permit on any parcel; alley paving shall be constructed in accordance with City Alley Standard A-17 from the south boundary of the property to 23rd Street, along with improvement of the existing alley approach at 23rd Street.
8. Individual water and sewer services shall be provided to each parcel. The final parcel map shall include all utility easements necessary, including easements for water and sewer services to each parcel. A minimum five-foot access easement shall be provided over Parcels 1 and 2 for the benefit of Parcels 3 and 4.
9. Prior to final map approval, the applicant shall enter into an agreement not to protest the formation of an assessment district to underground existing overhead public utilities in the block.
10. Provide fire sprinklers systems for residential buildings or extend the waterline from 21st Street to meet project fire flow demand.
11. Upgrade existing fire hydrant at intersection of 23rd and Park Street to specifications determined by the City Engineer.
12. Prior to the start of construction, documentation shall be submitted to emergency services showing that the required fire flows can be provided to meet the project demands.
13. A directory or annunciator panel shall be installed at all vehicle entrance areas indicating building locations and numbers.
14. Provide five (5) foot Public Services Access Easement that allows Emergency Services staff access to the rear lot via the front lot.
15. Prior to submittal of building permits, the applicant needs to provide revised plans to the DRC reorienting the front doors of the two rear units, so that they are not facing the alley.

—

AYES: Johnson, Steinbeck, Flynn, Treach, Holstine

NOES: Menath

ABSENT: Withers

ABSTAIN: None


CHAIRMAN, MARGARET HOLSTINE

ATTEST:



RON WHISENAND, SECRETARY OF THE PLANNING COMMISSION

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EXHIBIT A OF RESOLUTION 07-0023

**CITY OF EL PASO DE ROBLES STANDARD DEVELOPMENT CONDITIONS
FOR SINGLE FAMILY RESIDENTIAL TRACT AND PARCEL MAPS**

PROJECT #: Tentative Parcel Map PR 06-0236

APPROVING BODY: Planning Commission

DATE OF APPROVAL: February 27, 2007

APPLICANT: Legacy Partners, LLC

LOCATION: 2225 Park Street

The following conditions that have been checked are standard conditions of approval for the above referenced project. The checked conditions shall be complied with in their entirety before the project can be finalized, unless otherwise specifically indicated. In addition, there may be site specific conditions of approval that apply to this project in the resolution.

COMMUNITY DEVELOPMENT DEPARTMENT - The applicant shall contact the Planning Division, (805) 237-3970, for compliance with the following conditions:

A. GENERAL CONDITIONS

- 1. This project approval shall expire on February 27, 2009 unless a time extension request is filed with the Community Development Department prior to expiration.
- 2. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Planned Development process, development shall comply with the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
- 3. Prior to recordation of the map, all conditions of approval shall be completed to the satisfaction of the City Engineer and Community Developer Director or his designee.
- 4. This project is subject to the California Environmental Quality Act (CEQA), which requires the applicant submit a \$25.00 filing fee for the Notice of Determination payable to "County of San Luis Obispo". The fee should be submitted to the Community Development Department within 24 hours of project approval, which is then forwarded to the San Luis Obispo County Clerk. Please note that the project may be subject to court challenge unless the required fee is paid.
- 5. In accordance with Government Section 66474.9, the subdivider shall defend, indemnify and hold harmless the City, or its agent, officers and employees, from any claim, action or proceeding brought within the time period provided for in Government Code section 66499.37, against the City, or its agents, officers, or employees, to attack, set aside, void, annul the City's approval of this subdivision. The City will promptly notify subdivider of any such claim or action and will cooperate fully in the defense thereof.

(Adopted by Planning Commission Resolution 94-038)

- 6. All signs shall be subject to review and approval as required by Municipal Code Section 21.19 and shall require a separate application and approval prior to installation of any sign.
- 7. All existing and/or new lighting shall be shielded so as to be directed downward in such a manner as to not create off-site glare or adversely impact adjacent properties. The style, location and height of the lighting fixtures shall be submitted with the building plans and subject to approval by the Community Development Department.
- 8. All existing and/or new landscaping shall be installed with automatic irrigation systems.
- 9. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 10. The following areas shall be placed in a Landscape and Lighting District:
- 11. The following areas shall be permanently maintained by the property owner, Homeowners' Association, or other means acceptable to the City:

- 12. The applicant shall install durable, decorative fence/wall treatments and landscaping along all arterial streets consisting of brick, tubular steel with pilasters, or other similar materials as determined by the Development Review Committee, but specifically excluding precision block and wood fences. Substantial setbacks with landscaping may be considered as an alternative, subject to approval by the Development Review Committee.
- 13. The applicant shall provide a one-foot non-access easement along the rear/side of all lots that back up/side against a collector or arterial street.

B. THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF BUILDING PERMITS OR RECORDATION OF THE FINAL MAP, WHICHEVER OCCURS FIRST:

- 1. Two sets of the revised Planning Commission approved plans incorporating all Conditions of Approval, standard and site specific, shall be submitted to the Community Development Department.
- 2. Prior to the issuance of building permits, the
 - Development Review Committee shall approve the following:
 - Planning Division Staff shall approve the following:
 - a. A detailed landscape plan including walls/fencing;
 - b. Other: Architectural Site Plans and Elevations

(Adopted by Planning Commission Resolution 94-038)

- 3. The Covenants, Conditions, and Restrictions (CC&Rs) and/or Articles Affecting Real Property Interests are subject to the review and approval of the Community Development Department, the Public Works Department and/or the City Attorney. They shall be recorded concurrently with the Final Map or prior to the issuance of building permits, whichever occurs first. A recorded copy shall be provided to the affected City Departments.
- 4. The applicant shall agree, in a manner acceptable to the City Attorney, to pay impact mitigation fees as may be established through a resolution or ordinance adopted by the City Council, in effect at the time building permits are issued.
- N/A 5. ~~In order for this tract/parcel map to be in conformance with the General Plan, the lots/parcels of the tract/parcel map shall be annexed into a Community Facilities District (CFD) that serves to mitigate impacts to public schools. Said CFD shall either be a joint City School District CFD or a CFD created by the School District that the City Council has approved. If at the time that the final map is submitted for approval, proceedings to annex the tract/parcel map into a CFD have not been completed, the applicant shall record on all lots/parcels, a waiver of future protest to the formation of a CFD joint City School District CFD or a CFD created by the School Districts that the City Council has approved. This condition shall not be imposed if the developer executes a development agreement with the District to mitigate school impacts.~~
- 6. Street names shall be submitted for review and approval by the Planning Commission, prior to approval of the final map.
- 7. The developer shall provide constructive notice to all buyers that all homes are required to utilize semi-automated trash containers as provided by the City's franchisee for solid waste collection.
- 8. The developer shall provide constructive notice to future buyers that all residential units shall be required to be equipped with trash compactors.
- 9. The applicant shall meet with the City's Crime Prevention Officer prior to the issuance of building permits for recommendations on security measures to be incorporated into the design of the structures to be constructed. The applicant is encouraged to contact the Police Department at (805) 237-6464 prior to plan check submittal.

(Adopted by Planning Commission Resolution 94-038)

PUBLIC WORKS DEPARTMENT - The applicant shall contact the Engineering Division, (805) 237-3860, for compliance with the following conditions:

APPLICANT: Legacy
REPRESENTATIVE: Smith
PROJECT: Tentative Parcel Map 06-0236

PREPARED BY: John Falkenstien
CHECKED BY:
TO PLANNING:

C. PRIOR TO ANY PLAN CHECK:

- 1. The applicant shall enter into an Engineering Plan Check and Inspection Services Agreement with the City.

D. PRIOR TO RECORDING OF THE FINAL OR PARCEL MAP:

- 1. The owner shall pay all Final Map fees, and current and outstanding fees for Engineering Plan Check and Construction and Inspection services and any annexation fees due.

- 2. If, at the time of approval of the final/record parcel map, any required public improvements have not been completed and accepted by the City the owner shall be required to enter into a Subdivision Agreement with the City in accordance with the Subdivision Map Act, prior to recordation. The owner shall also be required to post securities to guarantee the installation and completion of said improvements as specified in the Subdivision Map Act and submit a Certificate of Insurance as required by the City. The owner shall also be required to post securities for grading in accordance with Section 7008 of the Uniform Building Code, latest edition. This bond shall be of sufficient amount to ensure completion of the grading and drainage facilities. (A finding of "orderly development" has been made for this condition on parcel maps).

Bonds required and the amount shall be as follows:
Performance Bond.....100% of improvement costs.
Labor and Materials Bond.....50% of performance bond.

- 3. The developer shall annex to the City's Landscape and Lighting District for payment of the operating and maintenance costs of the following:
 - a. Street lights;
 - b. Parkway and open space landscaping;
 - c. Wall maintenance in conjunction with landscaping;
 - d. Graffiti abatement;
 - e. Maintenance of open space areas.

- 4. The owner shall offer to dedicate to the City a 6 foot public utilities and 6 foot tree easement adjacent to all road right-of-ways. The owner shall offer to dedicate to the City the following easement(s). The location and alignment of the easement(s) shall be to the description and satisfaction of the City Engineer:
 - a. Public Utilities Easement;
 - b. Water Line Easement;
 - c. Sewer Facilities Easement;
 - d. Landscape Easement;
 - e. Storm Drain Easement.

(Adopted by Planning Commission Resolution 94-038)

- 5. The subdivider shall offer to dedicate and improve the following street(s) to the standard indicated:

Street Name	City Standard	Standard Drawing No.
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- 6. Landscape and irrigation plans for the public right-of-way shall be incorporated into the improvement plans and shall require a signature of approval by the Department of Public Works, Street Superintendent and the Community Development Department.
- 7. All improvement plans shall be prepared by a registered civil engineer and shall be submitted to the City Engineer for review and approval. The improvements shall be designed and placed to Public Works Department Standards and Specifications.
- 8. Prior to any site work a Preliminary Soils Report shall be prepared for the property to determine the presence of expansive soils or other soils problems and shall make recommendations regarding grading of the proposed site.
- 9. The applicant shall submit a composite utility plan signed as approved by a representative of each public utility, together with the improvement plans. The composite utility plan shall also be signed by the Water, Fire, Wastewater and Street Division Managers.
- 10. A complete grading and drainage plan prepared by a registered civil engineer shall be included with the improvement plans. Drainage calculations shall be submitted, with provisions made for on-site detention/ retention if adequate disposal facilities are not available, as determined by the City Engineer.
- 11. The owner shall provide an additional map sheet to record concurrently with the final map or parcel map showing the lot configuration, and the area subject to inundation by the 100 year storm with base flood elevations shown in feet, in relation to the National Geodetic Vertical Datum of 1929.
- 12. The owner shall install all utilities (sewer, water, gas, electricity, cable TV, and telephone) underground to each lot in the subdivision. Street lights shall be installed at locations as required by the City Engineer. All existing overhead utilities adjacent to or within the project shall be relocated underground, except for electrical lines 77 kilovolts or greater. All utilities shall be extended to the boundaries of the project, unless it is determined that no need for future extension exists. All underground construction shall be completed and approved by the City and the public utility companies, and the subgrade shall be scarified and compacted, before paving the streets.
- 13. Any utility trenching in existing streets shall be overlaid to restore a smooth riding surface as required by the City Engineer. Boring and jacking rather than trenching may be required on newly constructed or heavily traveled City Streets.
- 14. Prior to paving any street, the water and sewer systems shall successfully pass a City pressure test. The sewer system shall also be tested by a means of a mandrel and video inspection with a copy of the video tape provided to the City. No paving shall occur until the City has reviewed and viewed the sewer video tape and has determined that the sewerline is acceptable. Any repair costs to the pipeline including trench paving restoration shall be at the developer's expense.
- 15. The owner shall install all street name, traffic signs and traffic striping as directed by the City Engineer.

(Adopted by Planning Commission Resolution 94-038)

- 16. The adjoining existing City street is inadequate for the traffic generated by the project, or will be severely damaged by the construction. The applicant shall remove the entire roadway and replace it with a minimum full half-width street plus a 12' wide travel lane and 8' wide base shoulder adequate to provide for two-way traffic. (A finding of "rough proportionality" has been made in the resolution for this condition.)
- 17. The development includes a phased street construction along the project boundary for future completion by the adjacent property owner, the applicant shall provide a minimum half-width street plus a 12' travel lane and 4' wide base shoulder adequate for two-way traffic. (A finding of "rough proportionality" has been made in the resolution for this condition.)
- 18. The project fronts on an existing street. The applicant shall pave-out from the proposed gutter to the edge of pavement if the existing pavement section is adequate, and shall feather the new paving out to the centerline for a smooth transition. If the existing pavement, structural sections or geometrics are inadequate per current City Standards, the roadway shall be replaced to centerline and the remaining pavement shall be overlaid. (A finding of "rough proportionality" has been made in the resolution for this condition.)

E. PRIOR TO ANY SITE WORK:

- 1. The applicant shall obtain a Grading Permit from the City Building Division.
- 2. Prior to issuance of a Grading Permit the developer shall apply, through the City, to FEMA and receive a Letter of Map Amendment (LOMA) issued from FEMA. The developer's engineer shall provide the required supporting data to justify the application.
- 3. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No. 553, Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to its removal.
- 4. All property corners shall be staked for construction control, and shall be promptly replaced if destroyed.
- 5. Any grading anticipated during the rainy season (October 15 to April 15) will require the approval of a construction zone drainage and erosion control plan to prevent damage to adjacent property. Appropriateness of areas shall be subject to City Engineer approval.
- 6. Any construction within an existing street shall require a traffic control plan. The plan shall include any necessary detours, flagging, signing, or road closures requested. Said plan shall be prepared and signed by a registered civil or traffic engineer.

F. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

(Adopted by Planning Commission Resolution 94-038)

- 1. A final soils report shall be submitted to the City prior to the final inspection and shall certify that all grading was inspected and approved, and that all work has been done in accordance with the plans, preliminary report, and Chapter 70 of the Uniform Building Code.
- 2. The applicants civil and soils engineer shall submit a certification that the rough grading work has been completed in substantial conformance to the approved plans and permit.
- 3. Building permits shall not be issued until the water system has been completed and approved, and a based access road installed sufficient to support the City's fire trucks, in a manner approved by the Fire Chief.
- 4. Prior to issuance of a Building Permit for building within Flood Insurance Rate Map (FIRM) zones A1-A30, AE, AO, AH, A, V1-V30, VE and V, the developer shall provide an Elevation Certificate in accordance with the National Flood Insurance program. This form must be completed by a land surveyor, engineer or architect licensed in the State of California.
- 5. Prior to issuance of a Building Permit for building within Flood Insurance Rate Map (FIRM) zones A1-A30, AE, AO, AH, A, V1-V30, VE and V, the developer shall provide a Flood Proofing Certificate in accordance with the National Flood Insurance program. This form must be completed by a land surveyor, engineer or architect licensed in the State of California.

G. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY:

- 1. All final property corners and street monuments shall be installed before acceptance of the public improvements.
- 2. No buildings shall be occupied until all public improvements are completed and approved by the City Engineer, and accepted by the City Council for maintenance.
- 3. All disturbed areas not slated for development shall be protected against erosion in a manner acceptable to the City Engineer, which may include hydroseeding or landscaping.
- 4. The applicant shall pay any current and outstanding fees for Engineering Plan Checking and Construction Inspection Services and any outstanding annexation fees.
- 5. All top soil removed shall be stockpiled and evenly distributed over the slopes and lots upon completion of rough grading to support hydroseeding and landscaping. All slope areas shall be protected against erosion by hydroseeding or landscaping.
- 6. All construction refuse shall be separated (i.e. concrete, asphalt concrete, wood, gypsum board, etc.) and removed from the project to a recycling facility in accordance with the City's Source Reduction and Recycling Element.
- 7. If any of the public improvements or conditions of approval are not completed or met, then the subdivider may, at the discretion of the City Engineer, enter into a Performance Agreement with the City to complete said improvements at a later date and post securities to cover the cost of the improvements. The form of the agreement and amount of the securities are subject to the approval of the City Engineer.
- 8. A blackline clear Mylar (0.4 MIL) copy and two (2) blue-line prints of as-built improvement plans, signed by the engineer of record, shall be provided to the City Engineer prior to the final inspection.

(Adopted by Planning Commission Resolution 94-038)

A reduced copy (i.e. 1" = 100') of the composite utility plan shall be provided to update the City's Atlas Map.

- 9. A benchmark shall be placed for vertical control on the U.S.G.S. Datum as required by the City Engineer.

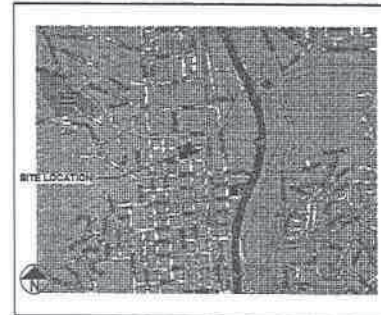
PASO ROBLES FIRE DEPARTMENT - The applicant shall contact the Fire Department, (805) 237-3973, for compliance with the following conditions:

H. GENERAL CONDITIONS

- 1. Fire hydrants shall be installed at intervals as required by the Fire Chief and City Engineer. The maximum spacing for single family residential shall be 500 feet. The maximum spacing for multi-family and commercial/residential shall be 300 feet. On-site hydrants shall be placed as required by the Fire Chief.
- 2. Building permits shall not be issued until the water system, including hydrants, has been tested and accepted and a based access road installed sufficient to support the City's fire apparatus (HS-20 truck loading). The access road shall be kept clear to a minimum of 24 feet at all times and shall be extended to each lot and shall be maintained to provide all weather driving conditions.
- 3. No buildings shall be occupied until all improvements are completed and accepted by the City for maintenance.
- 4. If the development includes phased street construction, temporary turn-arounds shall be provided for streets that exceed 150 feet in length. The temporary turn around shall meet City requirements as set forth in the Public Works Department Standards and Specifications.
- 5. All open space areas to be dedicated to the City shall be inspected by the Fire Department prior to acceptance. A report shall be submitted recommending action needed for debris, brush and weed removal and tree trimming. The developer shall clean out all debris, dead limbs and trash from areas to be recorded as open space prior to acceptance into a Benefit Maintenance District.
- 6. Any open space included in a private development shall be subject to the approval of a vegetation management plan approved by the Fire Chief.
- 7. Each tract or phase shall provide two sources of water and two points of access unless otherwise determined by the Fire Chief and Public Works Director.
- 8. Provisions shall be made to update the Fire Department Run Book.

(Adopted by Planning Commission Resolution 94-038)

VICINITY MAP:



PROJECT SUMMARY:

DWELLING SUMMARY: FOUR DWELLING UNITS, THREE BEDROOMS PER UNIT.

PARKING:

LOTS 1 & 2: TWO SPACES IN GARAGE, TWO SPACES IN DRIVEWAY.
 LOTS 3 & 4: TWO SPACES IN GARAGE, ONE SPACE ADJACENT TO GARAGE.

FLOOD ZONE:

THIS PROJECT IS LOCATED IN A ZONE B FLOOD AREA. THIS DETERMINATION WAS MADE IN ACCORDANCE TO THE FEMA FLOOD REFERENCE MAPPING AVAILABLE AT THE CITY OF PASO ROBLES PUBLIC WORKS DEPARTMENT. PER THE FEMA REQUIREMENTS, THE FINISH FLOOR ELEVATIONS ARE TO BE A MINIMUM 12" ABOVE THE 100 YEAR MEAN FLOOD LEVEL. THE FLOOR ELEVATIONS ARE AT LEAST 12" HIGHER THAN THE HIGHEST ADJACENT VERTICAL ELEVATION FOR THIS COMPLIANCE REQUIREMENT.

LIGHTING:

ALL PROPOSED EXTERIOR LIGHTING SHALL BE LOW WATTAGE & FULLY SHIELDED.

LEGAL DESCRIPTION:

BEING A SUBDIVISION OF LOT 03 AND A PORTION OF LOT 02 IN BLOCK 177 AS SHOWN ON MAP FILED IN BOOK 08 AT PAGE 189 IN THE OFFICE OF THE COUNTY RECORDER IN THE CITY OF PASO ROBLES, COUNTY OF SAN LUIS OBISPO, CALIFORNIA.

BENCH MARK:

THE BASIS OF ELEVATIONS USED FOR THIS SURVEY IS THE TOP OF A 1-1/4" BRASS CAP IN MONUMENT WELL AT THE CENTERLINE INTERSECTION OF 23RD AND PARK STREETS; THAT ELEVATION BEING 99.13' (ASSUMED DATUM)

TRACT AREA = 0.289 ACRES

OWNER:

LEGACY PARK PARTNERS, LLC
 C/O SPINNAKER FINANCIAL
 115 GIBSON ROAD
 TEMPLETON, CA 93485

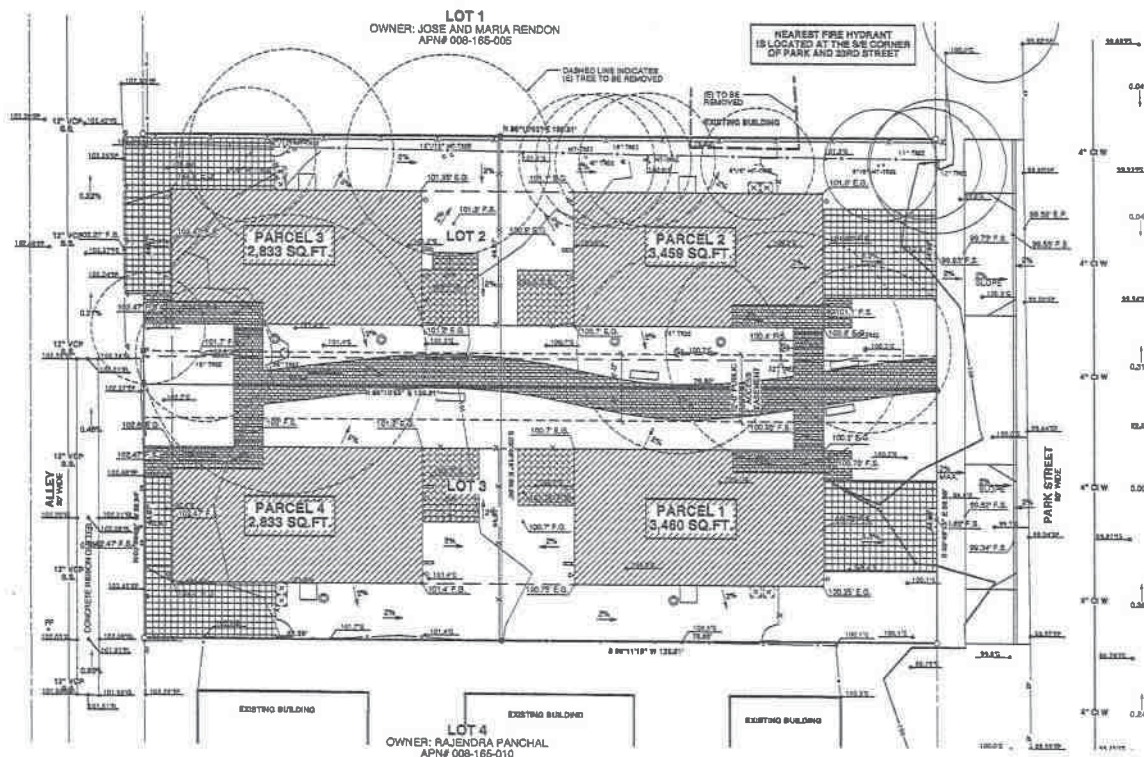


Exhibit C
Tentative Parcel Map
PR 06-0236
(Legacy Partners, LLC)



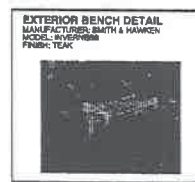
CRAIG R. SMITH ARCHITECT & ASSOCIATES			
CONSULTING ARCHITECT			
800 MONTEREY ST. SUITE D SAN LUIS OBISPO, CA 93401 TEL: 844.5290 FAX: NO. 832803			
APR 05 2016 10:00 AM			
PARK STREET PROJECT			
2225 PARK STREET			
DEPARTMENT OF PUBLIC WORKS CITY OF PASO ROBLES, CALIFORNIA			
SCALE: 1" = 10'-0"	DESIGNED BY: #460	ACCEPTED BY: DATE:	INSET NO:
DRAWN BY: MFL	CHECKED BY: ESB	CITY ENGINEER: PASO ROBLES, CALIF.	OF SHEETS
RECORD OWNER:			DRAWING NO:

SITE / UTILITY PLAN REFERENCE NOTES:

- 1 2" X 4" CEDAR WOOD FENCE
- 2 2" X 4" X 6" CEDAR WOOD GATE W/ LATCH
- 3 EXISTING TREE TO REMAIN
- 4 NEW BUCKED TREE
- 5 PULL BOXES FOR PUMP, TELEPHONE, AND CABLE T.V.
- 6 PROPOSED WATER METER - APPROXIMATE LOCATION, FIELD VERIFY
- 7 SLOSH OUT TO SHADE (TYP) W/ GAP - VERIFY ACTUAL LOCATION
- 8 TELEPHONE P.O.C. LOCATION
- 9 CATV P.O.C. / SPLICER BOX/VERIFY
- 10 20# AMP MAIN ELECTRICAL PANEL & METER
- 11 0.45 METER (W/ SHUT-OFF VALVE)
- 12 NEW 4" PVC SEWER LAY PER FOOT MINIMUM SLOPE MINIMUM DEPTH 2'-0" BELOW DRIVEWAY (WHERE OCCURRED, VERIFY DEPTH OF EXISTING LATERAL AND LOCATION OF UPHILL MAIN-HOLE LOCATION, MAY NEED TO BE RELOCATED)
- 13 4" WATER SERVICE BY APPROVED BACKFILL TRENCH FOR DOMESTIC POTABLE WATER AND LANDSCAPE IRRIGATION, VERIFY CONNECTION POINT AND EXISTING WATER METER LOCATION
- 14 CROSSLIT (LGA) & PIPE IN APPROVED BACKFILLED TRENCH, COORDINATE W/ UTILITY COMPANY
- 15 60 POWER POLE - VERIFY ACTUAL LOCATION WITH APPLICABLE UTILITY COMPANY
- 16 UTILITIES IN STREET - SHOWN HERE FOR REFERENCE ONLY
- 17 INDICATES STREET IMPROVEMENTS (COURN & OUTSIDE)
- 18 PUBLIC ACCESS BASEMENT
- 19 TRASH RECYCLING STORAGE AREA
- 20 EXTERIOR LIGHTING MANUFACTURER: TEKA ILLUMINATION MODEL: RICHIE FULL BUNDLE, NATURAL TREES OR EQUAL
- 21 LINES OF STRUCTURE ABOVE - REFER TO A-1-G FOR ADDITIONAL INFORMATION
- 22 CONCRETE STUOP ON PORCH @ EXTERIOR DOOR - SLOPE 2% MIN TO DRAIN AWAY FROM BUILDING LINE
- 23 PERMEABLE CONCRETE PAVERS FOR DRIVEWAY/PARKING, REFER TO PAVING LEGEND ON THIS SHEET
- 24 PERMEABLE CONCRETE PAVERS FOR PEDESTRIAN PATHWAY, REFER TO PAVING LEGEND ON THIS SHEET
- 25 CONCRETE PAVERS FOR PATIO, REFER TO PAVING LEGEND ON THIS SHEET
- 26 LINE OF BUILDING AREA / FOOTPRINT OF BUILDING
- 27 LINE OF LOT BOUNDARY
- 28 BENCH - REFER TO DETL. THIS SHEET
- 29 NEW SCORING PARAWAY PER CITY OF PASO ROBLES ENGINEERING DRAWING A-1-2
- 30 NEW DRIVEWAY APPROX PER CITY OF PASO ROBLES ENGINEERING DRAWING B-1-2
- 31 A/C COMPRESSION PAD - VERIFY POWER REQ. RE MFR.
- 32 STEEL SAFETY BOLLARDS FILLED W/ CONCRETE
- 33 CATCH BASIN FOR ROOF DRAINAGE
- 34 DASHED LINE INDICATES (S) TREE TO BE REMOVED
- 35 (S) BUILDING TO BE REMOVED

PAVING LEGEND SYMBOL

	CONCRETE PAVERS FOR PATIO, 10% V.O.D
	PERMEABLE PAVING (10% V.O.D, MINIMUM - DESIGNATION FOR PEDESTRIAN PATHWAY)
	PERMEABLE CONCRETE PAVERS FOR DRIVEWAY, 7% V.O.D



FLOOD ZONE

THIS PROJECT IS LOCATED IN A ZONE B FLOOD AREA. THIS DETERMINATION WAS MADE IN ACCORDANCE TO THE FEMA FLOOD REFERENCE MAPS AVAILABLE AT THE CITY OF PASO ROBLES PUBLIC WORKS DEPARTMENT. PER THE FEMA REQUIREMENTS, THE FINISH FLOOR ELEVATIONS ARE TO BE A MINIMUM 1' ABOVE THE 100 YEAR MEAN FLOOD LEVEL. THE FLOOR ELEVATIONS ARE AT LEAST 2' HIGHER THAN THE HIGHEST ADJACENT VERTICAL ELEVATION FOR THE COMPLIANCE REQUIREMENTS.

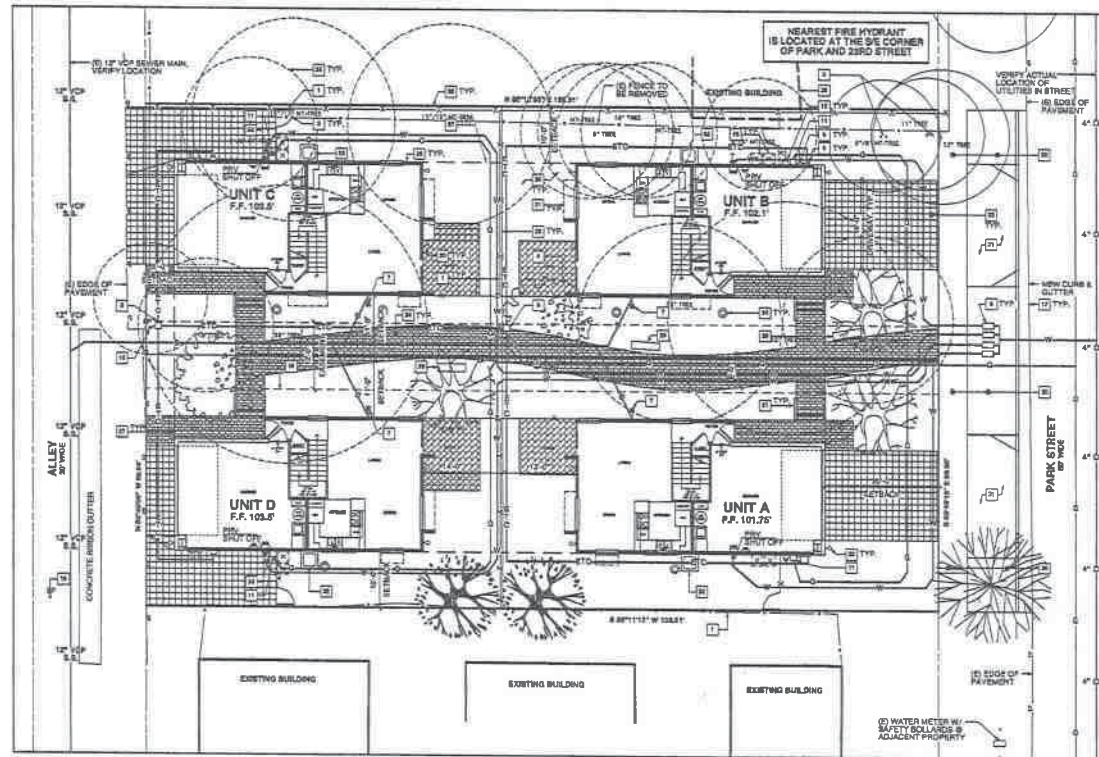
OAK TREES

THERE ARE NO EXISTING OAK TREES ON THIS SITE

PROJECT SUMMARY

DWELLING UNITS: FOUR DWELLING UNITS, THREE BEDROOMS PER UNIT.

PARKING: LOTS 1 & 2: TWO SPACES IN GARAGE, TWO SPACES IN DRIVEWAY
LOTS 3 & 4: TWO SPACES IN GARAGE, ONE SPACE ADJACENT TO GARAGE.



SITE GENERAL NOTES:

- 1. PROJECT IMPROVEMENTS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH CITY OF PASO ROBLES STANDARDS AND SPECIFICATIONS AND IN ACCORDANCE WITH ALL APPLICABLE CITY ORDINANCES, WHEREBY CITY STANDARDS OR SPECIFICATIONS EXIST, THE SHALL GOVERN. THE ORDINANCES OF THE CITY OF SAN LUIS OBISPO STANDARDS AND SPECIFICATIONS OF THE CITY ENGINEER SHALL BE FINAL REGARDING THE SPECIFIC STANDARDS THAT SHALL APPLY.
- 2. REVISIONS REQUIRED BY IMPROVEMENT SITE CONDITIONS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO EXECUTION.
- 3. PROVIDE PLANTING TO PROTECT DISTURBED UNPAVED SURFACES FROM EROSION, PROVIDE TEMPORARY EROSION CONTROL DURING CONSTRUCTION.
- 4. MINIMUM CONCRETE COMPRESSIVE STRENGTH SHALL BE 3,500 PSI AT 28 DAYS.
- 5. PRIOR TO EITHER ROOF HALL OR REMAINS INSPECTION A LICENSED SURVEYOR IS REQUIRED TO MEASURE THE HEIGHT OF THE STRUCTURE AND SUBMIT A LETTER TO THE BUILDING INSPECTOR, CERTIFYING THAT THE HEIGHT OF THE STRUCTURE IS IN ACCORDANCE WITH THE APPROVED PLANS AND COMPLY WITH THE HEIGHT REQUIREMENT OF THE CITY OF PASO ROBLES.
- 6. VERIFY LOCATION OF RESIDENCE, GARAGE AND ALL SITE IMPROVEMENTS PER PLAN, NOTIFY ARCHITECT WITH DIMENSIONED PLANS TO ANY CONSTRUCTION.
- 7. DRIVEWAYS SHALL BE LOCATED AND CONSTRUCTED PER CITY OF PASO ROBLES STANDARDS, DRIVEWAY FINISH SHOULD COMPLY WITH THE CITY OF PASO ROBLES STANDARDS FOR UPHILL/DOORWELL DRIVEWAYS.
- 8. IT IS THE OWNER'S RESPONSIBILITY TO VERIFY LOT LINES, PRIOR TO FOUNDATION INSPECTION, THE LOT CORNERS SHALL BE STAKED AND SETBACKS MARKED BY A LICENSED PROFESSIONAL.

UTILITY GENERAL NOTES

- 1. PROVIDE ACCESSIBLE SEWER LATERAL CLEANSOUT @ THE BUILDING AND COORDINATE WORK AFFECTING SITE UTILITIES WITH ALL LOCAL AGENCIES AND UTILITY COMPANY REPRESENTATIVES.
- 2. NO GAS PIPES SHALL BE INSTALLED OR ON THE GROUND, UNDER ANY REMAINS OR STRUCTURE. ALL EXPOSED GAS PIPING SHALL BE NEPT AT LEAST 24" HIGHER ABOVE GRADE OR STRUCTURE. UPC SECTION 12-1.3
- 3. PLACE NON-METALLIC SEWER LATERAL PIPES A MINIMUM OF THREE FEET BELOW SURFACE SUBJECT TO VEHICULAR TRAFFIC.
- 4. SLOPE SEWER LATERAL A MINIMUM OF 1/4" PER FOOT (3%) TOWARD POINT OF DISPOSAL. UPC SECTION 12-1.3
- 5. PROVIDE APPROVED BACKFLOW PREVENTION DEVICES AT HOSE BIBBS AND LAWN SPRINKLER SYSTEMS. UPC SECTION 12-1.3
- 6. SEWER BACK WATER VALVE REQUIRED ON THE SEWER LATERAL.
- 7. ALL ELECTRICAL TELECOMMUNICATION & OTHER UTILITIES SHALL BE INSTALLED UNDERGROUND IN AN APPROVED METHOD OF CONSTRUCTION, VERIFY LOCATIONS AND POINTS OF CONNECTIONS.
- 8. PROVIDE WATER PRESSURE REGULATOR AS REQUIRED - NO MAXIMUM VERIFY LOCATION OF PG&E, CATV, AND TELEPHONE UNDERGROUND SERVICE BOXES.
- 9. IF GAS METERS, ELECTRIC UTILITIES OR ANY PART OF THE FIRE PROTECTION WATER SYSTEM ARE SUBJECT TO VEHICULAR DAMAGE, IMPACT PROTECTION SHALL BE PROVIDED.

SITE AND UTILITY PLAN
SCALE: 1" = 10'

Exhibit D
Site and Utility Plan
PR 06-0236
(Legacy Partners, LLC)

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LEGACY PARTNERS, LLC
 2225 PARK STREET
 PASO ROBLES, CA 92348
 APR. 090-105-009

PARK ST. PROJECT
 2225 PARK STREET
 PASO ROBLES, CA 92348
 APR. 090-105-009

MEMBER
 THE ASSOCIATION OF ARCHITECTS
 1000 Montgomery Street, Suite 15, San Jose, CA 95128
 408-534-1300

SITE AND UTILITY PLAN

GRADING LEGEND:

007	EXISTING TOPOGRAPHICAL CONTOUR	P.L.	FLOW LINE
0007	FINISH TOPOGRAPHICAL CONTOUR	PAO	TOP OF GRADED PAD (N/A)
	FINISH SPOT GRADE ELEVATION	P.D.C.	POINT OF CONNECTION
	FINISH FLOOR		SITE RETAINING WALL
F.F.	FINISH SURFACE		CONTINUATION OF WALL (MIN. 1.2%)
F.A.	FINISH GRADE		PVC U.S. DRAIN LINE @ 1.2% SLOPE
S.S.	EXISTING GRADE		4" @ 90° P.V.C. DRAIN LINE @ 2% SLOPE
T.O.C.	TOP OF CURB		RIP-RAP @ D.LINE DAYLITE
T.O.FTG.	TOP OF FOOTING		
T.O.G.	TOP OF GRADE		
T.O.CONC.	TOP OF CONCRETE		
T.O.R.	TOP OF RAIL		
T.O.W.	TOP OF WALL		

NOTE:

1. THE FINISH GRADE OF THE TOP OF A 4" P.V.C. DRAIN PIPE SHALL BE MAINTAINED WITH THE CENTERLINE OF THE CONSTRUCTION OF THE WALL AND SHALL BE WITH AN ASSUMED ELEVATION OF 88.13.
2. VERIFY ACTUAL FINISH FLOOR ELEVATION TO DRAIN, PERMITAL PRIOR TO SETTING FINISH FLOOR ELEVATION.
3. VERIFY EXISTING GRADE, NOTIFY ARCHITECT'S OFFICE OF ANY DISCREPANCIES.
4. USE FINISH COOL MEMBRANE EQUALITY THICKNESS AT 1" MINIMUM. APPLY FOR ALL AREAS @ ALL SECTION EQUAL CALLS OF CONCRETE EXTERIOR SURFACES-TYP.
5. ALL RAIN LEADERS SHALL CONNECT TO A P.V.C. UNDERGROUND DRAIN LINE. DRAIN LINE SHALL DRAIN TO AN APPROVED DRAINABLE SINK AND DRAINAGE STRUCTURE OR DRAIN TO STREET WHICH SHALL DRAIN TO THE PUBLIC RIGHT-OF-WAY.
6. REFER TO SHEET 05-1 FOR SOLE REPORT NOTES.
7. SLOPES OF ALL CUT SURFACES SHALL BE LESS THAN (2) : 1 HORIZONTAL TO 1 VERTICAL.
8. SLOPES OF ALL FILL SURFACES TO NOT EXCEED (2) : 1 HORIZONTAL TO 1 VERTICAL.

NOTE:

1. SEE CIVIL ENGINEER TO DETERMINE GRADING PERFORMED IS IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED AND IS SUITABLE TO SUPPORT THE INTENDED STRUCTURE.
2. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH SOLE REPORT AND SHALL BE SUPERVISED BY A REGISTERED CIVIL ENGINEER. THE FINISH FLOOR ELEVATIONS ARE TO BE A MINIMUM 1" ABOVE THE 100 YEAR MEAN FLOOD LEVEL. THE FLOOR ELEVATIONS ARE AT LEAST 1' HIGHER THAN THE HIGHEST ADJACENT VERTICAL ELEVATION FOR THE COMPLIANCE REQUIREMENT.

SITE DISTURBANCE
(including hatching & fill work)

N/A

CUT AND FILL CALCULATION
FOR PERMIT SUBMISSION ONLY

CUT: NONE
FILL: NONE

DEPTH OF CUT AND FILL

CUT: MIN. 1 FOOT MAX. 4 FEET
FILL: MIN. 1 FOOT MAX. 4 FEET

FLOOD ZONE

THIS PROPERTY IS LOCATED IN A FLOOD ZONE. THIS DETERMINATION WAS MADE IN ACCORDANCE TO THE FEMA FLOOD REFERENCE MAPS AVAILABLE AT THE CITY OF PALO ALTO PUBLIC WORKS DEPARTMENT. FOR THE FEMA REQUIREMENTS, THE FINISH FLOOR ELEVATIONS ARE TO BE A MINIMUM 1" ABOVE THE 100 YEAR MEAN FLOOD LEVEL. THE FLOOR ELEVATIONS ARE AT LEAST 1' HIGHER THAN THE HIGHEST ADJACENT VERTICAL ELEVATION FOR THE COMPLIANCE REQUIREMENT.

OAK TREES

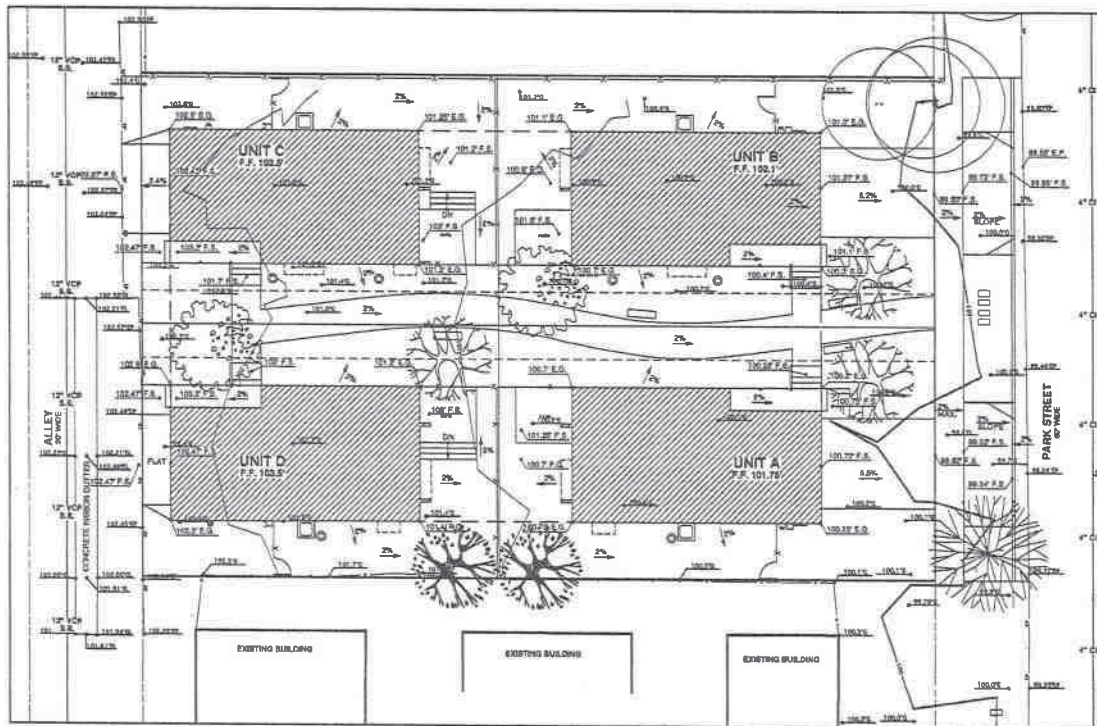
THERE ARE NO EXISTING OAK TREES ON THIS SITE

PROJECT SUMMARY

DWELLING UNITS: FOUR DWELLING UNITS, THREE BEDROOMS PER UNIT.
PARKING:
LOTS 1 & 2: TWO SPACES IN GARAGE, TWO SPACES IN DRIVEWAY.
LOTS 3 & 4: TWO SPACES IN GARAGE, ONE SPACE ADJACENT TO GARAGE.

GRADING NOTES:

1. MAX. SLOPE @ 2:1 AT ALL CUT AND FILL AREAS.
2. NO GRADING SHALL BE DONE WITHIN 2' OF PROPERTY LINES.
3. A MINIMUM 2% DRAINAGE FOR 2" MINIMUM AWAY FROM THE BUILDING FOUNDATION IS REQUIRED AND SHALL DRAIN TOWARD A PUBLIC STREET OR ENGINEERED DRAINAGE STRUCTURE. OVERLAND DRAINAGE SHALL BE AT 2% SLOPE, 1% MIN FROM APPROVAL FROM THE COUNTY ENGINEER.
4. GRADING SHALL CONFORM TO ALL CITY OF PALO ALTO ORDINANCES, CHAPTER 18, AND APPENDIX A33 OF THE U.L.D.
5. WORK IN THE PUBLIC WAY REQUIRES AN "ENCROACHMENT PERMIT" FROM THE PUBLIC WORKS DEPARTMENT.
6. SIDEYARD IMPROVEMENTS SHALL NOT OBSTRUCT DRAINAGE.
7. ALL EXCESS MATERIAL FROM GRADING OPERATIONS SHALL BE DISPOSED OF OUTSIDE THE CITY LIMITS IN AN ACCEPTABLE LOCATION OR A PERMITTED ESTABLISHED LOCATION OF THE DISPOSAL SITE WITHIN THE CITY LIMITS SHALL BE SUBMITTED.
8. CONCENTRATED DRAINAGE SHALL NOT DRAIN OVER SIDEYARD.
9. AS REQUIRED, PROVIDE MINIMUM 1" UNDER FLOOR CLEARANCE TO GRADE AT FLOOR JOISTS AND MAX. 12" UNDER FLOOR CLEARANCE TO GRADE AT FOUNDATION. REFER TO FOUNDATION DETAILS.
10. IN THE EVENT OF ENCOUNTERING ANY SUBSURFACE ARCHAEOLGICAL MATERIALS, ALL WORK MUST CEASE. CONTACT ARCHITECT & COUNTY PLANNING DEPARTMENT IMMEDIATELY.
11. CONSTRUCTION & GRADING ACTIVITIES SHALL BE LIMITED TO 7:00 AM - 5:00 PM MONDAY-FRIDAY.
12. GRADING EXPORT DISPOSAL SITE SHALL BE IDENTIFIED & ALL APPROVALS OBTAINED PRIOR TO FINAL MAP RECOORDINATION.
13. PROVIDE 6" LEVEL AREA, BEYOND BOARD, OR WALL BETWEEN BACK OF SIDEYARD AND PLANTING AREAS.
14. REFORCED DRAINS AT REAR OF RETAINING WALLS SHALL BE TIED INTO SITE DRAINAGE SYSTEM DOWN ON THIS SHEET.
15. ALL DRAINS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE SPECIFICATIONS OF THE SOLE REPORT AND SHALL BE PREPARED BY RUBEN GEOTECHNICAL SERVICES, LLC AVAILABLE FOR REVIEW AT THE ARCHITECT'S OFFICE.
16. DURING GRADING OPERATIONS THE OBSERVATION AND TESTING RECOMMENDATIONS OF THE SOLE REPORT SHALL BE CONDUCTED, OR ANOTHER QUALIFIED GEOTECHNICAL ENGINEER FIRM APPROVED IN ADVANCE BY THE OWNERS AND ARCHITECT.
17. THE EXISTING TOPSOIL SHALL BE REMOVED FROM THE AREA TO BE GRADED, STOCKPILED SEPARATELY AND PROTECTED FROM EROSION TO BE RETURNED TO THE EXPOSED CUT & FILL AREAS OUTSIDE THE BUILDING PAD AT THE END OF GRADING OPERATIONS. THE CLEANING OF CUTS THE VEGETATION SHALL BE CONFINED TO THOSE AREAS DESIGNATED BY THESE DRAWINGS AS COVERED BY MULCHING ELEMENTS, CUT OR FILL SLOPES, OR NEW LANDSCAPING INSTALLATIONS.
18. WHERE FILL IS TO BE PLACED ON AREAS THAT SLOPE MORE THAN 10% HORIZONTAL, BENCHES SHALL BE CUT AND THE REMAINING SURFACE SHALL BE FINISHED AND FILLED BY ACCORDANCE WITH THE SOLE REPORT.
19. THE CONTOURS AND SHAPES OF FINISHED SURFACES SHALL BE SMOOTH WITH ADJACENT NATURAL TERRAIN TO ACHIEVE A NATURAL APPEARANCE WITH SMOOTH TRANSITIONS.
20. DURING GRADING AND UNTIL LANDSCAPING IS ESTABLISHED, CUTS SHALL BE CONTROLLED WITH MOISTURE SOIL WHICH IS TRACKED OR SPILLED ON PUBLIC TO ADJACENT STREETS SHALL BE CLEANED ON THE SAME DAY TO THE SATISFACTION OF THE CITY PUBLIC WORKS DEPARTMENT.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY AND NO PERSON SHALL ELEVATE OR SUPPORT VEHICLES TO THE PROPERTY OF THE ADJACENT PUBLIC STREET, SIDEYARD, ALLEY OR OTHER PRIVATE OR PUBLIC WAY WITHOUT SUPERVISING AND PROTECTING SLOPES FROM SETTLING, CRACKING, OR OTHER DAMAGE WHICH MIGHT RESULT. THE CONTRACTOR SHALL REPAIR OR REPAIR TO THEIR ORIGINAL CONDITION, EXISTING IMPROVEMENTS AND DESIGNATED FOR REMOVAL WHICH ARE DAMAGED AS A RESULT OF HIS OPERATIONS.
22. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE PROJECT AFFECTING THE SAFETY OF ALL PERSONS ON OR ABOUT THE SITE, INCLUDING APPLICABLE PROVISIONS OF CALIF. & THE COUNTY HEALTH DEPARTMENT.
23. THE FACES OF CUT AND FILL SLOPES SHALL BE PREPARED AND MAINTAINED TO CONTROL AGAINST EROSION AS INDICATED IN THE EROSION AND SEDIMENTATION CONTROL DRAWINGS AND NOTES HEREON.
24. PRIOR TO THE START OF ANY BUILDING CONSTRUCTION, THE CONTRACTOR SHALL FURNISH THE CITY WITH CERTIFICATION FROM THE SOLE ENGINEER OF RECORD THAT BUILDING SUBMITTALS ARE WITHIN COMPLIANCE OF THE APPROVED PLANS AND THAT THE CONTRACTOR AND PROFESSIONAL ENGINEER HAVE BEEN OBTAINED. PROGRAM COMPLETION SHALL ALSO BE CERTIFIED BY THE SOLE ENGINEER FOR UTILITY FACILITIES.
25. A CERTIFICATION OF COMPLIANCE WITH THE APPROVED GRADING PLANS SHALL BE SUBMITTED TO THE SEASONS DIVISION BY THE CONTRACTOR PRIOR TO FINAL APPROVAL OF THE PROJECT FOR OCCUPANCY.
26. NO ADJUSTMENT OF ELEVATION SHALL BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE BUILDING OFFICIAL AND THE ARCHITECT.
27. RUNOFF EROSION AND SEDIMENT CONTROL MEASURES SHALL BE APPLIED TO ALL SLOPES IN EXCESS OF 10% ACCORDING TO THE EROSION AND SEDIMENTATION CONTROL DRAWINGS AND NOTES HEREON.
28. ALL SLOPES EXCESSIVE PER PERMIT AND EXCESSIVE 4:1 SLOPES SHALL BE PLANTED WITH APPROVED PLANTING MATERIALS TO PREVENT EROSION. A WATERWAY SYSTEM SHALL BE PROVIDED AS DESCRIBED IN THE LANDSCAPE DRAWINGS.
29. EROSION OF GROUND IN THE AREA OF DRAINAGE DISCHARGE SHALL BE PREVENTED BY THE INSTALLATION OF NON-EROSIVE DOWN DRAINS OR OTHER DEVICES.



GRADING PLAN
SCALE: 1" = 10'

Exhibit E
Grading Plan
PR 06-0236
(Legacy Partners, LLC)

006-144-006

TRIGSOUTH
A SERVICE
OF TRIGSOUTH

1000 Montgomery Street, Suite 170, San Jose, California 95128

MCMENEM
CITY ENGINEER
CITY OF PALO ALTO

CITY OF PALO ALTO
PLANNING DEPARTMENT
1000 Montgomery Street, Suite 170, San Jose, California 95128

APR 11 2006

PARK ST. PROJECT
1830 PARK STREET
PALO ALTO, CA 94306
APN: 008-165-009

LEGACY PARTNERS, LLC
AS SPONSORING PARTIAL
CITY ENGINEER
TEMPLETON, CA 95865

GRADING PLAN

20 OCT 08
00824
C-2.0

© 2006

LANDSCAPE LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME
	TREES	
	QUERCUS LOBATA	CALIFORNIA WHITE OAK
	PROPIUS PUBESCENS	SCREWBEAN MESQUITE
	CHLOPSIS LINEARIS	DESERT WILLOW
	ABUTILUS MENZIESII	MACRONE
	SHRUBS	
	ARCUTATA PHYLLIS EDWARDSII	BIG BLUR MANZANITA
	ERIODONUM ARCHEBISHOPII	BLACKHEAT
	AGAVE DESERTI ENGELM.	DESERT AGAVE
	CRISTUS LADANIFER	CRIMSON SPOT ROCKYCRESS
	FEUTICIA CNEORIS SELMA BLUE	SELMAN BLUE
	CRISTUS SUNSET	ROCK ROSE
	THIS PLANTING INCLUDES NATIVE DROUGHT TOLERANT BOUNDING GROUND COVERS, SMALL SHRUBS, FLOWERS, AND GRASSES, ALL OF WHICH ARE IN THE HEIGHT RANGE OF 3'-4', SUCH AS:	
	SPHONCTYON CALIFORNICUM	YERBA SANTA
	ACHILLEA MILLEFOLIUM CALIFORNICA	YARROW
	GROUND COVERS	
	ROSMARINUS OFFICINALIS PINE	TRAILING ROSEMARY/ GROUND COVER
	THYMUS SERPYLLUM	ORISPEM THYME/ GROUND COVER
	WILDFLOWERS	
	ELYMIUS TRITICOIDES	ALKALI RYE
	ESCHOLZIA CALIFORNICA	CALIFORNIA POPPIES
	LUPINUS LLEDYONIANUS	LUPIN
	PLATYSTICHON CALIFORNICUS	CREAM CURPS
	SALVIA COLUMBARIAS	CHA
	MONARDELLA BREWERI	MUSTARD WIRT
	DOODECATHEON CLEVELANDI	SHOOTING STAR
	VIOLA PEDUNCULATA	VIOLET
	LANTHERNA GLABRATA	GOLDFIELDS
	BAEPIA CHRYSOTRITON	COAST GOLDFIELDS
	DIAMANTIS GLABRILIBULLA	PINCHURCH FLOWER
	DECORATIVE ROCKS	

WATER CONSERVATION STATEMENT:
NATIVE PLANTING WITH LOW WATER REQUIREMENTS SHALL BE USED IN ALL NEW PARKWAY AND PATHWAY PLANTING AREAS. PLANTINGS SHALL BE SPECIFIED TO THE APPROPRIATE HEIGHT NECESSARY TO SUSTAIN PLANT LIFE. Drip irrigation shall be used to irrigate the summer this plan.

DESERT BIRCH:
ALL PARKWAY AND PATHWAY PLANTINGS SHALL BE OF NATIVE PLANT MATERIAL. PLANT MATERIAL WHO SELECTED OF SIZE, IN PALM TREES FOR USE. PLANTING ENVIRONMENT ACCORDING TO THE SUNSET WESTERN GARDEN BOOK PLANTING ZONE.

THE CALIFORNIA WHITE OAK STREET TREES WILL PROVIDE SHADE ONCE ESTABLISHED WHILE KEEPING WITH THE NATIVE PLANT PALETTE.

ALL PLANTED AREAS WILL BE COVERED WITH BARK MULCH FOR WATER CONSERVATION AND WEED SUPPRESSION. MULCH SHALL BE A MINIMUM 2" THICK IN SHRUB AREAS AND 1" THICK IN FLATTENED GROUND COVER AREAS.

NOTES:
IF PHOTOVOLTAIC PANELS AND DOMESTIC SOLAR HOT WATER COLLECTORS ARE USED THE TREE SELECTIONS SHALL BE MODIFIED TO LIMIT THE GROWTH HEIGHT TO LIMIT SHADING OF THOSE SYSTEMS.

PAVING LEGEND

SYMBOL	DESCRIPTION
	CONCRETE PAVERS FOR PATIO, 10% VOID
	PERMEABLE PAVING (10% VOID, 80% SAND - DESIGNATION FOR PEDESTRIAN PATHWAYS)
	PERMEABLE CONCRETE PAVERS FOR DRIVEWAY, 7% VOID

FLOOD ZONE

THIS PROJECT IS LOCATED IN A ZONE B FLOOD AREA. THIS DETERMINATION WAS MADE IN ACCORDANCE TO THE FEMA FLOOD DEFENSE MAPS AVAILABLE AT THE CITY OF PASO ROBLES PUBLIC WORKS DEPARTMENT. PER THE FEMA REQUIREMENTS THE FLOOD PLAIN ELEVATIONS ARE TO BE A MINIMUM 1' ABOVE THE 100 YEAR MEAN FLOOD LEVEL. THE FLOOD ELEVATIONS ARE AT LEAST 1' ABOVE THAT THE HEIGHT INCLUDING VERTICAL ELEVATION FOR THE COMPLIANCE REQUIREMENTS.

OAK TREES

THERE ARE NO EXISTING OAK TREES ON THIS SITE.

PROJECT SUMMARY

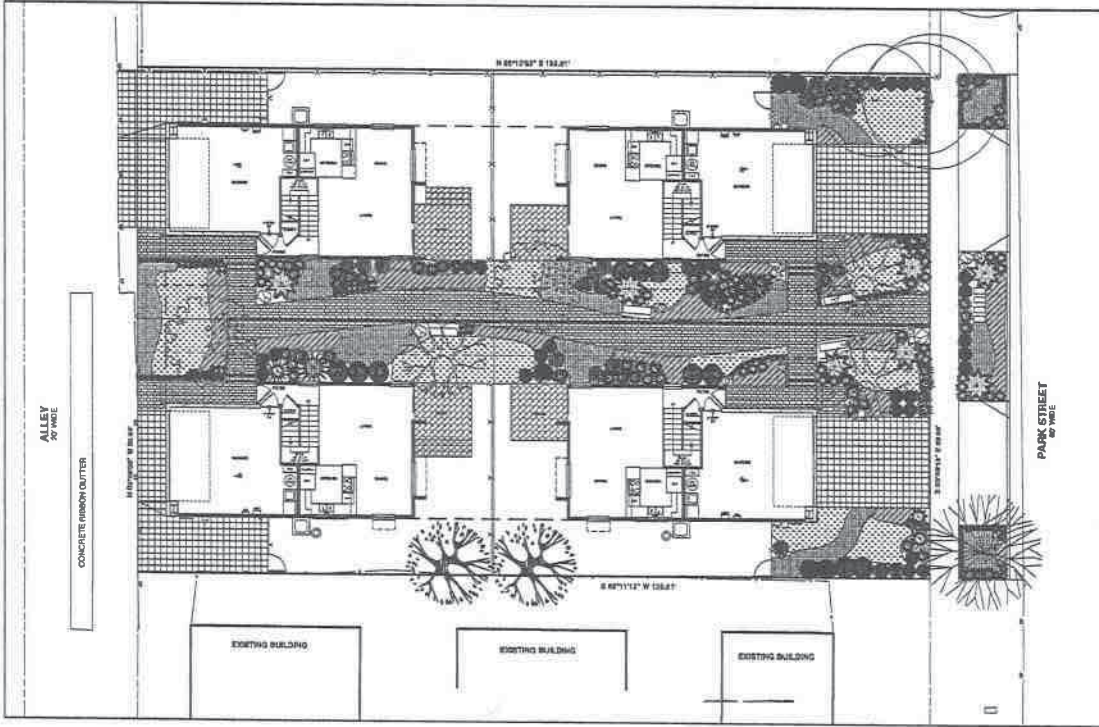
DWELLING UNITS: FOUR DWELLING UNITS, THREE BEDROOMS PER UNIT.
PARKING: LOTS 1 & 2: TWO SPACES IN GARAGE, TWO SPACES IN DRIVEWAY. LOTS 3 & 4: TWO SPACES IN GARAGE, ONE SPACE ADJACENT TO GARAGE.

GENERAL LANDSCAPE NOTES

1. ALL LANDSCAPE PLANTING IS TO BE AUTOMATICALLY IRRIGATED USING AUTOMATIC TRINKERS.
2. ALL PLANT MATERIAL SHALL BE CONSISTENT WITH NURSERY STANDARDS.
3. THE LANDSCAPE DESIGN IS PLANNED TO CREATE EROSION CONTROL, LIMIT RUNOFF, AND CONSERVE WATER.
4. THE LANDSCAPE DESIGN IS INTENDED TO CREATE A BUFFER BETWEEN PEDESTRIAN WALKWAYS AND THE PROPOSED STRUCTURES, PROVIDE COMMON COMMON AREAS FOR EACH TENANT TO USE, AND TO CREATE A NATURAL CALIFORNIA LANDSCAPE.
5. OTHER THAN OCCURRENCES OF SLOPE STABILIZATION, EROSION CONTROL NEAR YARD LANDSCAPING SHALL BE BY TENANT, TYP. OF ALL UNITS.
6. LOW LEVEL LANDSCAPE LIGHTING SHALL BE PROVIDED ALONG THE PEDESTRIAN WALKWAYS TO CREATE A SAFE ROUTE OF TRAVEL FROM THE FRONT OF THE PROPERTY TO THE REAR UNITS.

IRRIGATION NOTES

1. ALL LANDSCAPE PLANTING IS TO BE AUTOMATICALLY IRRIGATED PER THE FOLLOWING CRITERIA:
 - A. EACH LOT/UNIT COMMON AREAS ARE TO BE INDEPENDENTLY IRRIGATED WITH ITS OWN DEDICATED CONTROL, LIMIT RUNOFF, AND TRICKLELOCK.
 - B. EACH LOT/UNIT IRRIGATION SYSTEM IS TO BE ZONED FOR EFFICIENT IRRIGATION PLACEMENT & SPREAD, SO AS TO PROVIDE AS EFFICIENT AND MINIMAL WATERING DESIGN AS POSSIBLE.
 - C. ALL IRRIGATION IS TO BE DRIP OR BELLOW GRADE BATTED WITH WATER CONSERVING LOCATION & CONTROLLED DESIGN.
 - D. ALL IRRIGATION IS TO BE AUTOMATIC AND INSTALLED WITH CONTROLLER FOR WATER ADJUSTMENT, ZONATION & ZONING. A SOIL MOISTURE AND IRRIGATION SENSING DETECTOR SYSTEM IS RECOMMENDED.
2. ALL IRRIGATION DESIGN IS TO FOLLOW THE CITY OF PASO ROBLES WATER CONSERVATION GUIDELINES AND WATER USE POLICY.
3. ALL IRRIGATION DESIGN SHALL BE PREPARED BY THE ARCHITECT & CITY OF PASO ROBLES PLANNING DEPARTMENT FOR APPROVAL, PRIOR TO INSTALLATION.



LANDSCAPE PLAN
SCALE: 1" = 10'

Exhibit F
Landscape Plan
PR 06-0236
(Legacy Partners, LLC)

© 2006

800 Westwood Street, Suite 15, San Jose, CA 95128
PH: 408-444-0000

TRAVIS
ARCHITECT
A S T A R T E D 1 9 7 8

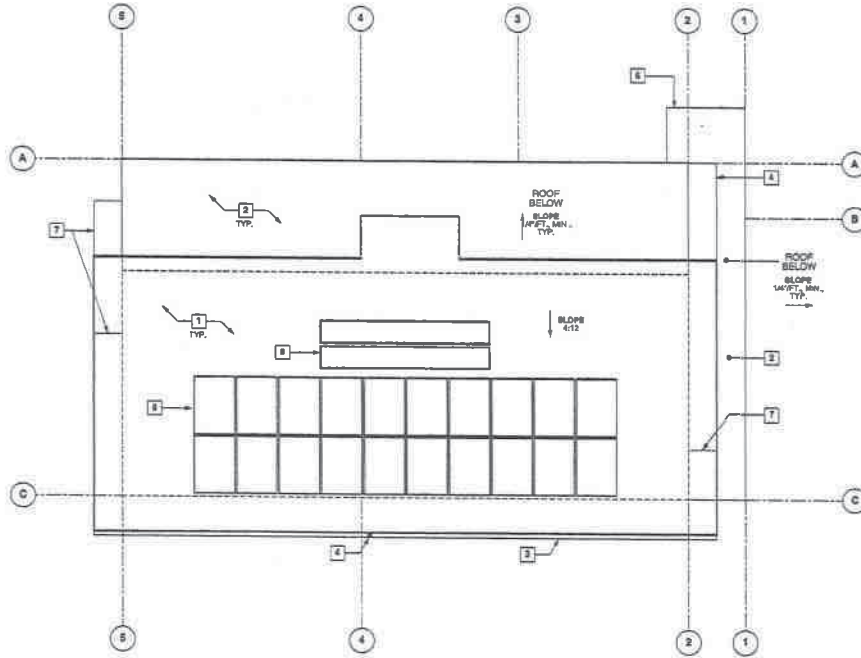
MEMBER
AIA
AIA 100000000
AIA 100000000
AIA 100000000

PARK ST. PROJECT
2225 PARK STREET
PASO ROBLES, CA 92446
ALPH: 000-165-000

LEGACY PARTNERS, LLC
600 BRIDGESIDE BLVD
TEMPLETON, CA 92465

LANDSCAPE PLAN

20 OCT 08
00924
L-1.0



ROOF PLAN
SCALE: 1/4" = 1'-0"

Exhibit H
Unit A Roof Plan
PR 06-0236
(Legacy Partners, LLC)

© 2006

<p>CRIG & WHITE ARCHITECTS, INC.</p> <p>188 Montgomery Street, Suite 17, San Luis Obispo, CA 93401 805-544-9799</p>
<p>MEMBER CALIFORNIA REGISTERED ARCHITECTS</p>
<p>PARK ST. PROJECT 2228 PARK STREET PASO ROBLES, CA 93446 APN: 006-165-009</p>
<p>LEGACY PARTNERS, LLC LEGACY PARTNERS PARTNERSHIP TEMALETON, CA 94655</p>
<p>ROOF PLAN UNIT A</p>
<p>20 OCT 06</p>
<p>00824</p>
<p>A-7.0</p>

EXTERIOR ELEVATIONS REFERENCE NOTES:

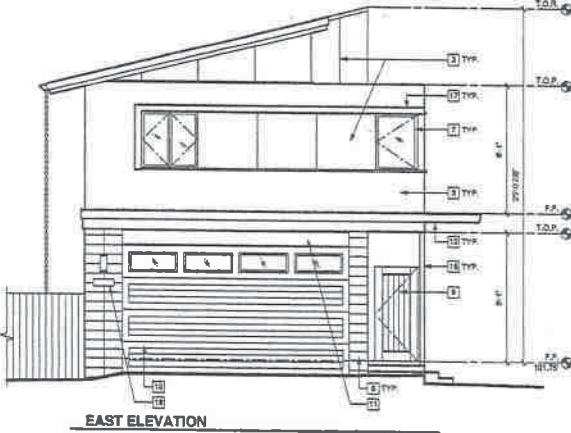
- 1 ASPHALT COMPOSITION ROOFING - REFER TO ROOF PLAN FOR SPECIFICATION
- 2 1/2" HARBRA EXTERIOR STUCCO
- 3 JAMBS HARDBE FIBER-CEMENT SMOOTH SIDING - 08 PANELS WITH GALVANIZED REGLET TRIM
- 4 JAMBS HARDBE FIBER-CEMENT SMOOTH LAP SIDING - 8" EXPOSURE
- 5 JAMBS HARDBE FIBER-CEMENT SMOOTH TRIM
- 6 STACHED BOND CONCRETE BLOCK
- 7 MILBARD ALUMINUM FRAME WINDOW - ANODIZED
- 8 MILBARD ALUMINUM FRAME SLIDING DOOR - ANODIZED
- 9 SOLID WOOD DOOR - SEAL CLEAR
- 10 PREFABRICATED WOOD SECTIONAL GARAGE DOOR
- 11 EXPOSED STEEL BEAM, PAINTED
- 12 WOOD FACIA BOARD, PAINT
- 13 METAL FLASHING, PAINT
- 14 METAL GUTTER, PAINT
- 15 RAINCUP CHAIN DOWNSPOUT
- 16 PAINTED TUBE STEEL COLUMN, PER PLAN
- 17 METAL CLAD BUNGHADE
- 18 DECORATIVE WALL SCIENCE, TEKA, ARCADE FULL SHIELD, NATURAL FINISH, OR EQUAL
- 19 HOUSEHOLD FINISHES TO COMPLY WITH CITY STANDARDS & NOTE #8 OF EXT. ELEVATION GENERAL NOTES
- 20 CLOTHES DRYER VENT, MIN. 3" CLEAR FROM OPERABLE WINDOW OR DOOR
- 21 1/2" OGDAR WOOD FENCE
- 22 EXISTING GRADE
- 23 FINISH GRADE
- 24 CONCRETE PAVEMENT - REFER BMT, D-1.6 FOR ADD. INFO.
- 25 VERIFY METER LOCATIONS WITH UTILITY COMPANIES
- 26 PROPOSED PHOTOVOLTAIC PANELS
- 27 PROPOSED DOMESTIC SOLAR HOT WATER COLLECTORS
- 28 CATCH BASIN FOR ROOF DRAINAGE
- 29 PROPOSED LOCATION FOR AC COMPRESSOR, VERIFY POWER REQUIREMENTS WITH MANUFACTURER

EXTERIOR FINISHES:

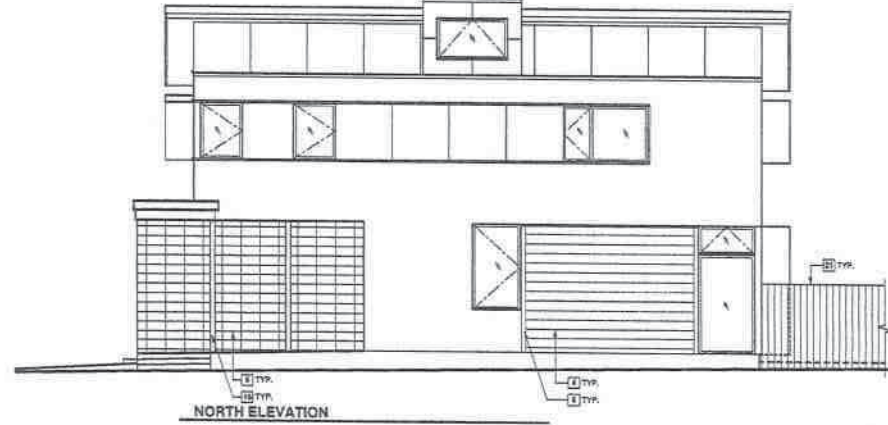
- EDGE MATERIAL:**
- 1 ASPHALT COMPOSITION ROOFING, REFER TO A-1.6 FOR SPEC.
 - 2 STUCCO: REFER TO COLORBOARD
 - 3 SIDING:
 - 4 HARBRA EXTERIOR STUCCO
 - 5 TYP/COLOR: REFER TO COLORBOARD
 - 6 CONCRETE BLOCK:
 - 7 HARBRA EXTERIOR STUCCO
 - 8 TYP/COLOR: REFER TO COLORBOARD
 - 9 SIDING:
 - 10 HARBRA EXTERIOR STUCCO
 - 11 TYP/COLOR: REFER TO COLORBOARD

EXTERIOR ELEVATIONS GENERAL NOTES:

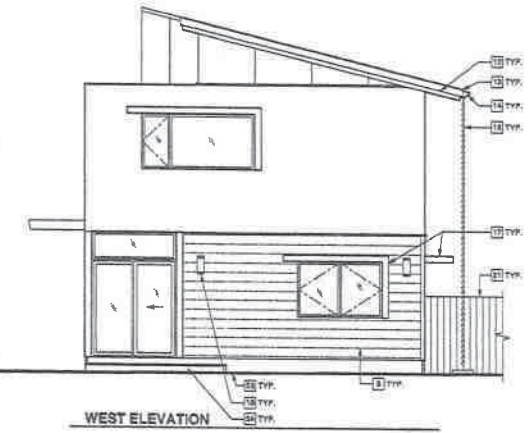
- 1 EXTERIOR FINISHES AND COLOR SHALL BE VERIFIED WITH THE OWNER PRIOR TO APPLICATION, WHETHER SPECIFIED ON THE PLANS OR NOT.
- 2 FLASHING: PROVIDE FLASHING AND COUNTER FLASHING PER U.S.C. 715 AT CHIMNEYS, PARAPETS, SLOTTED LANDINGS, EXTERIOR STAIRWAYS, ROOF TO WALL INTERSECTIONS, AND ALL OTHER VERTICAL TO HORIZONTAL INTERSECTIONS. PROVIDE A WEATHER AND WATER TIGHT JOBS. FLASHING AND COUNTER FLASHING SHALL BE MIN. 28 GA. GALV. METAL. FLASH ALL DRAIN METAL MATERIAL TO MATCH ADJACENT MATERIAL, USE AT ROOF PENETRATIONS, LOOSESE ETC.
- 3 LATH AND PLASTER: EXTERIOR PLASTER TO COMPLY WITH U.S.C. AND SHALL CONSIST OF A BASE COAT, COAT FINISH, BROWN COAT, AND A FINISHER COAT. PROVIDE FULLY EXTERIOR CORNER BEADS AND EXTERIOR CORNER REINFORCING. REFER TO STUCCO SECTION BELOW.
- 4 A WEEP SCREED SHALL BE INSTALLED AT THE BASE OF ALL EXTERIOR PLASTER WALLS TO ALLOW TRAPPED MOISTURE TO DRAIN. SCREED SHALL BE MIN. 1/2" GALV. METAL WITH 3/4" PL. MOUNTING FLANGE. SCREED SHALL BE MIN. 4" HIGH ABOVE GRADE AND A MIN. 1/4" ABOVE FINISH.
- 5 PROVIDE TWO LAYERS OF GRADE 0 PAPER BEHIND EXTERIOR PLASTER THROUGH TO COVER OVER (WOOD SHIMMER PANELS) AS A WEATHER RESISTIVE BARRIER PER U.S.C. 715.6.
- 6 PROVIDE MIN. 1/8" BUILDING PAPER BEHIND WOOD SIDING AS A WEATHER RESISTIVE BARRIER PER U.S.C.
- 7 ALL EXTERIOR SIDING SHALL BE MIN. 3/4" UNLESS OTHERWISE SHOWN. ALL SIDING JOINTS SHALL BE CENTERED OVER FRAMING MEMBERS WITH CONTRAST WOOD BUTTS OR JOINTS SHALL BE WATERPROOFED. ALL SIDING WITH DRAIN NAILS.
- 8 GUTTER AND DOWNSPOUTS SHALL BE INSTALLED ON ALL ROOF AREAS U.S.C.
- 9 ADDRESS NUMBERS, MIN. 4" HIGH SHALL BE MOUNTED ON THE BUILDING, PLANS 7" MIN. FROM THE STREET FROM THE BUILDING. NUMBERS SHALL BE LARGER IF REQUIRED BY THE BUILDING DEPARTMENT. REFER TO ELEVATION FOR LOCATION AND SIZE.



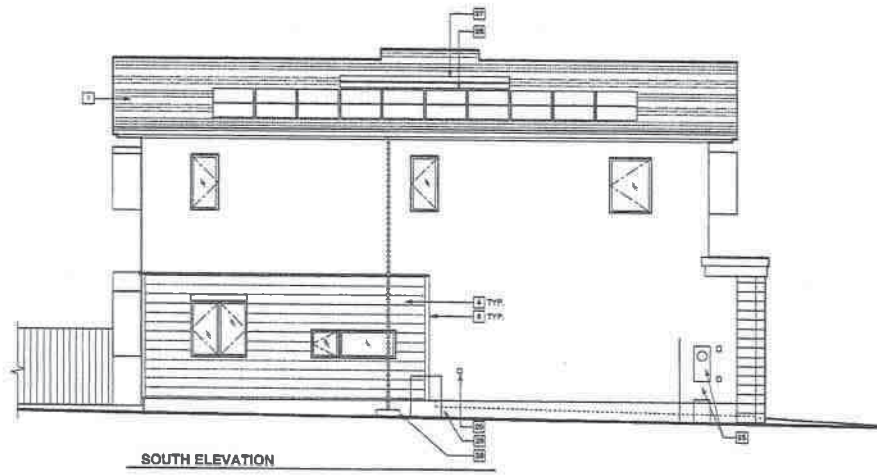
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"

Exhibit I
Unit A Exterior Elevations
PR 06-0236
(Legacy Partners, LLC)

Agenda Item No. 1 Page 25 of 38

880 Monterey Street, Suite 111, San Jose, CA 95110 408.949.0199

CRICCA
ARCHITECT
A
LLI C
LLC

LEGACY PARTNERS, LLC
2225 PARK STREET
PALO ALTO, CA 94303
APN: 006-185-009

EXTERIOR ELEVATIONS
UNIT A

20 OCT 08
00624
A-9.0

© 2008

WALL LEGEND

- 2x4 INTERIOR FRAMING @ 16" O.C.
- 2x6 ALL EXTERIOR FRAMING/PLUMBING WALLS @ 16" O.C.
- 2x4 FRAMING - PARTIAL HEIGHT WALL
- ONE-HOUR RATED WALL
- 8" CONCRETE BLOCK WALL
- DETAIL NUMBER
- SHEET NUMBER
- WINDOW SYMBOL LETTER, REFER TO WINDOW SCHEDULE, SHEET A-3.2
- DOOR NUMBER, REFER TO DOOR SCHEDULE, SHEET A-3.2
- DESIGNATES THE ELEVATION INTERIOR OR EXTERIOR OF SECTION
- SHEET NUMBER

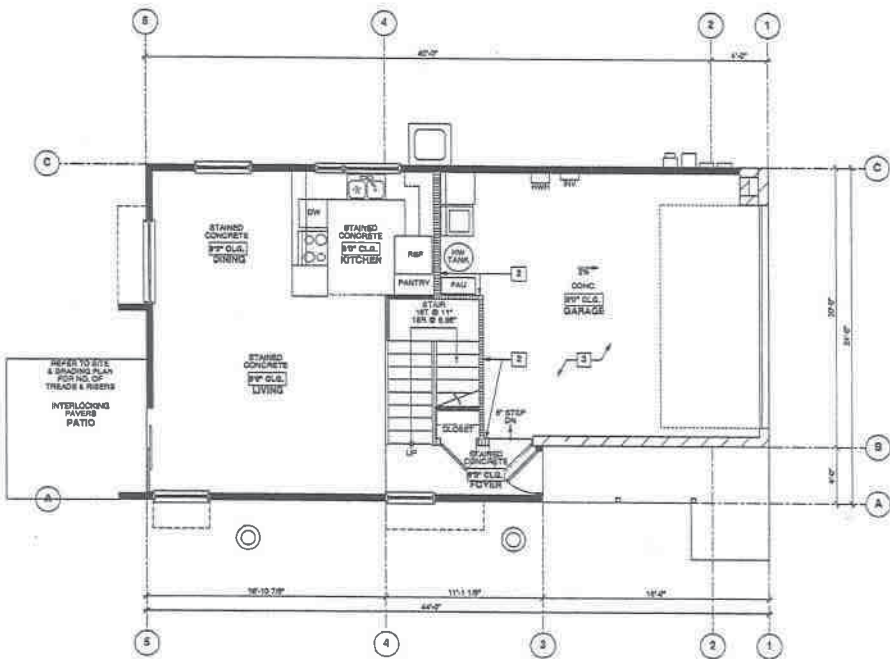
DIMENSIONAL PLAN GENERAL NOTES:

1. ALL INTERIOR DOOR HEIGHTS SHALL BE 6'-8" U.A.O. VERIFY ROUGH OPENINGS PRIOR TO FRAMING
 2. ALL EXTERIOR DOOR AND WINDOW HEIGHTS SHALL BE 7'0" U.A.O. VERIFY ROUGH OPENINGS PRIOR TO FRAMING
 3. ALL ANGLES ARE 45° U.A.O.
 4. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT WITH ALL DISCREPANCIES PRIOR TO CONSTRUCTION
 5. NOT USED
 6. ALL FINISH CEILING HEIGHTS SHALL BE 4'-0" TYP. U.A.O. REFER TO FLOOR PLANS
 7. PROVIDE BLOCKING @ ALL BUILT-UPS AND MIRRORS
- NOTE: TEMP. = TURNED GLAZING. REFER TO SHEET A-3.3 FOR ADDITIONAL INFORMATION.

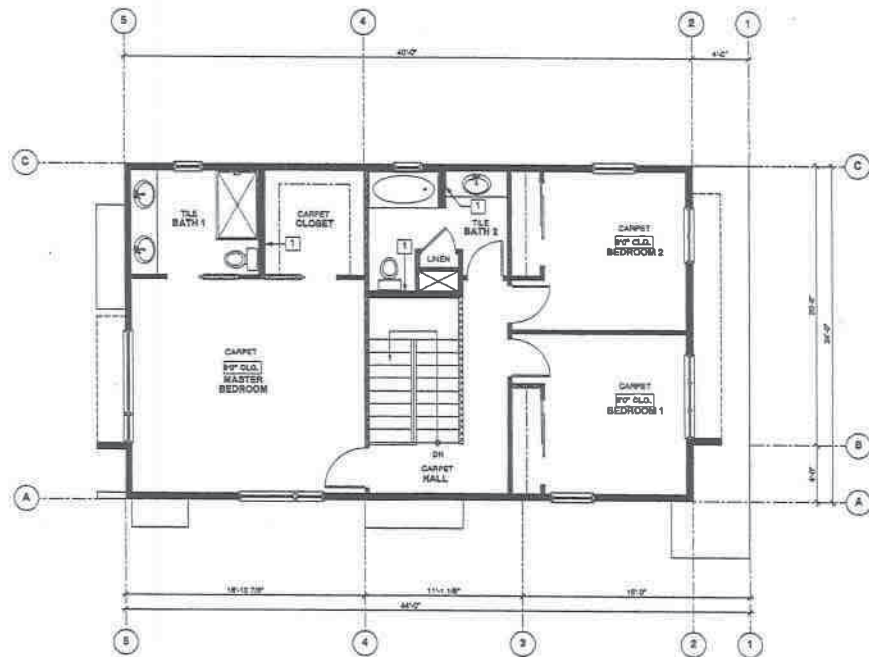
DIMENSIONAL PLAN REFERENCE NOTES:

1. 2 X 8 PLUMBING WALL
2. ONE HOUR RATED WALL (W/ 2 X FRAMED PLUMBING WALL) REFER TO FLOOR PLAN FOR RATED WALL ASSEMBLY NOTES
3. ONE HOUR RATED CEILING REFER TO FLOOR PLAN FOR RATED WALL ASSEMBLY NOTES

NOTE:
VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT WITH ALL DISCREPANCIES PRIOR TO CONSTRUCTION.



MAIN FLOOR - UNIT B



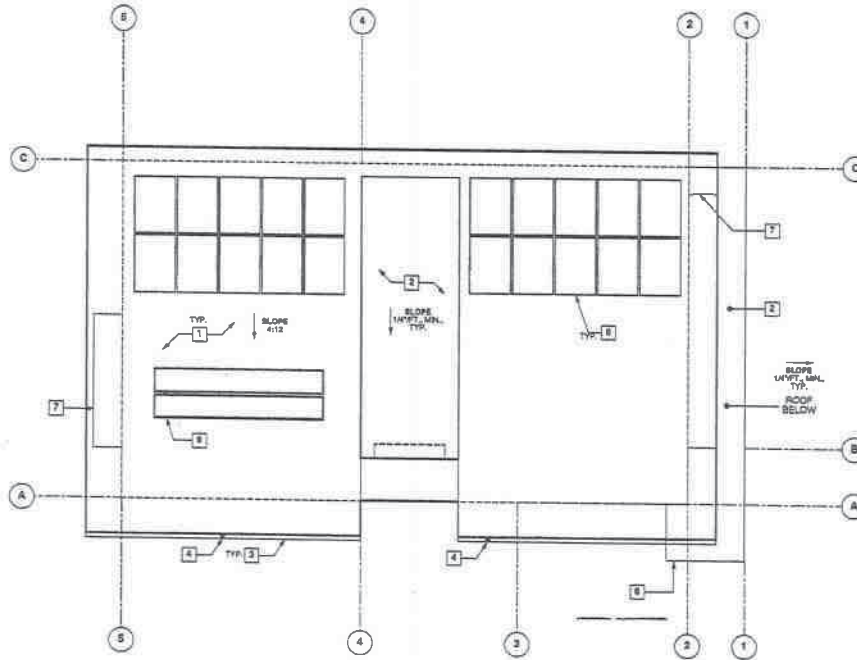
UPPER FLOOR - UNIT B

DIMENSIONAL FLOOR PLAN
SCALE: 1/4" = 1'-0"

Exhibit J
Unit B Floor Plan
PR 06-0236
(Legacy Partners, LLC)

© 2006

<p>PARK ST. PROJECT PASO ROBLES CA 93346 A/E: 008-568-009</p>
<p>LEGACY PARTNERS, LLC 4011 GIBSON ROAD TEMPLETON, CA 93268</p>
<p>DIMENSIONAL FLOOR PLAN UNIT B</p>
<p>20 OCT 06</p>
<p>00824</p>
<p>A-1.0</p>



ROOF PLAN
SCALE: 1/4" = 1'-0"

Exhibit K
Unit B Roof Plan
PR 06-0236
(Legacy Partners, LLC)

© 2006

<p>CRAIG SWITH ARCHITECTURE & ASSOCIATES, INC. 188 Monterey Street, Suite 15, San Jose, CA 95114 408-544-8208</p>	<p>MEMBER AIA AIA 1936 AIA 1936</p>	<p>Architectural drawings are prepared by the architect and are subject to the professional seal and signature of the architect. The architect is not responsible for the construction of the project or for the accuracy of the information provided by others. The architect is not responsible for the construction of the project or for the accuracy of the information provided by others.</p>		<p>PARK ST. PROJECT 2225 PARK STREET PASO ROBLES, CA 93446 APN: 008-185-008</p>	<p>LEGACY PARTNERS, LLC 115 CUBSON ROAD TEMPLETON, CA 93465</p>	<p>ROOF PLAN UNIT B</p>	<p>20 OCT 06</p>	<p>00624</p>	<p>A-7.0</p>
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EXTERIOR ELEVATIONS REFERENCE NOTES:

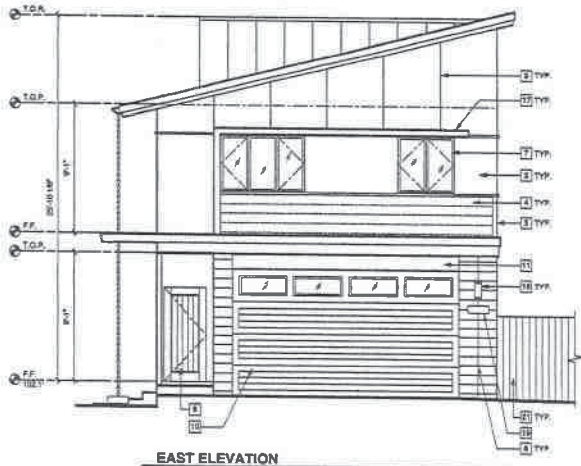
- 1 AIR/PAV'T OUPORTION ROOFING - REFER TO ROOF PLAN FOR PRESCRIPTION
- 2 LA HABRA EXTENSION STUCCO
- 3 JAMES HARDIE FIBER-CEMENT SMOOTH SIDING - 0/8 PANELS WITH GALVANIZED REEFLET TRIM
- 4 JAMES HARDIE FIBER-CEMENT SMOOTH LAP SIDING - 6" EXPOSURE
- 5 JAMES HARDIE FIBER-CEMENT SMOOTH TRIM
- 6 STACKED BOND CONCRETE BLOCK
- 7 MILGARD ALUMINUM FRAME WINDOW - ANODIZED
- 8 MILGARD ALUMINUM FRAME SLIDING DOOR - ANODIZED
- 9 SOLID WOOD DOOR - REAL CLEAR
- 10 PREFABRICATED WOOD SECTIONAL GARAGE DOOR
- 11 EXPOSED STEEL BEAM, PAINTED
- 12 WOOD FASCIA BOARDS, PAINT
- 13 METAL FLASHING, PAINT
- 14 METAL GUTTER, PAINT
- 15 RAINCUP CHAIN DOWNSPOUT
- 16 PAINTED TUBE STEEL COLUMN, PER PLAN
- 17 METAL CLAD BUNNHADE
- 18 DECORATIVE WALL SCIENCE, TEGA, ARCADE FULL, BHELD, NATURAL FINISH OR SOLA
- 19 HOME NUMBERS TO COMPLY WITH CITY STANDARDS & NOTE #4 OF EXT. ELEVATION GENERAL NOTES
- 20 CLOTHES DRYER VENT, MIN. 2" CLEAR FROM OPERABLE WINDOW OR DOOR
- 21 1/2" CEDAR WOOD FENCE
- 22 EXISTING GRADE
- 23 FINISH GRADE
- 24 CONCRETE PAVER PATIO - REFER SHT. C-1.0 FOR ADDL INFO.
- 25 VERIFY METER LOCATIONS WITH UTILITY COMPANIES
- 26 PROPOSED PHOTOVOLTAIC PANELS
- 27 PROPOSED DOMESTIC SOLAR HOT WATER COLLECTORS
- 28 CATCH BASIN FOR ROOF DRAINAGE
- 29 PROPOSED LOCATION FOR A/C COMPRESSOR, VERIFY POWER REQUIREMENTS WITH MANUFACTURER

EXTERIOR FINISHES:

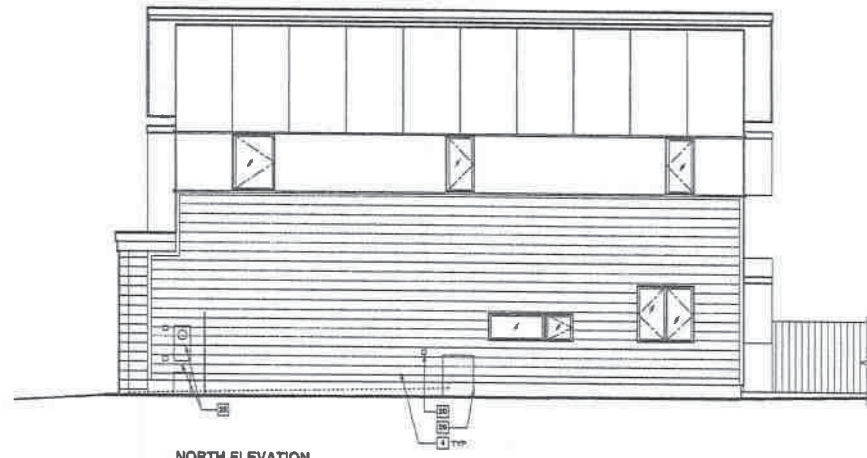
- ROOF MATERIAL:**
 MAIN COMPOSITION ROOFING, REFER TO A-7.0 FOR SPEC. TYPICOLOR: REFER TO COLORBOARD
- STUCCO:**
 MAIN: LA HABRA STUCCO
 TYPICOLOR: REFER TO COLORBOARD
- CONCRETE BLOCK:**
 MAIN: AIR VOL BLOCK, INC.
 TYPICOLOR: STACKED BOND / REFER TO COLORBOARD
- SIDING:**
 MAIN: JAMES HARDIE FIBER-CEMENT SMOOTH SIDING
 TYPICOLOR: REFER TO COLORBOARD

EXTERIOR ELEVATIONS GENERAL NOTES:

- 1 EXTERIOR FINISHES AND COLOR SHALL BE VERIFIED WITH THE OWNER PRIOR TO APPLICATION, WHETHER SPECIFIED ON THIS PLAN OR NOT.
- 2 FLASHING: PROVIDE FLASHING AND COUPLERS FLASHING PER U.S.C. 7101 AT CHIMNEY, PARAPETS, SAC COUPLERS, LANCING, EXTENSION TERMINALS, ROOF TO WALL INTERSECTIONS, AND ANY OTHER VERTICAL TO HORIZONTAL INTERSECTIONS TO PROVIDE A WEATHER AND WATER TIGHT JOIN. FLASHING AND COUNTER-FLASHING SHALL BE MIN. 30 GA. DUAL METAL PART. ALL GALV. METAL MATERIALS TO MATCH ADJACENT MATERIAL (SEE AT ROOF PENETRATIONS, DOWNCASTS).
- 3 LATH AND PLASTER: EXTERIOR PLASTER TO COMPLY WITH U.S.C. AND SHALL CONSIST OF A BASE COAT, ONE COAT FINISH (GRENNA COAT), AND A FINAL COAT ONLY. PROVIDE ONLY EXTERIOR CORNER BRACK AND EXTERIOR CORNER REINFORCING, REFER TO STUCCO SECTION BELOW.
- 4 A WEATHER BARRIER SHALL BE INSTALLED AT THE BASE OF ALL EXTERIOR FINISH WALLS TO ALLOW DRAINED JOINTS TO SEEPAGE. FLASHING SHALL BE MIN. 30 GA. METAL WITH 1/4" N. SLOOTHING FLASHING. FLASHING SHALL BE MIN. 4" ABOVE GROUND AND 1/4" ABOVE PAVING.
- 5 PROVIDE TWO LAYERS OF GRADE D PAPER BEHIND EXTERIOR PLASTER WHERE IT OCCURS OVER A WOOD BEAM OR PANEL AS A WEATHER RESISTIVE BARRIER PER U.S.C. 7105.0.
- 6 PROVIDE MIN. 1/2" BUILDING PAPER BEHIND WOOD SIDING AS A WEATHER RESISTIVE BARRIER PER U.S.C.
- 7 ALL EXTERIOR SIDING SHALL BE MIN. 2" UNLESS OVER SHEATHING. ALL SIDING JOINTS SHALL BE CENTERED OVER JOISTS. MEMBERS WITH CORNER FLASHING SHALL BE MIN. 2" UNLESS OVER SHEATHING. ALL SIDING SHALL BE WATERPROOFED. NAIL ALL SIDING WITH SAILY NAILS.
- 8 GUTTER AND DOWNSPOUTS SHALL BE INSTALLED ON ALL ROOF AREAS U.S.C.
- 9 ADDRESS NUMBERS MIN. 2" HIGH SHALL BE POSTED ON THE BUILDING, PLACED VISIBLY FROM THE STREET FRONTING THE BUILDING. NUMBERS SHALL BE HANDY BY REQUESTED BY THE BUILDING DEPARTMENT. REFER TO ELEVATION FOR LOCATION AND SIZE.



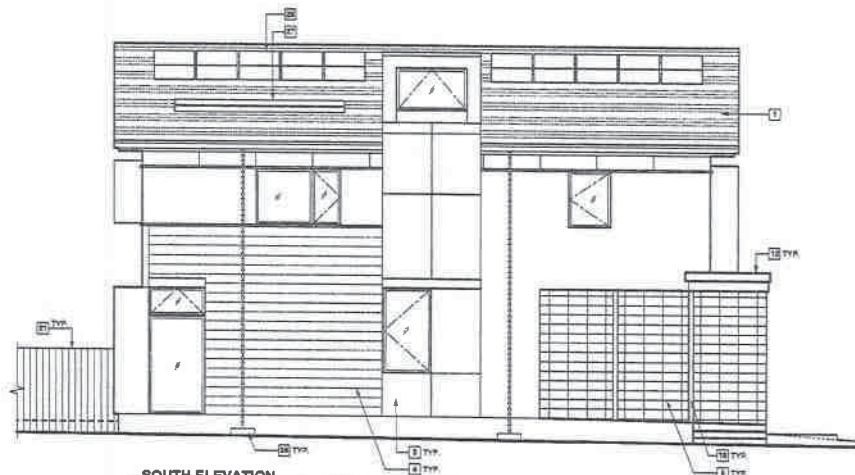
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

EXTERIOR ELEVATIONS RE
 SCALE: 1/8" = 1'-0"

Exhibit L
 Unit B Exterior Elevations
 PR 06-0236
 (Legacy Partners, LLC)

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Agenda Item No. 1 Page 28 of 38

180 MacArthur Street, Suite 11, San Jose, CA 95128 408-444-0399

LEGACY PARTNERS, LLC
 ARCHITECTS

Provide a professional seal and stamp for each drawing. The seal and stamp shall be placed in the bottom right corner of the drawing. The seal and stamp shall be in black ink on a white background. The seal and stamp shall be in the same size and orientation as the drawing. The seal and stamp shall be in the same size and orientation as the drawing.












PARK ST. PROJECT
 2226 PARK STREET
 PASO ROBLES, CA 94646
 APN: 008-165-009

LEGACY PARTNERS, LLC
 100 115 DOWNSIDE DRIVE
 TEMPLETON, CA 95266

EXTERIOR ELEVATIONS
 UNIT B

20 OCT 08
 00624
 A-9.0

WALL LEGEND

-  2" X 4" INTERIOR FRAMING @ 16" O.C.
-  2" X 6" ALL EXTERIOR FRAMING/ PLUMBING WALLS @ 16" O.C.
-  3" X 4" FRAMING - PARTIAL HEIGHT WALL
-  ONE-HOUR RATED WALL
-  8" CONCRETE BLOCK WALL
-  DETAIL NUMBER
-  SHEET NUMBER
-  WINDOW SYMBOL, LETTER, REFER TO WINDOW SCHEDULE, SHEET A-3.0
-  DOOR SYMBOL, REFER TO DOOR SCHEDULE, SHEET A-3.5
-  DESIGNATES THE ELEVATION INTERIOR OR EXTERIOR, OR SECTION
-  SHEET HEADER

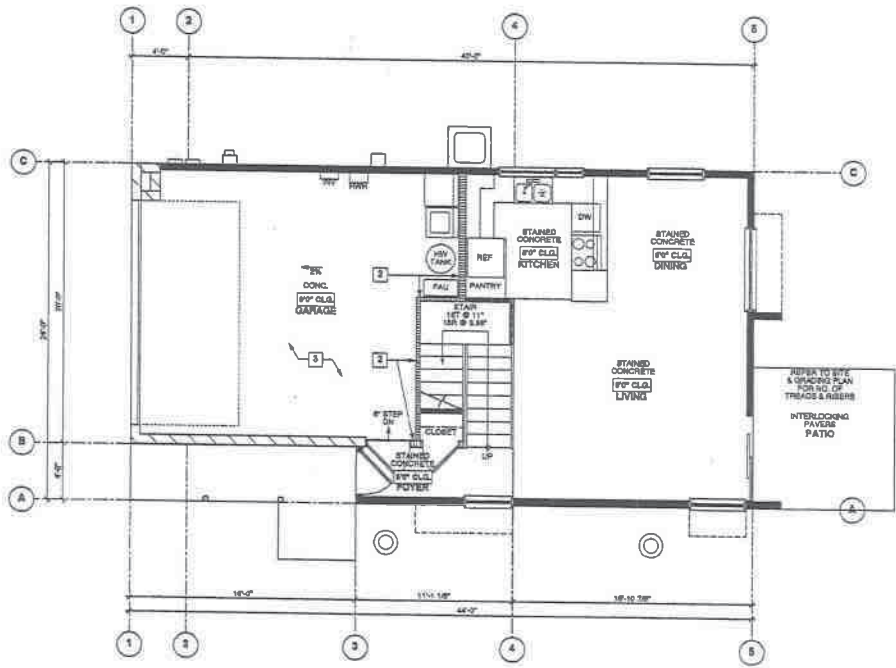
DIMENSIONAL PLAN GENERAL NOTES:

1. ALL EXTERIOR DOOR HEIGHTS SHALL BE 6'-0" U.L.O. VERIFY ROUGH OPENINGS PRIOR TO FRAMING
2. ALL EXTERIOR DOOR AND WINDOW HEIGHTS SHALL BE 7'-0" U.L.O. VERIFY ROUGH DIMENSIONS PRIOR TO FRAMING
3. ALL ANGLES ARE AT 45°, U.L.O.
4. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT WITH ALL DISCREPANCIES PRIOR TO CONSTRUCTION
5. NOT USED
6. ALL FINISH CEILING HEIGHTS SHALL BE 4'-0" TYP. U.L.O. REFER TO FLOOR PLAN
7. PROVIDE BLOWUPS @ ALL BUILT-INS AND MIRRORS
8. NOTE: TEMP. = TEMPERED GLAZING. REFER TO SHEET A-3.0 FOR ADDITIONAL INFORMATION.

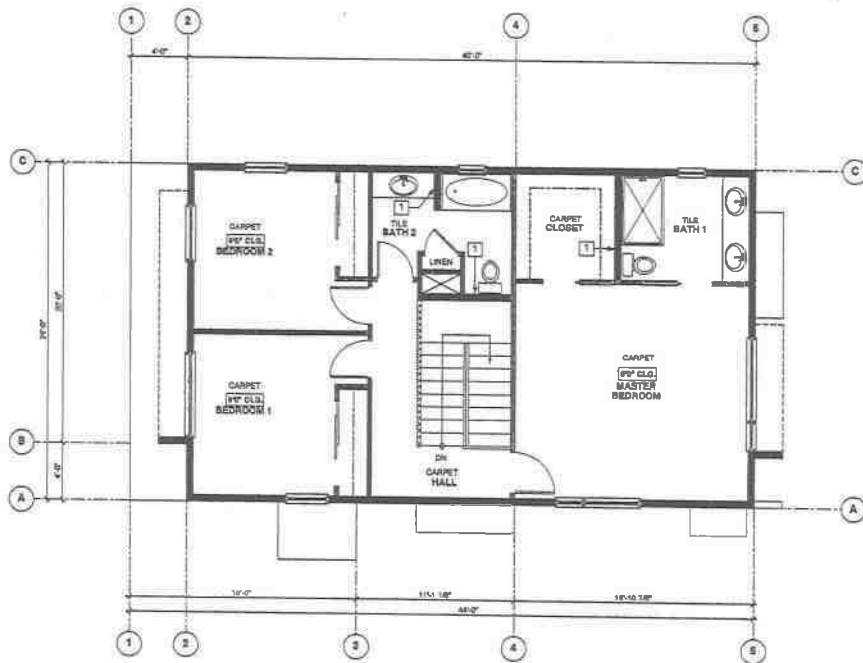
DIMENSIONAL PLAN REFERENCE NOTES:

1. 2 X 6 PLUMBING WALL
2. ONE HOUR RATED WALL (W/ 2 X 6 FLURRED PLUMBING WALL) REFER TO FLOOR PLAN FOR RATED WALL ASSEMBLY NOTES
3. ONE HOUR RATED CEILING REFER TO FLOOR PLAN FOR RATED WALL ASSEMBLY NOTES

NOTE:
VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT WITH ALL DISCREPANCIES PRIOR TO CONSTRUCTION



MAIN FLOOR - UNIT C



UPPER FLOOR - UNIT C

DIMENSIONAL FLOOR PLAN
SCALE: 1/8" = 1'-0"

Exhibit M
Unit C Floor Plan
PR 06-0236
(Legacy Partners, LLC)

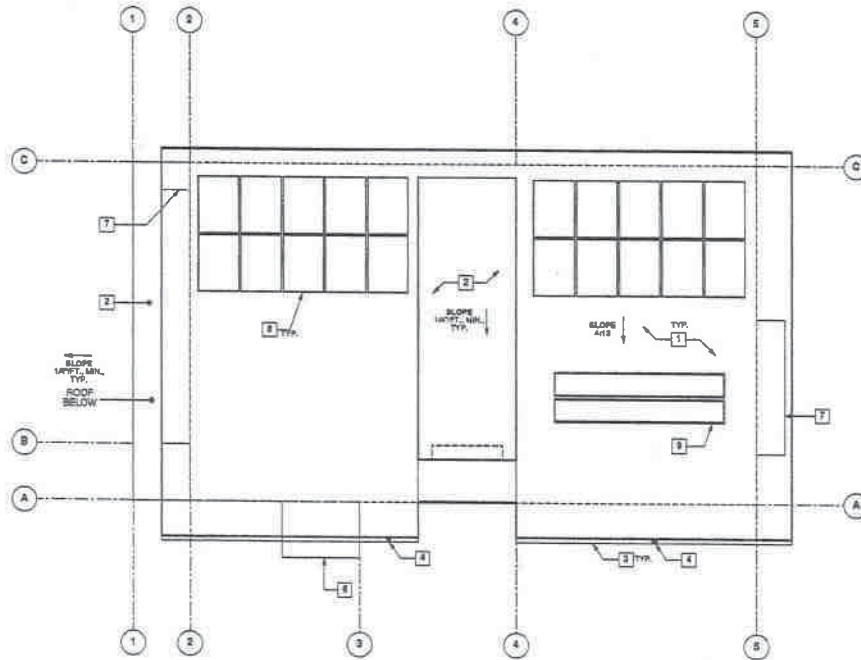
© 2008

LEGACY PARTNERS, LLC
 2228 PARK STREET
 PASO ROBLES, CA 93446
 A/P/N: 008-165-000

LEGACY PARTNERS, LLC
 6415 GARDEN ROAD
 TEMPLETON, CA 93465

MEMBER
 ILL
 CALIFORNIA
 ARCHITECT
 2008

LEGACY PARTNERS, LLC
 20 OCT 08
 00824
A-1.0



ROOF PLAN
SCALE: 1/4" = 1'-0"

Exhibit N
Unit C Roof Plan
PR 06-0236
(Legacy Partners, LLC)

© 2006

 PRAG & SMITH ARCHITECTS 4444 S. MAIN ST., SUITE 200 PASADENA, CA 91107 (626) 799-2200
 LEGACY PARTNERS, LLC 115 GIBSON ROAD TEMPLETON, CA 92386 (951) 241-1111
 GREGORY J. SMITH LICENSE NO. 44588 CIVIL ENGINEER STATE OF CALIFORNIA
PARK ST. PROJECT 2226 PARK STREET PASO ROBLES, CA 93246 APRIL 06-165-006
ROOF PLAN UNIT C
20 OCT 06 00624
A-7.0

EXTERIOR ELEVATIONS REFERENCE NOTES:

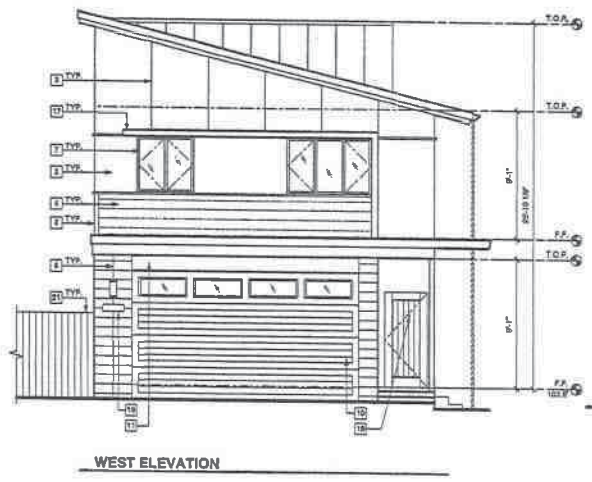
- 1 AIR-RAIL COMPOSITION ROOFING - REFER TO ROOF PLAN FOR SPECIFICATION
- 2 LA HABRA EXTERIOR STUCCO
- 3 JAMES HARDIE FIBER-CEMENT SMOOTH SIDING - 6/8 PANELS WITH GALVANIZED PREGAL TRIM
- 4 JAMES HARDIE FIBER-CEMENT SMOOTH LAP SIDING - IF EXPOSURE
- 5 JAMES HARDIE FIBER-CEMENT SMOOTH TRIM
- 6 STACKED BOND CONCRETE BLOCK
- 7 MILGARD ALUMINUM FRAME WINDOW - ANODIZED
- 8 MILGARD ALUMINUM FRAME SLIDING DOOR - ANODIZED
- 9 SOLID WOOD DOOR - SEAL CLEAR
- 10 PREFABRICATED WOOD SECTIONAL GARAGE DOOR
- 11 EXPOSED STEEL BEAM, PAINTED
- 12 WOOD PANDA BOARDS, PAINT
- 13 METAL FLASHING, PAINT
- 14 METAL GUTTER, PAINT
- 15 RAINUP CHAIN DOWNSPOUT
- 16 PAINTED TUBS STEEL COLLAR, PER PLAN
- 17 METAL CLAD BUNSHADE
- 18 DECORATIVE WALL, EQUICE, TEGO, ARCADE FULL, BIELD, NATURAL FINISH OR SOLID
- 19 HOUSE NUMBERS TO COMPLY WITH CITY STANDARDS & NOTE #9 OF EXT. ELEVATION GENERAL NOTES
- 20 CLOTHES DRESS VENT, MIN. 4" CLEAR FROM OPERABLE WINDOW OR DOOR
- 21 US1 CEDAR WOOD FENCE
- 22 EXISTING GRADE
- 23 FINISH GRADE
- 24 CONCRETE PAVEMENT PATIO - REFER SHT. C-13 FOR ADD. INFO.
- 25 VERIFY METER LOCATIONS WITH UTILITY COMPANIES
- 26 PROPOSED PHOTOVOLTAIC PANELS
- 27 PROPOSED DOMESTIC SOLAR HOT WATER COLLECTORS
- 28 CATCH BASIN FOR ROOF DRAINAGE
- 29 PROPOSED LOCATION FOR A/C COMPRESSOR. VERIFY POWER REQUIREMENTS WITH MANUFACTURER

EXTERIOR FINISHES:

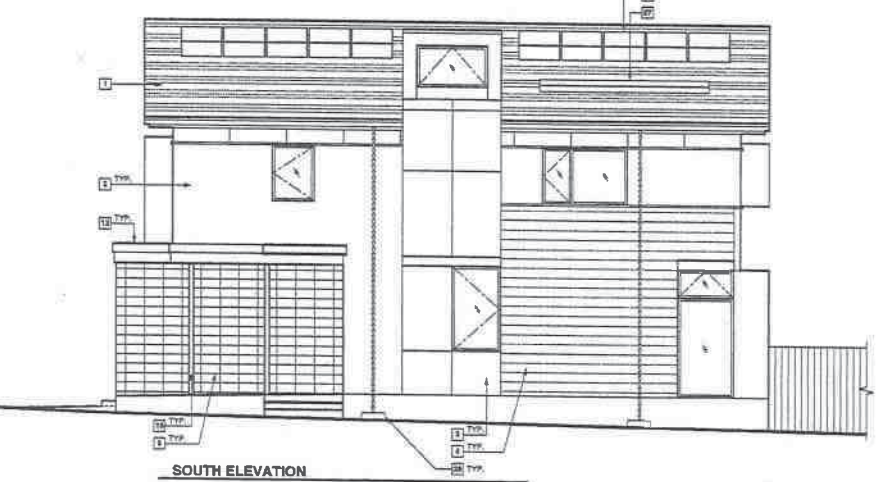
- ROSE MATERIALS**
 MASH COMPOSITION ROOFING, REFER TO A-7A FOR SPEC.
 TYPECOLOR: REFER TO COLORBOARD
- STUCCO:**
 MASH "LA HABRA" STUCCO
 TYPECOLOR: REFER TO COLORBOARD
- CONCRETE BLOCK:**
 MASH AIR VOID BLOCK, INC.
 TYPECOLOR: REFER TO COLORBOARD
- WOOD:**
 MASH JAMES HARDIE
 TYPECOLOR: FIBER-CEMENT SMOOTH SIDING

EXTERIOR ELEVATIONS GENERAL NOTES:

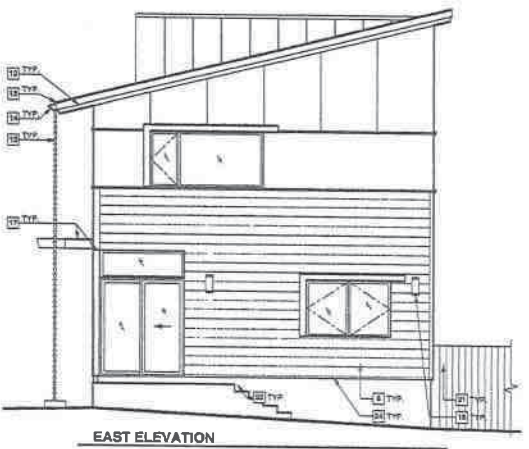
- 1 EXTERIOR FINISHES AND COLOR SHALL BE VERIFIED WITH THE OWNER PRIOR TO APPLICATION, WHETHER SPECIFIED ON THIS PLANS OR NOT.
- 2 FLASHING: PROVIDE FLASHING AND COUNTERS FLASHING PER U.L.C. TOP AT CHIMNEYS, PILLARS, ETC. BALCONIES, LANDING, EXTERIOR STAIRWAYS, DOOR TO WALL INTERSECTIONS AND PROVIDE A WEATHER AND WATER TIGHT JOINT. FLASHING AND COUNTER FLASHING SHALL BE MIN. 3/4" GALV. METAL. PAINT ALL GALV. METAL MATERIAL TO MATCH SURROUNDING MATERIAL. (SEE AT ROOF PENETRATIONS, LOGS, ETC.)
- 3 LATH AND PLASTER: EXTERIOR PLASTER TO COMPLY WITH U.L.C. AND SHALL CONSIST OF A BASE COAT, COAT, FINISH BROWN COAT, AND A FINAL COLOR COAT. PROVIDE GALV. STEEL OR CORNER BEADS AND INTERIOR CORNER REINFORCING. REFER TO SPECIFIC SECTION BELOW.
- 4 A WEEP SCREED SHALL BE INSTALLED AT THE BASE OF ALL EXTERIOR WATER WALLS TO ALLOW TRAPPED MOISTURE TO ESCAPE. SCREED SHALL BE MIN. 1/2" GALV. METAL WITH AN INTERIOR FLANGE. SCREED SHALL BE MIN. 4 INCHES ABOVE LATH AND A MIN. 1/2" ABOVE FINISH.
- 5 PROVIDE TWO LAYERS OF GRADE D PAPER BEHIND EXTERIOR PLASTER (WHICH IS COVERED OVER BY WOOD (BEAM PANELS)) AS A WEATHER RESISTIVE BARRIER PER U.L.C. 609.04.
- 6 PROVIDE MIN. 1/4" BUILDING PAPER BEHIND WOOD SIDING AS A WEATHER RESISTIVE BARRIER PER U.L.C.
- 7 ALL EXTERIOR SIDING SHALL BE MIN. 2" UNLESS OVER SHEATHING. ALL SIDING JOINTS SHALL BE CENTERED OVER FRAMING MEMBERS WITH CONTIGUOUS WOOD BATTEN OR JOINTS SHALL BE WATERPROOFED. NAIL ALL SIDING WITH GALV. NAILS.
- 8 GUTTER AND DOWNSPOUTS SHALL BE INSTALLED ON ALL ROOF AREAS UNLESS.
- 9 ADDRESS NUMBERS MIN. 4" HIGH SHALL BE MOUNTED ON THE BUILDING, PLAINLY VISIBLE FROM THE STREET FRONTING THE BUILDING. NUMBERS SHALL BE MOUNTED FRONTING THE BUILDING DEPARTMENT. REFER TO SPECIFICATION FOR LOCATION AND SIZE.



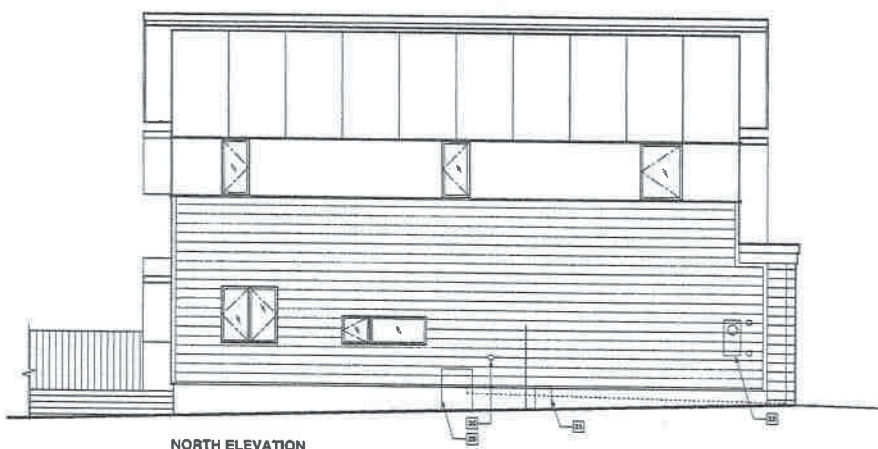
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

EXTERIOR ELEVATIONS
 SCALE: 1/4" = 1'-0"

Exhibit O
 Unit C Exterior Elevations
 PR 06-0236
 (Legacy Partners, LLC)

Agenda Item No. 1 Page 31 of 38

800 Main Street, Suite 13, Los Angeles, CA 90014
 888-444-0000

PARK ST. PROJECT
 2228 PARK STREET
 PASO ROBLES, CA 90448
 APN: 008-165-009












LEGACY PARTNERS, LLC
 OR 1515 ORSON ROAD
 TEMPLETON, CA 90466

EXTERIOR ELEVATIONS
 UNIT C

20 OCT 06
 00624
 A-9.0

© 2008

WALL LEGEND

-  2" X 4" INTERIOR FRAMING @ 16" O.C.
-  2" X 6" ALL EXTERIOR FRAMING/ PLUMBING WALLS @ 16" O.C.
-  3" X 4" FRAMING -PARTIAL HEIGHT WALL
-  ONE-HOUR RATED WALL
-  8" CONCRETE BLOCK WALL
-  DETAIL NUMBER
-  SHEET NUMBER
-  WINDOW SYMBOL LETTER, REFER TO WINDOW SCHEDULE SHEET A-3.2
-  DOOR SYMBOL REFER TO DOOR SCHEDULE SHEET A-3.0
-  DESIGNATES THE ELEVATION (INTERIOR OR EXTERIOR) OR SECTION
-  SHEET NUMBER

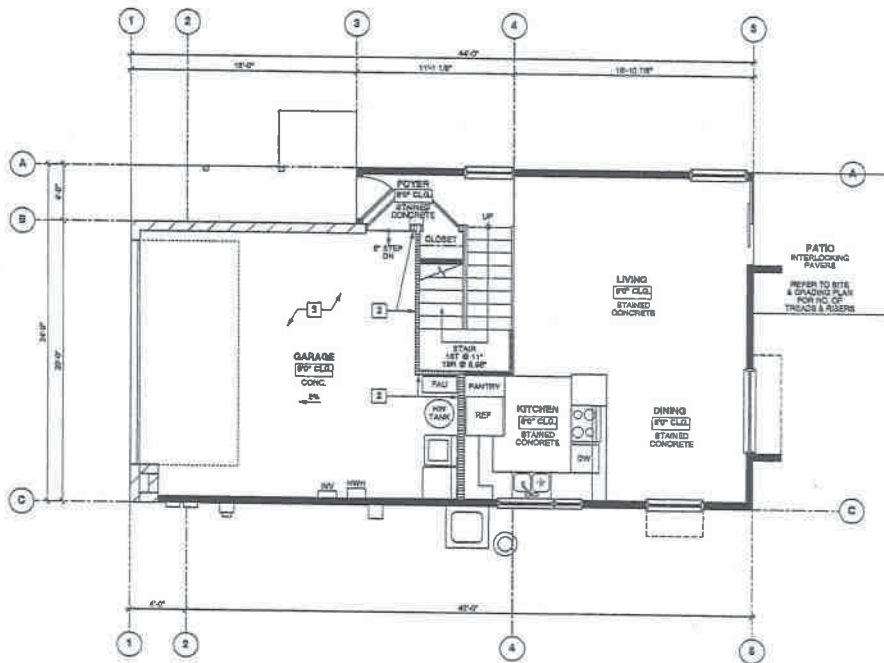
DIMENSIONAL PLAN GENERAL NOTES:

1. ALL INTERIOR DOOR HEIGHTS SHALL BE 6'-0" U.L.O. VERIFY ROUGH OPENINGS PRIOR TO FRAMING
2. ALL EXTERIOR DOOR AND WINDOW HEIGHTS SHALL BE 7'-0" U.L.O. VERIFY ROUGH OPENINGS PRIOR TO FRAMING
3. ALL ANGLES ARE AT 45° U.L.O.
4. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT WITH ALL DISCREPANCIES PRIOR TO CONSTRUCTION
5. NOT USED
6. ALL FINISH CEILING HEIGHTS SHALL BE 4'-0" TYP. U.L.O.- REFER TO FLOOR PLANS
7. PROVIDER SLOOCHS @ ALL BUILDING AND MEMBERS
8. NOTE: TEMP. = TEMPERED GLAZING. REFER TO SHEET A-3.0 FOR ADDITIONAL INFORMATION.

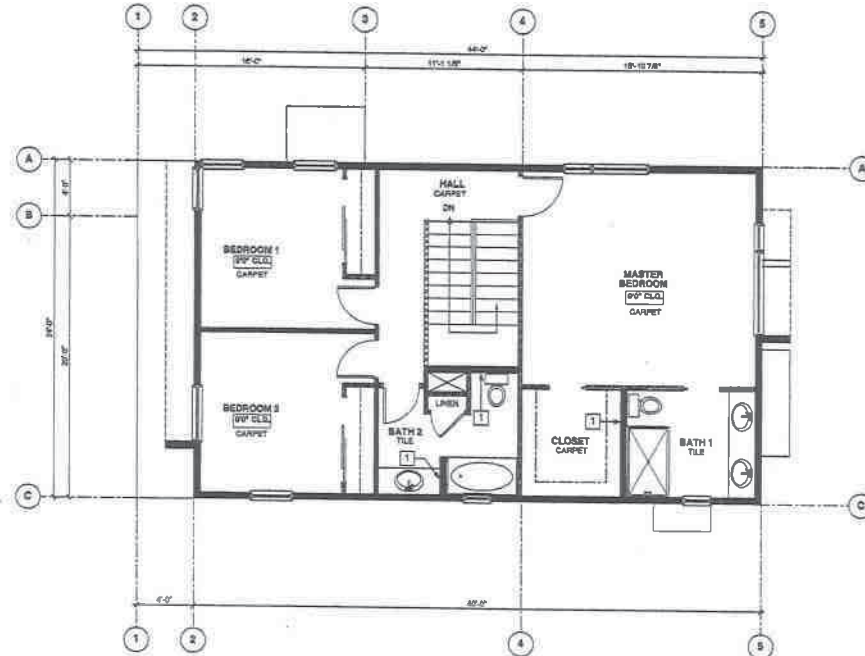
DIMENSIONAL PLAN REFERENCE NOTES:

- 1 2 X 0 PLUMBING WALL
- 2 ONE HOUR RATED WALL (W/ 8" FLURRED PLUMBING WALL) REFER TO FLOOR PLAN FOR RATED WALL ASSEMBLY NOTES
- 3 ONE HOUR RATED CEILING REFER TO FLOOR PLAN FOR RATED WALL ASSEMBLY NOTES

NOTE:
VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT WITH ALL DISCREPANCIES PRIOR TO CONSTRUCTION



MAIN FLOOR - UNIT D



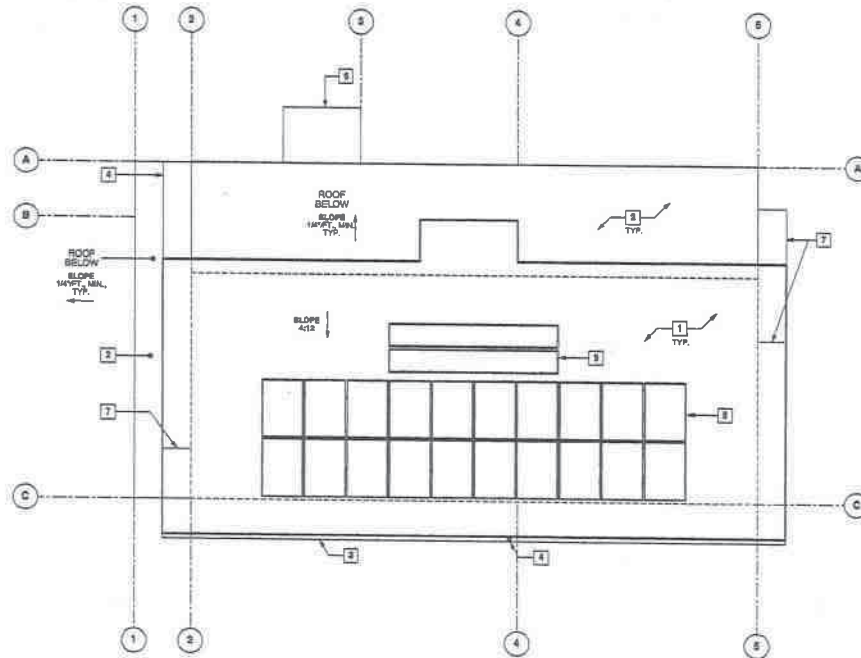
UPPER FLOOR - UNIT D

DIMENSIONAL FLOOR PLAN
SCALE: 1/4" = 1'-0"

Exhibit P
Unit D Floor Plan
PR 06-0236
(Legacy Partners, LLC)

© 2006

 LEGACY PARTNERS, LLC 115 GIBSON ROAD TEMPLETON, CA 95366	 PARK ST. PROJECT 2226 PARK STREET PASO ROBLES, CA 93446 APN: 006-106-009	 MEMBER ARCHITECTS & ENGINEERS REGISTERED PROFESSIONAL ENGINEERS STATE OF CALIFORNIA LICENSE NO. 44522	 899 Monterey Street, Suite D, San Luis Obispo, CA 93401 805-544-0088
DIMENSIONAL FLOOR PLAN UNIT D			
20 OCT 06 00824			
A-1.0			



ROOF PLAN
SCALE: 1/4" = 1'-0"

Exhibit Q
Unit D Roof Plan
PR 06-0236
(Legacy Partners, LLC)

© 2008

	<p>MEMBER CALIFORNIA REGISTERED PROFESSIONAL ARCHITECTS</p>		<p>PARK ST. PROJECT 2225 PARK STREET PASO ROBLES, CALIFORNIA APE: 006-100-1008</p>	<p>LEGACY PARK PARTNERS, LLC 2011 115 GIBSON ROAD TEMPLETON, CALIFORNIA</p>	<p>ROOF PLAN UNIT D</p>	<p>20 OCT 08</p>	<p>00824</p>	<p>A-7.0</p>
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EXTERIOR ELEVATIONS REFERENCE NOTES:

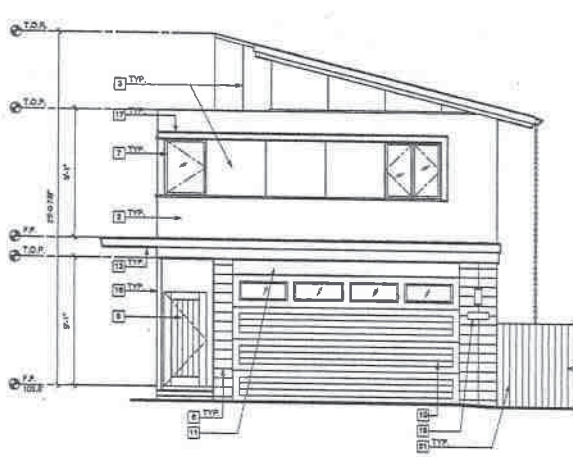
- 1 ASPHALT COMPOSITION ROOFING - REFER TO ROOF PLAN FOR SPECIFICATION
- 2 LA HABRA EXTERIOR STUCCO
- 3 JAMES HARDIE FIBER-CEMENT SMOOTH LAF SIDING - OSB PANELS WITH GALVANIZED REGLET TRIM
- 4 JAMES HARDIE FIBER-CEMENT SMOOTH LAF SIDING - F EXPOSURE
- 5 JAMES HARDIE FIBER-CEMENT SMOOTH TRIM
- 6 STACKED RING CONCRETE BLOCK
- 7 WILGARDY ALUMINUM FRAME WINDOW - ANODIZED
- 8 WILGARDY ALUMINUM FRAME SLIDING DOOR - ANODIZED
- 9 SOLID WOOD DOOR - BEAL CLEAR
- 10 PREFABRICATED WOOD SECTIONAL GARAGE DOOR
- 11 EXPOSED STEEL BEAM, PAINTED
- 12 WOOD FASCIA BOARDS, PAINT
- 13 METAL FLASHING, PAINT
- 14 METAL GUTTER, PAINT
- 15 RAIN/CUP CHAIN DOWNSPOUT
- 16 PAINTED TUBE STEEL COLUMN, PER PLAN
- 17 METAL CLAD BLINDHADE
- 18 DECORATIVE WALL SCIENCE TERRA ARCADE FULL SHIELD, NATURAL FINISH, OR SOLID
- 19 HOUSE NUMBERS TO COMPLY WITH CITY STANDARDS & NOTE #9 OF EXT. ELEVATION SEVERAL NOTES
- 20 CLOTHES DRYER VENT, MIN. 2' CLEAR FROM OPERABLE WINDOW OR DOOR
- 21 OSB CEDAR WOOD FENCE
- 22 EXISTING GRADE
- 23 FINISH GRADE
- 24 CONCRETE PAVEMENT PATIO - REFER SHT. C-1.2 FOR ADDL. INFO.
- 25 VERIFY METER LOCATIONS WITH UTILITY COMPANIES
- 26 PROPOSED PHOTOVOLTAIC PANELS
- 27 PROPOSED DOMESTIC SOLAR HOT WATER COLLECTORS
- 28 CATCH BASIN FOR ROOF DRAINAGE
- 29 PROPOSED LOCATION FOR A/C COMPRESSOR, VERIFY POWER REQUIREMENTS WITH MANUFACTURER

EXTERIOR FINISHES:

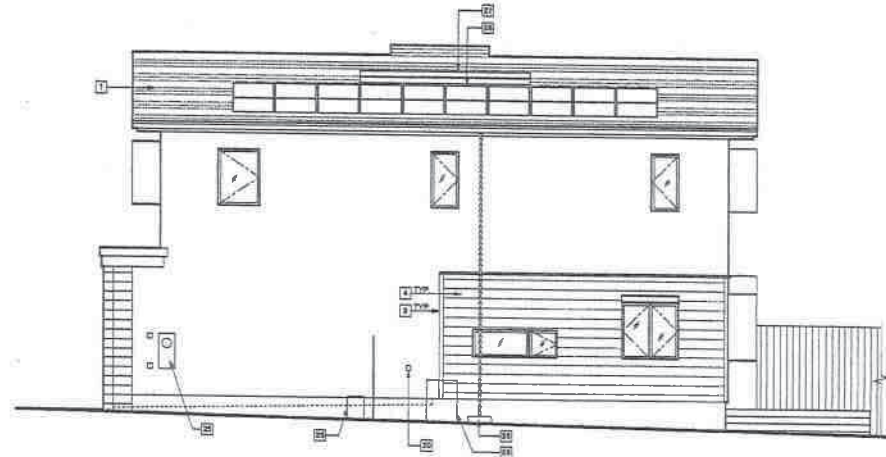
- ROOF MATERIAL:**
 MARK: ASPHALT COMPOSITION ROOFING, REFER TO A-7.0 FOR SPEC TYPE/COLOR: REFER TO COLORBOARD
- STUCCO:**
 MARK: LA HABRA EXTERIOR STUCCO TYPE/COLOR: REFER TO COLORBOARD
- CONCRETE BLOCKS:**
 MARK: 8 IN. V.C. BLOCK, INC. TYPE/COLOR: STACKED BOND / REFER TO COLORBOARD
- SIDING:**
 MARK: JAMES HARDIE FIBER-CEMENT SMOOTH SIDING

EXTERIOR ELEVATIONS GENERAL NOTES:

1. EXTERIOR FINISHES AND COLOR SHALL BE VERIFIED WITH THE OWNER PRIOR TO APPLICATION, WHETHER SPECIFIED ON THE PLANS OR NOT.
2. FLASHING: PROVIDE FLASHING AND COUNTER FLASHING PER U.B.C. (7.01) AT CORNERS, PARAPETS, BALCONIES, LANDING, EXTERIOR STAIRWAY, ROOF TO WALL INTERSECTIONS, AND ANY OTHER VERTICAL TO HORIZONTAL INTERSECTIONS TO PROVIDE A WEATHER AND WATER TIGHT JOBS. FLASHING AND COUNTER FLASHING SHALL BE MIN. 24 GA. GALV. METAL. PAINT ALL GALV. METAL MATERIAL TO MATCH ADJACENT MATERIAL. (S.F. ROOF PENETRATIONS, CONSULT S.F.1.)
3. LATH AND PLASTER: EXTERIOR PLASTER TO COMPLY WITH U.B.C. AND SHALL CONSIST OF A BARE GROUT COAT, FINISH (BROWN COAT) AND A FINAL COLOR COAT. FINISH (GALV.) EXTERIOR CORNER BEADS AND INTERIOR CORNER REINFORCERS, REFER TO STUCCO SECTION BELOW.
4. A WEEP SCHEDE SHALL BE INSTALLED AT THE BASE OF ALL EXTERIOR PLASTER WALLS TO ALLOW TRAPPED MOISTURE TO ESCAPE. SCHEDES SHALL BE MIN. 24 GA. METAL WITH 25% SLOPING FLANGE. SCHEDES SHALL BE MIN. 4" ABOVE CEATH AND A MIN. 2" E.C. EDGE FINISH.
5. PROVIDE TWO LAYERS OF GRADE D PAPER BEHIND EXTERIOR PLASTER (WHERE IT OCCURS OVER PLYWOOD SHEAR PANELS) AS A WEATHER RESISTIVE BARRIER PER U.B.C. (7.05).
6. PROVIDE MIN. 18" BUILDING PAPER BEHIND WOOD SIDING AS A WEATHER RESISTIVE BARRIER PER U.B.C.
7. ALL EXTERIOR SIDING SHALL BE MIN. 5/8" THICK OVER BRACING. ALL SIDING JOINTS SHALL BE COVERED OVER JOINTS SHALL BE WATERPROOFED. WALL ALL SIDING WITH DUAL BRACE.
8. GUTTERS AND DOWNSPOUTS SHALL BE INSTALLED ON ALL ROOF AREAS U.B.C.
9. ADDRESS NUMBERS, MIN. 4" HIGH SHALL BE POSTED ON THE BUILDING PLANKY 18" FROM THE STREET FRONT AND THE BUILDING. NUMBERS SHALL BE LARGER IF REQUIRED BY THE BUILDING DEPARTMENT. REFER TO ELEVATION FOR LOCATION AND SIZE.



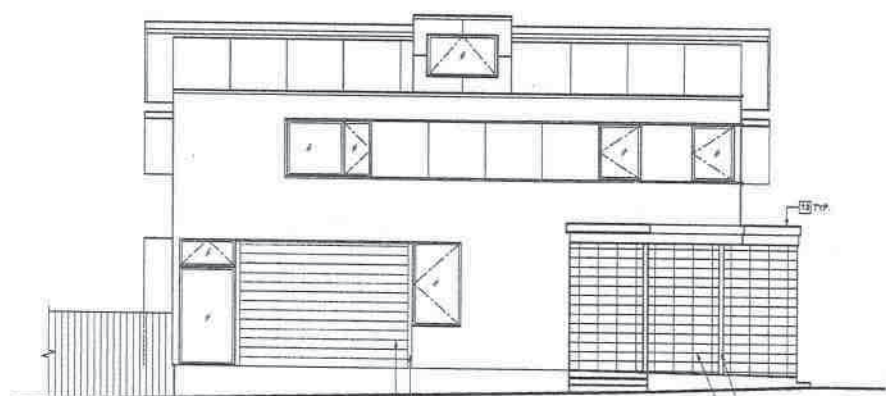
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

EXTERIOR ELEVATIONS REF
 SCALE: 1/4" = 1'-0"

Exhibit R
 Unit D Exterior Elevations
 PR 06-0236
 (Legacy Partners, LLC)

Agenda Item No. 1 Page 34 of 38

CRAGG SMITH
 ARCHITECT
 444 S. 7th St.
 PASO ROBLES, CA 93241
 800 Monterey Street, Suite 21, San Luis Obispo, CA 93401 805-944-8888

HELMET
 PHOTOGRAPHY
 1000 N. G Street
 Santa Barbara, CA 93101
 805-965-1111



PARK ST. PROJECT
 1000 N. G Street
 Santa Barbara, CA 93101
 APN: 008-185-008

LEGACY PARTNERS, LLC
 575 MARKET STREET
 PASO ROBLES, CA 93241
 TEL: 805-944-8888

EXTERIOR ELEVATIONS
 UNIT D

20 OCT 06
 00624

A-9.0

Attachment 4

RESOLUTION NO: 16-_____

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
TO GRANT A ONE-YEAR TIME EXTENSION
FOR TENTATIVE PARCEL MAP PR 06-0236
(RAY BUBAN)
APN: 008-165-009

WHEREAS, a time extension request for PR 06-0236, has been filed by Ray Buban; and

WHEREAS, PR 06-0236 allows for the subdivision of the 12,585 square foot lot into four parcels, ranging in size from 2,800 square feet to 3,400 square feet, located at 2225 Park Street; and

WHEREAS, the parcel map was originally scheduled to expire on February 27, 2009, since 2009 the parcel map has been automatically extended by the State as a result of SB 1185, AB 333, AB 208, and AB 116, to February 27, 2016; and

WHEREAS, PR 06-0236 has not been recorded and was scheduled to expire on February 27, 2016, a request for a time extension was filed prior to the February 27, 2016 deadline; and

WHEREAS, since the approval of PR 06-0134 was approved in 2007, the Uptown Town Centre Specific Plan has been adopted, changing the zoning designation for this lot from R3 to T4-N; and

WHEREAS, it is necessary to add a condition to this time extension request that requires that the future design of the homes on the four lots be designed in a manner that complies with the Uptown Town Centre Specific Plan; and

WHEREAS, Mr Buban has indicated that such a condition seems reasonable for this project; and

WHEREAS, the Planning Commission is empowered through the Zoning Code to approve parcel maps and their related Time Extension requests, and

WHEREAS, a public hearing was conducted by the Planning Commission on May 10, 2016 to consider facts as presented in the staff report prepared for this time extension request, and to accept public testimony regarding the time extension, and

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles does hereby grant a one-year time extension to PR 06-0236 subject to the following conditions:

1. All conditions adopted within resolutions 07-0023 shall remain in full force and effect (on file in the Community Development Department), subject to future development of each lot shall comply with the development standards described within the Uptown Town Centre Specific Plan.
2. Tentative Parcel Map PR 06-0236 shall expire on February 27, 2017, unless a time extension request is filed prior to that date.

PASSED AND ADOPTED THIS 10th day of May 2016 by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

BOB ROLLINS, CHAIRMAN

ATTEST:

WARREN FRACE, PLANNING COMMISSION SECRETARY



CITY OF EL PASO DE ROBLES

"The Pass of the Oaks"

AFFIDAVIT OF MAIL NOTICES PLANNING COMMISSION/CITY COUNCIL PROJECT NOTICING

I, Monica Hollenbeck, employee of the City of El Paso de Robles, California, do hereby certify that the mail notices have been processed as required for Time Extension for Tentative Parcel Map PR 06-0236(Ray Buban) , on this 28th day of April, 2016.

City of El Paso de Robles
Community Development Department
Planning Division

Signed: *Monica C Hollenbeck*
Monica Hollenbeck

PROOF OF PUBLICATION

LEGAL NEWSPAPER NOTICES

PLANNING COMMISSION
PROJECT NOTICING

Newspaper: The Tribune

Date of Publication: 04/29/16

Meeting Date: 05/10/16
Planning Commission

Project: Tentative Parcel Map PR 06-0236

I, Monica C Hollenbeck, employee of the Community Development Department, Engineering Division, of the City of El Paso de Robles, do hereby certify that this notice is a true copy of a published legal newspaper notice for the above named project.

Signed: Monica C Hollenbeck
Monica C Hollenbeck

CITY OF EL PASO DE ROBLES
NOTICE OF PUBLIC HEARING;

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of El Paso de Robles will hold a Public Hearing to consider a request for a 1-year time extension for the following project:

Tentative Parcel Map PR 06-0236; a parcel map to subdivide an existing 12,565 square foot lot into four parcels, where there would be one new house constructed on each lot. The site is located at 2225 Park Street.

The meeting will begin at the hour of 6:30 pm on May 10, 2016, in the Conference Center (First Floor) at the Paso Robles Library/City Hall, 1000 Spring Street, Paso Robles, California. All interested parties may appear and be heard at this hearing.

Questions about this application may be directed to the Community Development Department at (805) 237-3970 or via email at planning@prcity.com. Comments on the proposed Conditional Use Permit may be mailed to the Community Development Department, 1000 Spring Street, Paso Robles, CA 93446 or emailed to planning@prcity.com provided that such comments are received prior to the time of the hearing.

If you challenge the time extension in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

Darren Nash, Associate Planner
April 29, 2016 2412648