

TO: CHAIRMAN AND MEMBERS OF THE PLANNING COMMISSION

FROM: ED GALLAGHER, COMMUNITY DEVELOPMENT DIRECTOR

SUBJECT: PLANNED DEVELOPMENT 08-001 & CONDITIONAL USE PERMIT 08-001 - AMENDMENT (PASO ROBLES RV RESORT – PASO 33, LP)

DATE: JANUARY 10, 2012

Needs: To consider applications filed by North Coast Engineering, on behalf of Paso 33 LP, to consider an amendment to the Paso Robles Recreational Vehicle (RV) Resort.

- Facts:
1. The 73 acre site is located at the northern end of Golden Hill Road, on the east side of the road (see Attachment 1, Vicinity Map).
 2. The sites land use and zoning designations are Parks and Open Space (POS).
 3. The City Council on March 17, 2009 adopted Resolutions 09-027 and 09-028 approving PD 08-001 and CUP 08-001 allowing for the development of a 332 space RV resort.
 4. The proposed amendment would maintain the development of the 332 RV spaces, however, the applicants are proposing project design changes that would consist of the following (See Project Description, Attachment 2):
 - Consider a new design that would reduce the disturbed area (grading) from 73 acres to 50 and reduce the development phases from 7 to 2;
 - Reduce the amount of grading, retaining walls and paving for roads;
 - Reduce the RV space size and reduce the use of impermeable materials;
 - Relocate reception building to the northeast, further away from Golden Hill Road;
 - Eliminate the club house;
 - Provide a designated tent camping area (11 tents for rent);
 - Replace the masonry wall proposed along Golden Hill Rd. with an open fence with screening landscaping;
 - Eliminate the RV sites at the south east corner of the site, reducing views of RVs from Golden Hill Rd.;
 - Provide a dry camping area (for self-contained RVs, no sewer or water hook-ups);
 - Request to review various conditions of approval related to road improvements and fees;
 - Addendum to the Mitigated Negative Declaration related to Kit Fox mitigation as a result of less site impact.
 5. The project was reviewed by the Development Review Committee (DRC) at their meeting on October 24, 2011. The DRC was in favor of the changes since it reduced the amount of site disturbance. The DRC recognized that the main topic of discussion for the Planning Commission would most likely be the change of screen wall material from decorative masonry wall to open fencing and landscaping. The DRC was acceptable to

the idea as long as screening of the RVs could be adequately screened from views from Golden Hill Road.

6. Along with the original project was the approval of a Mitigated Negative Declaration (Res. 09-025) which identified mitigation measures necessary to reduce environmental impacts to a level of “less than significant” in the following areas: Biological, Transportation/Circulation, Air Quality, and Hazards (Airport related mitigation).
7. Since the project was previously approved along with a Mitigated Negative Declaration (MND), and since the proposed project amendments will reduce the projects disturbed area from approximately 73 acres down to 50 acres, changes to the MND would consist of minor technical changes related to Kit Fox mitigation. Also the traffic mitigation measures would be revised to be consistent with the recent Circulation Element and the Parallel Routes Study. The California Environmental Quality Act (CEQA) Section 15164, allows an agency to prepare an "Addendum to a Negative Declaration" to be considered by the Planning Commission and need not be circulated for public review.
8. The City has received two letters from neighbors that live on Circle B Road. Those letters are attached as Attachments 3 and 4.

Analysis

And

Conclusion:

As described in the applicant’s Project Description, the reason for the amendments is to construct the Resort to accommodate standard RVs as opposed to larger, longer and heavier RV’s as anticipated with the original project. The number of total sites (332) has not changed, although there has been the inclusion of a dry camping area and a tent camping area.

Site Disturbance:

Since the project is not trying to accommodate the largest of RVs as before, the interior roads do not have to be paved, be as wide, and can be steeper. The reduction in the road design also allows for the elimination of many of retaining walls as originally designed. Therefore, the amount of pavement, retaining walls, and overall site grading is reduced.

RV Sites:

The project proposes to eliminate 48 RV sites at the southeast corner of the site. The 48 sites will be incorporated elsewhere in the site. The sites in general will be reduced in size and eliminate the impervious surfaces (concrete) originally proposed for each site. The revised design will allow areas to accommodate tent and “dry” camping.

The dry camping area would be located on the lower flat area at the northern end of the site. The area would accommodate RVs but would not provide separate sewer and water services to each site (hook-ups).

The designated permanent tent area is proposed to be located along the eastern edge of the resort. The tents will be set up by Paso Robles RV Resort that can be rented to campers. Permanent restrooms will be provided in the vicinity of the tent area.

Kit Fox Mitigation:

As a result of the reduction in the site disturbance from 73 acres to 50 acres, the mitigation that was originally required related to Kit Fox habitat can also be reduced. The Planning Commission is being asked to approve an amendment to the existing Mitigated Negative Declaration that would allow for a reduction in the required Kit Fox mitigation. A new Kit Fox Evaluation was prepared by the project Biologist that indicated that with the reduction of the disturbed area down to 50 acres, and given the type of habitat that is being preserved, that the 50 acres can be mitigated at a 2:1 ratio thereby requiring 100 acres of mitigation requirements as opposed to 219 required with the original project.

Masonry Wall Elimination:

The applicants are requesting that the Planning Commission allow the installation of open wire fencing along the Golden Hill Road project boundary instead of a decorative masonry wall as originally proposed. The wall was not required as noise or light/glare mitigation, it was an amenity proposed by the applicants with the original project. The proposal is to install a 6-foot tall no-climb wire fence. The fence would be installed on a berm and be landscaped with shrubs and trees. The landscape plans (Page L1-L11 of the project plans) indicate that the landscaping should grow-in and become a screen within five years after planting. The landscape plans also provide cross sections that indicate that given the site topography, existing vegetation and installation of the berm and landscaping that views of RVs from Golden Hill Road and/or neighboring homes should be minimal.

Traffic Impact and Road Improvements:

As discussed in the Project Description, there are three conditions of approval originally required for the project that the applicants are requesting to be amended. The conditions relate to traffic impact fees, Golden Hill Road improvements, and landscaping within the Golden Hill Road right of way. The request for amending these conditions relates to City policies that have changed since the original project approval in 2009. Since 2009, the City Council has adopted the 2011 Circulation Element and the Parallel Route Study. As discussed in the City Engineer Memo (Attachment 3) it is necessary to revise engineering conditions to take in consideration the new studies.

New Conditions:

Recreational vehicle parks are regulated by the State Department of Housing and Community Development. The City will not be issuing grading or building permits. In order to insure that the project mitigation measures and conditions of approval are satisfied in a timely manner (i.e. prior to the issuance of a grading permit, encroachment permit, or prior to occupancy) a new condition has been added that requires that an agreement be entered into between the applicants and the City outlining timing of project mitigation and condition completion. The agreement will be subject to approval by the City Attorney and be required to be executed prior to the State's issuance of a grading permit.

Additionally a condition of approval has been added that requires the completion of a Landscape Documentation Package (LPD) as required by the City's Landscape and

Irrigation Ordinance, since the landscape area of this project will be over one acre.

When taking into consideration the proposed amendments for the project the most prominent change is a reduction in site disturbance. Although the previous applicant communicated an intent to limit use of the RV Park to large RV's, the City's prior approval did not make such limitations as a condition of approval. There does not appear to be any compelling argument to support requiring a minimum RV size to protect the public health, safety, and welfare. Also, the changes in conditions related traffic impact fees and road improvements have been revised by the City Engineer to be consistent with the Circulation Element and Parallel Route Study, and shouldn't need additional Planning Commission discussion, since the changes are consistent with Council Policy.

The issue of replacing previously proposed masonry wall with open fencing and screen landscaping would seem to be the main topic of discussion. As mentioned above, the masonry wall was not identified in the environmental review as needed for noise or light/glare mitigation. The wall constructed on top of a landscape berm, with screen landscaping was provided in the original project to screen the RV's from views from Golden Hill Road and from the Circle B neighbors. The applicants have provided site cross sections that show that the fencing on top of the landscape berm with landscaping can provide adequate screening. The landscaping plan indicates that the landscaping would take at least 5 years to become mature.

In conclusion, the proposed amendments to reduce the amount of site impacts and bring the traffic impact mitigation into compliance with current policy seems reasonable. The issue of requiring a masonry wall or open fencing will need to be discussed among the Commission. Two options have been provided that would allow for the change to fencing or require the decorative masonry wall.

Policy

Reference: General Plan Land Use Element; General Plan Update EIR certified in 2003; Zoning Code and California Environmental Quality Act (CEQA), Airport Land Use Plan, Economic Strategy.

Fiscal

Impact: None

Options: After consideration of all public testimony, that the Planning Commission may choose the following options:

- a.
 1. Adopt a Resolution approving an amendment to PD 08-001 & CUP 08-001, as proposed, subject to site-specific and standard conditions of approval;
 2. Adopt a Resolution approving an Addendum to the Mitigated Negative Declaration related to Biological Resources (Kit Fox);
- b.
 1. Adopt a Resolution approving an amendment to PD 08-001 & CUP 08-001, with the requirement to construct the masonry wall as originally approved subject to site-specific and standard conditions of approval;
 2. Adopt a Resolution approving an Addendum to the Mitigated Negative Declaration related to Biological Resources (Kit Fox).
- c. Amend, modify or reject the foregoing option.

Prepared by Darren Nash, Associate Planner

Attachments:

1. Vicinity Map
2. Applicant's Project Description
3. Victoria Berg Letter
4. McCowin Letter
5. City Engineer Memo
6. Resolution approving Amendment to PD 08-001 & CUP 08-001
7. Resolution approving an addendum to Mitigated Negative Declaration
8. Resolution 09-027
9. Newspaper and Mail Notice Affidavits

SITE



VICINITY MAP
NO SCALE

Attachment 1
Vicinity Map
PD 08-001 & CUP 08-001 Amendment
(Paso Robles RV Resort)

Paso Robles Motorcoach Resort Project Design Update

Introduction

The Paso Robles Motorcoach Resort was approved in March of 2009 by the City Council after review and recommendations for approval by the Planning Commission.

The approval included a Tentative Map approval for a Lot Line Adjustment of the 3 existing parcels on 160 acres and the approval of a Development Plan and Conditional Use Permit for 332 RV sites. The Lot Line Adjustment has been completed and recorded. As part of the recording of the map, a 58.8-acre parcel enveloping the Huer Huero River has been dedicated to the City as Open Space. The Open Space parcel represents over a third of the original property acreage.

In the years since the original idea for the Class A Motorcoach Resort was developed in 2006, the world of recreational vehicle travel has changed considerably. The expansion of RV use has taken place in the broader spectrum of vehicles with the percentage of Class A motorcoaches representing less than 8% of the RV traveling market. For the long term success of the resort it is clear that the other 92% of the market must be accommodated in the project. In order to accommodate a broader spectrum of visitors the site has been redesigned. As a result of the redesign some of the original conditions of approval are not consistent with the updated design. The project is therefore being brought back to the Planning Commission for presentation of the new design and reconsideration of some of the conditions of approval. The project has been renamed to "Paso Robles RV Resort" to better reflect the revised project and business approach.

Paso Robles RV Resort New Design Concept

The updated design accommodates the approved 332 sites in a smaller project footprint than the original design due to a general reduction of site size. While some of the larger sites (up to 10,650 SF/Approx ¼ acre) are being maintained for larger vehicles, the typical sites are smaller, appropriate to the expanded uses. The redesigned typical site has a minimum width of 25' and depth of 60' still making the sites generous in size as compared to a typical RV park. The overall project disturbance area is reduced from 73 acres to 50 acres for a 33% reduction.

The original approved sites had an area of concrete pavers to park the RV and an additional vehicle which typically was approximately 70' x 20' covering an area of about 1,400 SF. While some of these larger pads will be maintained for larger vehicles the majority will have a significantly reduced concrete surface. The preferred site design will be constructed with an area of compacted decomposed granite for parking the vehicles with a concrete patio located at the door to the RV or Trailer. The patio is approximately 8' x 12'.

With the reduction in site size it was possible to eliminate a number of paved asphalt roads. Additionally, in the flatter area down by the Huer Huero Creek the road is proposed to be constructed of compacted Class II Base and the sites in this area will be more natural "dry camping" area without sewer hookups.

Attachment 2

Project Description

PD 08-001 & CUP 08-001 Amendment

(Paso Robles RV Resort)

Agenda Item No. 1 Page 7 of 99

To further accommodate a broader spectrum of users, areas of group camping (RVs and tents) and areas of temporary and permanent tent camping are proposed.

It is proposed to relocate the Reception Building to the northeast, putting it further away from the existing neighbors.

A softer approach to the project perimeter fencing is proposed, substituting a landscaped open fence for the previously proposed solid wall.

All of the proposed changes result in significant reductions in impacts by the project.

Benefits of Updated Design

- Significant reduction in grading
Sites have been removed from some of the steeper areas of the property allowing significant reductions in earthwork cut and fill volumes as well as surface area. Roads originally serving these areas have been removed in the redesign.
- Significant reduction in impervious surfaces allowing more natural drainage and recharge.
- Elimination of roads:
Approximately 68,000 SF (1.6 AC) of asphalt paving and 22,414 SF of concrete curbing has been eliminated in the redesign for a total reduction of 80,690 SF or 1.85AC.
- Reduction of Site size and use of permeable materials:
The parking areas on the majority of the sites are being considerably reduced in size. In the originally approved project, the parking areas were typically a minimum of 70' x 20' or approximately 1,400 SF. The majority of the sites are proposed to have parking areas of decomposed granite with approximate dimensions of 60' x 12' or 720 SF, nearly half of the originally proposed size.
- Significant reduction of retaining walls
Approximately 3,860 LF of retaining walls are proposed to be eliminated
- Provides broader opportunities for visitors to Paso Robles
- Less intrusion into the Huer Huero Creek Floodplain
- Less disturbed area - 73 acres reduced to 50 acres
- Reduced visibility from neighbors of the Reception building by moving it further to the east
- Elimination of the sites at the southeast corner of the project moves the project further from Golden Eagle nests identified in the biological study
- Provides more permeability for Kit Fox travel with the substitution of a landscaped open fence for the solid block wall perimeter fencing

Proposed Modification to Conditions of Approval

Resolution No. 09-027

Condition #12

Existing Condition:

- 12 *The project will be subject to traffic impact and other development impact fees in effect at the time of occupancy of the project. Traffic mitigation will include the deposit of \$1,600,000 towards the construction of a bridge over the Huer Huero proportionally applied to the incremental development of the project. Transportation impact fees subsequently set by City Council action will supersede this condition. Any fees paid prior to council action will be credited towards the final fee obligation.*

Proposed revision:

12. The project will be subject to traffic impact and other development impact fees in effect at the time of occupancy of the project. ~~Traffic mitigation will include the deposit of \$1,600,000 towards the construction of a bridge over the Huer Huero proportionally applied to the incremental development of the project. Transportation impact fees subsequently set by City Council action will supersede this condition. Any fees paid prior to council action will be credited towards the final fee obligation.~~

Discussion:

- The connection of Golden Hill Road Dry and Creek Road along with the construction of a bridge over the Huer Huero Creek has been an element of the General Plan Circulation Element since 2003. It is a circulation improvement that clearly serves the general population and not just the adjacent property owners. This has been further reinforced with the City Council approval of the Parallel Route Study which defines this connection as one of the important connections to achieve the goals of the Parallel Route Study. It is ranked #6 in Table 7 of the Ranking of Alternatives on its own and ranked #1 and #2 when included in Alternatives 5 and 6. (See attached exhibits from the Final SR 46 Parallel Routes Study, July 2008.)
- The 2011 Circulation Element of the General Plan clearly reaffirms the importance to the City as a whole of the connection of Golden Hill Road and Dry Creek Road with the bridge over the Huer Huero Creek. It is identified in Figure CE-1 (attached) as a City-wide improvement.
- The City AB1600 Development Impact fees have identified this connection as a "City-Wide" Transportation Improvement. This improvement was originally included in the Development Impact fees in 2004 for total cost of \$3,200,000 with 100% attributable to new development. In 2006 the total cost was revised to \$14,000,000 with 39.41% (\$5,517,687) attributable to new development and \$8,484,313 the responsibility of the City. The estimated cost of \$14,000,000 clearly includes the bridge and the roads connecting to the bridge. Every project constructed in the City of Paso Robles and a

Resolution No. 09-027

Condition #13

Existing Condition:

- 13a. *Golden Hill Road shall be constructed in general conformance to the preliminary plans, plans approved by the City Engineer, and in accordance with the plan proposed. The section of Golden Hill Road extending to the project entrance shall be constructed prior to occupancy of the first phase.*
- b. *At the time of occupancy of Phase 1, the applicant shall enter into an agreement to construct Golden Hill Road from Phase 1 to the Huer Huero bridge in accordance with the phasing plan. The agreement will provide that the City may at the discretion of the City, accept a cash deposit, in lieu of construction, based on a construction cost estimate approved by the City Engineer.*
- c. *In consideration of an off-setting cash deposit, the City may limit the construction of Golden Hill Road, from Phase 1 to the secondary point of access, to standards approved by Emergency Services at the time of development of Phase 4.*
- d. *In consideration of an off-setting cash deposit, the City may defer the construction of Golden Hill Road from the secondary access to the Huer Huero bridge to the time of construction of the bridge.*

Proposed revision:

- 13a. Golden Hill Road shall be constructed in general conformance to the preliminary plans, plans approved by the City Engineer, and in accordance with the plan proposed. The section of Golden Hill Road extending to the project entrance shall be constructed prior to occupancy of the first phase.
- b. ~~At the time of occupancy of Phase 1, the applicant shall enter into an agreement to construct Golden Hill Road from Phase 1 to the Huer Huero bridge in accordance with the phasing plan. The agreement will provide that the City may at the discretion of the City, accept a cash deposit, in lieu of construction, based on a construction cost estimate approved by the City Engineer.~~

At the time of occupancy of Phase 1, the applicant shall dedicate the necessary Right of Way for the future construction of Golden Hill Road to the bridge and any Right of Way necessary for the bridge.

- c. ~~In consideration of an off-setting cash deposit, the City may limit the construction of Golden Hill Road, from Phase 1 to the secondary point of access, to standards approved by Emergency Services at the time of development of Phase 4.~~

At the time of occupancy of Phase 1, the applicant shall construct a road from the project entrance to the secondary point of access to standards approved by the Department of Emergency Services.

Darren Nash

From: Victoria Berg <vsberg@att.net>
Sent: Thursday, December 29, 2011 1:09 PM
To: Planning
Subject: Paso Robles Motorcoach Resort Project Design Update

Dear Planning Department:

I have received a letter from Mr. Larry Werner of North Coast Engineering, INC. outlining proposed changes to the RV resort plan on Golden Hill Road. The letter states these changes will come before the planning commission for review on January 10th, 2012. I live at 3649 Golden Hill Road, across the street from this development. According to the Paso Robles Motorcoach Resort Project Revision document, RV resort changes are being proposed to attract the "92%" of RV travelers who do not drive Class A motorcoaches.

My husband and I opposed the approved RV project at this location, and considered it a poor transition to a residential neighborhood. The proposed design changes for the "Paso Robles RV Resort" are even less consistent with environmental, economic, residential and aesthetic concerns for our neighborhood and the city of Paso Robles.

The approved plan was designed to attract an "8%" upscale RV motorcoach demographic. This group would like to access the recreational opportunities in Paso and surrounding areas, and have the means to do so. If you have been downtown lately, you will know that there are wonderful opportunities for wine tasting, shopping, art galleries, and enjoying our restaurants.

Proposed design changes in the RV resort plan include spaces for tent camping and smaller, probably older RV's. The advisability of attracting the 92% demographic of tent campers, and other RV owners to Paso Robles is unclear, as the purchasing preferences of this group of consumers will likely be inconsistent with the bulk of services and products offered in downtown. In addition, there are existing and approved plans for this RV and camper demographic in the city of Paso. There is also hotel space for attendance at annual events such as the Mid-State Fair, car shows, etc.

Given the extent of RV resort changes proposed, a new environmental impact study should be conducted. I am concerned about sanitation for tent campers, noise, bonfires/fire pits, lighting and long-term residency of tent campers in my neighborhood. The original RV plan was for self-contained vehicles. Who will be responsible for monitoring the impacts of these changes? I am concerned that the tent campers and smaller RV owners will be driving their vehicles to and from camp-sites with greater frequency, further clogging and damaging Golden Hill Road. I am concerned that fuel emissions from these extra trips will further pollute the air in my neighborhood. I am very concerned about the additional noise from campers.

Finally, aesthetic changes proposed to the project, such as a no-climb fence instead of a wall, are not in a calibre of elegant design and afford less safety than in the original plan. Preserving the design elements of the original plan, to support the transition from recreational to residential zoning, is a concern.

I ask you, as Paso Robles City planning commissioners, is this the demographic the city of Paso Robles wants to market toward? Is this a market segment that will support our local economy? And if

so, isn't there already approval for a project that captures the broader spectrum RV and camper demographic, located in a much better spot, that is not in conflict with our residential neighborhood?

Thank you for your consideration.

Victoria Simon Berg
3649 Golden Hill Road
Paso Robles CA 93446

JAN 03 2012

Engineering Division

Joseph & Lydia McCowin
3635 Golden Hill Rd.
Paso Robles, California 93446

January 2, 2012

City of El Paso de Robles
1000 Spring Street
Paso Robles, California 93446

Dear Mayor Picanco and Planning Commission,

We are writing regarding the proposed amendments to new Paso Robles RV Park (PD 08-001, CUP 08-001). There are many differences from the original Paso Robles Motorcoach Resort plans that were approved and the one now being proposed. The original plan was to attract the clientele that drive the Class A motor homes, touting that these were an upscale group of people that would be coming into our city, wine tasting, shopping and dining at our local restaurants. Also these were self contained RV's and in general a quiet group of people. This new plan is every type of camper including tent camping. Where and how many bathroom facilities do they have for these campers? Are they all cooking over a campfire? What activities are there other than a pool? Where there was once a nice Tuscan looking structure for checking in is now a guard booth. The previous owners were going to relocate our entry gate and put in a solid one to mitigate the car lights and to put a solid wall where our current gate is with a walking gate only. Is that still the plan? There also was a solid security wall around the perimeter and that is now to be a wire fence.

We see that it's being spun as an eco friendly camper park with dirt roads instead of paved roads. In reality, the only reason it was changed is because Mr. Munde's property is no longer part of this development and the RV spots that were going to be on his property had to be relocated and fit in elsewhere. This is just a really cheap version of the original plan, and a bait and switch from the developer.

There were many speakers at the previous city meetings commenting on what a poor transition this would be from upscale homes in a gated residential neighborhood to an RV park, and the City took these comments very seriously. The developers at that time went to great lengths to try to mitigate these concerns before the City approved the zoning change and plans. Now the developers are proposing tents across the street? What's next? We would like the City to deny this application if it cannot be as originally approved. If the City goes forward with this new plan we will request a new EIR and traffic study. The new types of camping being proposed will have a greater impact not lesser impact on the property and surrounding areas and contribute to even worse traffic at the Golden Hill Road and Hwy 46 E intersection than the previous plan. We also believe the transition would be completely unacceptable.

Sincerely,

Joseph & Lydia McCowin

Joseph McCowin
Lydia McCowin

Attachment 4
McCowin Letter
PD 08-001 & CUP 08-001 Amendment
(Paso Robles RV Resort)

MEMORANDUM

TO: Darren Nash
FROM: John Falkenstien
SUBJECT: PD 08-001 Amended Paso Robles RV Resort
DATE: December 22, 2011 (Revised Jan. 3, 2012)

Grading, Drainage and Storm Water Quality

The City is obligated by the Regional Water Quality Control Board to require all projects to implement low impact development best management practices to mitigate impacts to the quality of storm water run-off and to limit the increase in the rate and volume of storm water run-off to the maximum extent practical. As the Regional Board continues to work towards a long-term hydro-modification mitigation strategy, they require us to implement interim criteria. A storm water report submitted with the application adequately addresses these requirements.

Traffic

Since the number of spaces remains similar, the original traffic study dated January, 2008, remains accurate. All of the intersections along the Highway 46E corridor will continue to deteriorate below levels of service acceptable to Caltrans. Traffic mitigation should support the road connections recommended in the Parallel Routes Study and reflected in the 2011 Circulation Element. From the "Traffic Study" by Associated Transportation Engineers dated January 11, 2008; *"developments within the area to be served by the parallel route should participate in funding of the route study"*.

Streets

The first phase of the project will complete Golden Hill Road from the north boundary of the Erskine industrial subdivision to the entry of the park. A public road turn around must be provided at this point. While the extension of Golden Hill Road to Dry Creek Road is shown in the 2011 Circulation Element, its priority is considered low and the likelihood of its completion in the foreseeable future is remote. In subsequent phases it would not be a prudent use of resources to build the road in anticipation of a bridge connection that may be many years away. The Municipal Code requires an in-lieu fee where street improvements are not feasible. Policies in the Circulation Element advocate support of parallel routes to the highway.

The City Council has authorized a study to update the traffic mitigation fees in accordance with the new Circulation Element. Eventually, impact fees collected upon occupancy in the amount in effect at that time should be adequate. However, current impact fees are significantly discounted from the recommendations of the 2006 impact fee justification study; therefore they do not provide adequate mitigation. The condition of approval adopted in 2009, addresses this discrepancy by placing a tentative dollar figure on impact fees. That condition has been modified in this memo to reflect a direct relationship between the 2006 Taussig Fee Study and the project's Traffic Study.

Attachment 5

City Engineer Memo
PD 08-001 & CUP 08-001 Amendment
(Paso Robles RV Resort)

Sewer and Water

Sanitary sewer is available to the project from the City's main trunk line traversing the site and serving the airport area.

Water is available from a 12-inch water main in Golden Hill Road. This main should be extended in the Golden Hill Road right-of-way to the north boundary of the project along with a based access road.

Floodplain

Portions of the project may be located in an A Zone as indicated on Flood Insurance Rate Maps prepared by FEMA. In an A Zone no base flood information has been determined. In accordance with the City's floodplain ordinance the applicant will be required to submit a floodplain study prepared by a civil engineer demonstrating that the placement of fill along the Huer Huero will not encroach into the floodway or substantially raise the height of flooding on adjacent properties. The study must state that the project will comply with all provisions of the City's floodplain ordinance.

Recommended Conditions

Low impact development best management practices as outlined in the project submittals shall be incorporated into the project grading plans and shall meet design criteria adopted by the City in effect at the time of development of the project.

The project will be subject to traffic impact and other development impact fees in effect at the time of occupancy of the project. Unless updated, traffic impact fees will be consistent with the "*Justification Study*" by Taussig October, 2006. Phase I fees will be \$465,567. (\$811.80 per average daily trip per; 3.7 ADT per space).

Prior to occupancy of Phase I, Golden Hill Road shall be fully constructed from the north boundary of Tract 2269 to the project entrance in accordance with plans approved by the City Engineer. The plans shall include provisions for a public traffic turn-around.

At the time of occupancy of Phase I, the applicant shall entire into an agreement to construct Golden Hill Road from Phase 1 to the Huer Huero bridge in accordance with the phasing plan. The agreement will provide that the City may accept a cash deposit in lieu of construction, based upon a construction cost estimate approved by the City Engineer.

A 12-inch water main shall be extended in the Golden Hill Road right-of-way to the north project boundary in accordance with plans approved by the City Engineer and in accordance with the phasing plan proposed. The plans shall include fire hydrants and an aggregate based access road.

Prior to grading of Phase 2, the applicant shall provide a floodplain study prepared by a civil engineer demonstrating compliance with the City's floodplain ordinance.

RESOLUTION NO.:

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES APPROVING
AN AMENDMENT TO
PLANNED DEVELOPMENT 08-001 & CONDITIONAL USE PERMIT 08-001
(Paso Robles RV Resort)
APN: 025-435-022, & 023

WHEREAS, PD 08-001 & CUP 08-001 (The PR Motorcoach Resort project) was approved by the City Council on February 10, 2004, via Resolutions 09-025, 09-026 & 09-027; and

WHEREAS, the project is located on the 73-acre site at the northern end of Golden Hill Road, on the east side of the road; and

WHEREAS, the project allows for the development of a 332 space RV resort; and

WHEREAS, North Coast Engineering on behalf of Paso 33 LP, has applied to amend PD 08-001 & CUP 08-001; and

WHEREAS, the proposed amendment would consist of the following changes:

- Consider a new design that would reduce the disturbed area (grading) from 73 acres to 50;
- Reduce the amount of grading, retaining walls and paving for roads;
- Reduce the RV space size and reduce the use of impermeable materials;
- Relocate reception building to the northeast, further away from Golden Hill Road;
- Eliminate the club house;
- Replace the masonry wall proposed along Golden Hill Rd. with an open fence with screening landscaping;
- Eliminate the RV sites at the south east corner of the site, reducing views of RVs from Golden Hill Rd.;
- Request to review various conditions of approval related to road improvements and fees;
- Addendum to the Mitigated Negative Declaration related to Kit Fox mitigation as a result of less site impact.

WHEREAS, a resolution was adopted by the Planning Commission approving an Addendum to the previously approved Mitigated Negative Declaration (Res. 09-025) for this project, in accordance with the California Environmental Quality Act; and

WHEREAS, at its January 10, 2012 meeting, the Planning Commission held a duly noticed public hearing on the Project, to accept public testimony on the proposed amendments to Planned Development 08-001 & CUP 08-001; and

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of El Paso de Robles does hereby make approve the amendment to Planned Development 08-001 & CUP 08-001, subject to the following conditions:

1. Recreational vehicle parks are regulated by the State Department of Housing and Community Development. The City will not be issuing grading or building permits. In order to insure that the project mitigation measures and conditions of approval are satisfied in a timely manner (i.e. prior to the issuance of a grading permit, encroachment permit, or occupancy) an agreement shall be entered into between the applicants and the City outlining timing of project mitigation and condition completion. The agreement shall be subject to approval by the City Attorney and be executed prior to the State's issuance of a grading permit. City Attorney time and materials shall be paid by the applicants prior to execution of the Agreement.
2. As required by Section 21.22B.050 (Landscape and Irrigation Ordinance) since the landscape area for this project will be over 1 acre, a Landscape Document Package (LPD) as outlined in the Ordinance shall be provided prior to the issuance of a water meter.
3. All conditions within Resolutions 09-025, 09-026, 09-027 & 09-028, shall remain in full effect and be complied with at the time as indicated by said resolutions (or as determined with the Agreement with the City as described in Condition No. 1 of this Resolution), except for the amendments or additions of the following conditions:

Resolution No. 09-027:

2. The following Exhibits shall replace their respective Exhibits within Resolution 09-027:

EXHIBIT	DESCRIPTION
A	Phase I-Site Plan
B	Phase II – Site Plan
C	Landscape Plans L1-L11

5. The project is proposed to be developed in 2 phases. In the event that the applicant wishes to change the phasing order, after verification from the City Engineer that there are no concerns, the DRC may approve the phasing changer request.

Replace Conditions 11-15 shall be replaced with the following conditions:

11. Low impact development best management practices as outlined in the project submittals shall be incorporated into the project grading plans and shall meet design criteria adopted by the City in effect at the time of development of the project.
12. The project will be subject to traffic impact and other development impact fees in effect at the time of occupancy of the project. Unless updated, traffic impact fees will be consistent with the *“Justification Study” by Taussig October, 2006*. Phase I fees will be \$465,567. (\$811.80 per average daily trip per; 3.7 ADT per space).

13. Prior to occupancy of Phase I, Golden Hill Road shall be fully constructed from the north boundary of Tract 2269 to the project entrance in accordance with plans approved by the City Engineer. The plans shall include provisions for a public traffic turn-around.
14. At the time of occupancy of Phase I, the applicant shall enter into an agreement to construct Golden Hill Road from Phase 1 to the Huer Huero bridge in accordance with the phasing plan. The agreement will provide that the City may accept a cash deposit in lieu of construction, based upon a construction cost estimate approved by the City Engineer.
15. A 12-inch water main shall be extended in the Golden Hill Road right-of-way to the north project boundary in accordance with plans approved by the City Engineer and in accordance with the phasing plan proposed. The plans shall include fire hydrants and an aggregate based access road.
16. Prior to grading of Phase 2, the applicant shall provide a floodplain study prepared by a civil engineer demonstrating compliance with the City's floodplain ordinance.

Exhibit A, (Standard Conditions), Section A.1:

1. This project approval shall expire on January 10, 2014 unless a time extension request is filed with the Community Development Department prior to expiration.

PASSED AND ADOPTED THIS 10th day of January, 2012 by the following Roll Call Vote:

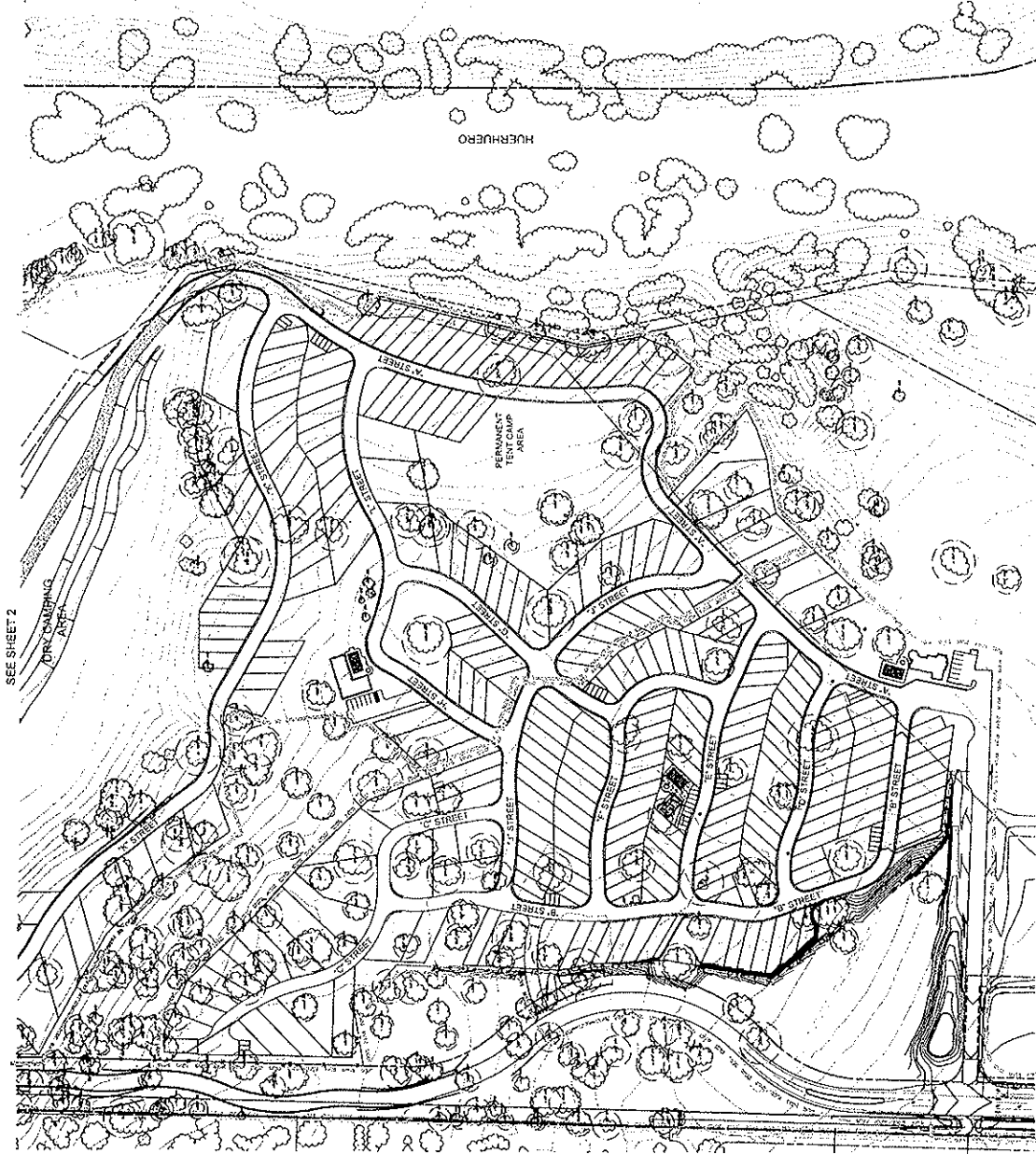
AYES:
 NOES:
 ABSENT:
 ABSTAIN:

 CHAIRMAN _____

ATTEST:

 ED GALLAGHER, PLANNING COMMISSION SECRETARY

h:darren/PD/Paso Robles RV Park /2012 Amendment/011012 PC Res



SITE COUNTS

RV SITES	276
TEST CAMPING SITES	31
RVY CAMPING SITES	35
TOTAL	342

LEGEND

- RV SITE 4
- TEST CAMPING SITE 4
- PHASE 1 SITES
- PHASE 2 SITES
- PHASE 3 SITES
- PHASE 4 SITES
- PHASE 5 SITES
- PHASE 6 SITES
- PHASE 7 SITES
- PHASE 8 SITES
- PHASE 9 SITES
- PHASE 10 SITES
- PHASE 11 SITES
- PHASE 12 SITES
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- PHASE 98 SITES
- PHASE 99 SITES
- PHASE 100 SITES

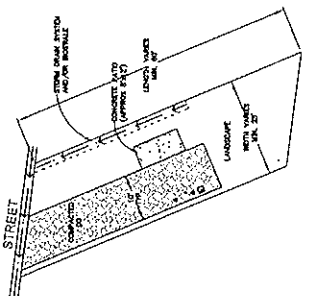


"PASO ROBLES RV RESORT"
PHASE 1 REVISED SITE PLAN EXHIBIT

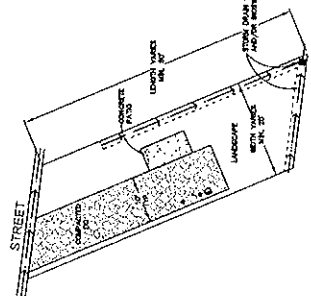
NCE
NORTH COAST ENGINEERING, INC.
225 Ocean Ave., Suite 200, San Diego, CA 92101
760-441-1117

SHEET 1 OF 2

SEE SHEET 2

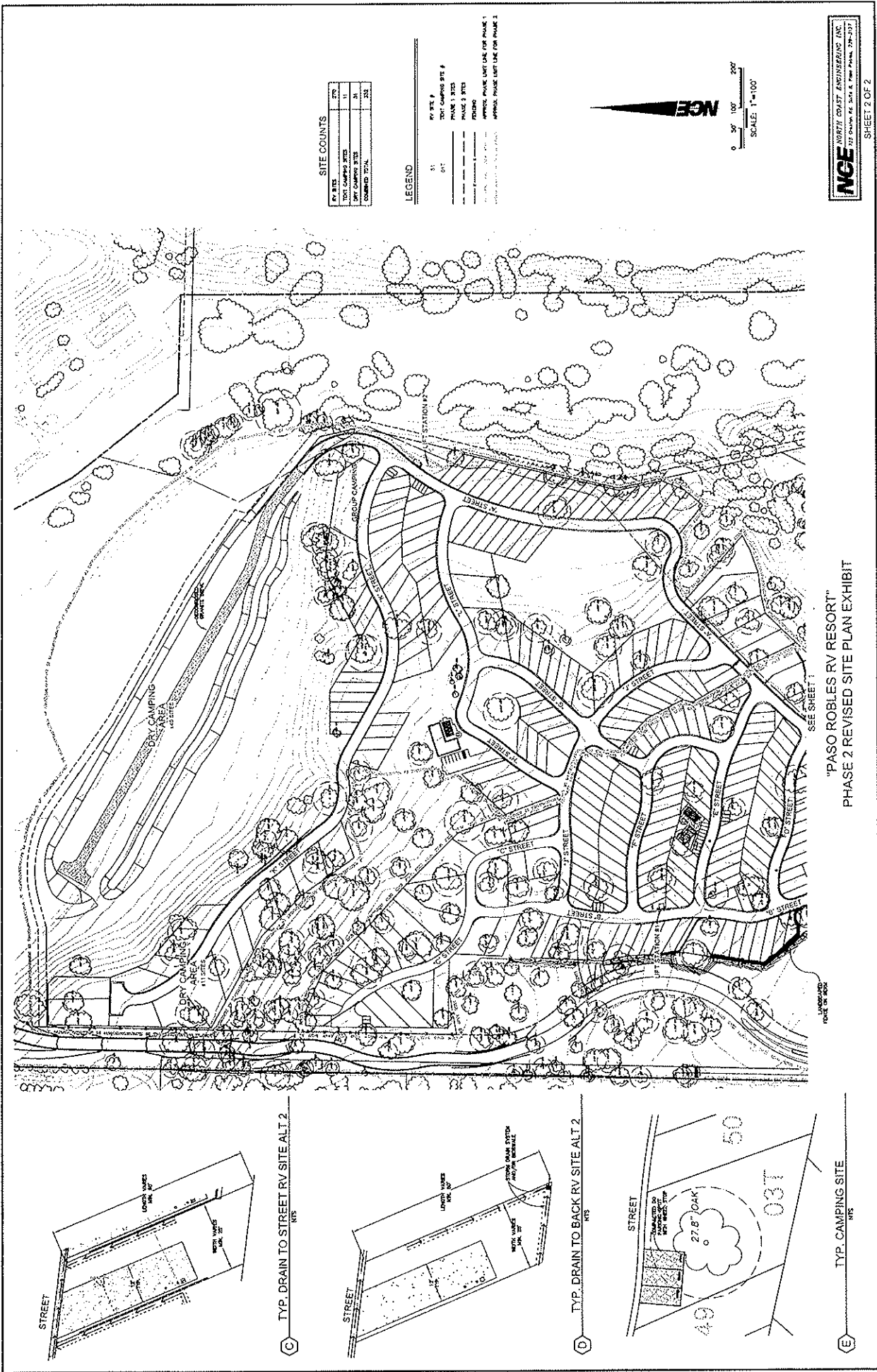


A TYP. DRAIN TO STREET RV SITE ALT 1



B TYP. DRAIN TO BACK RV SITE ALT 1

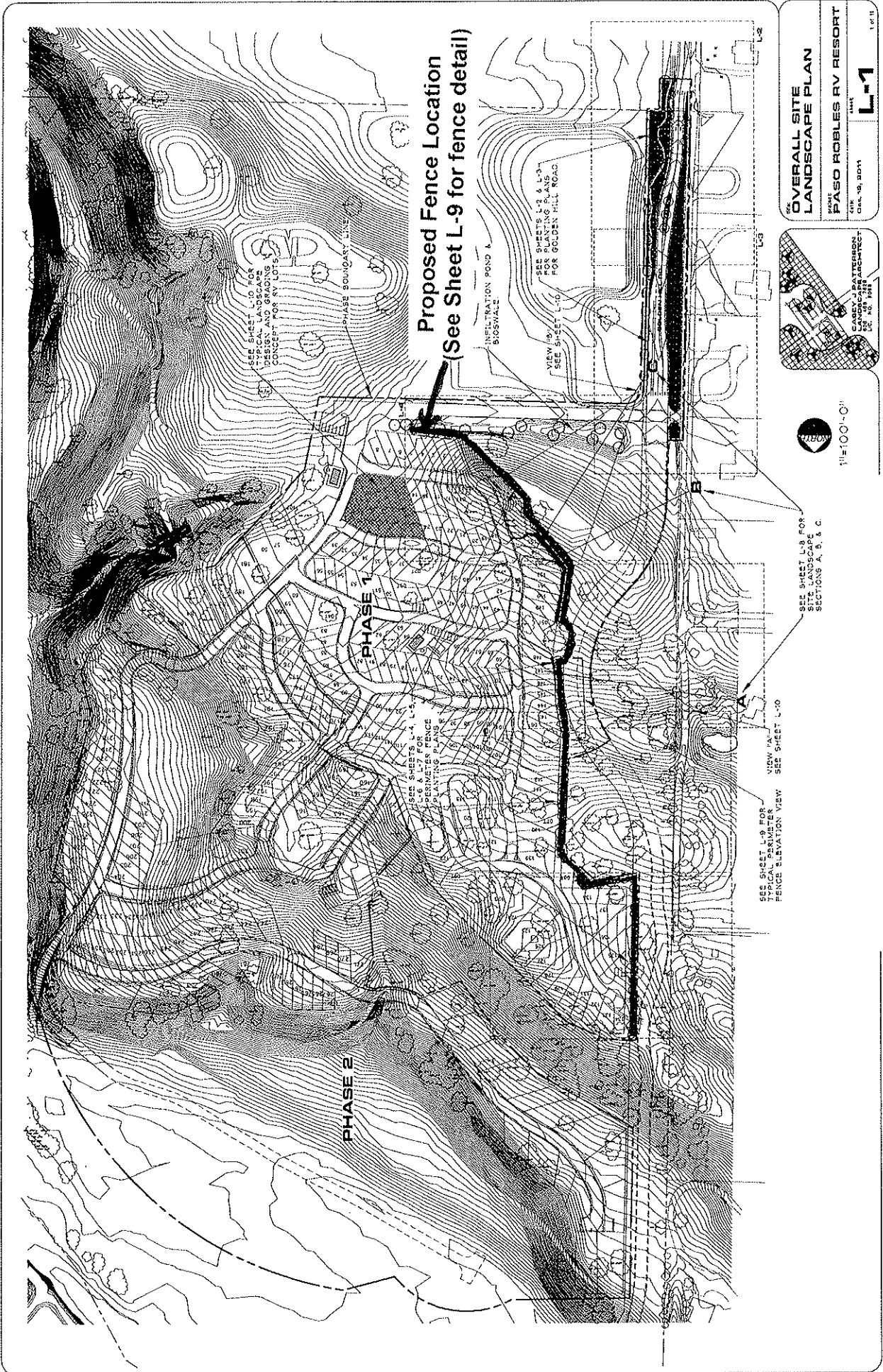
Exhibit A
Phase I Revised Site plan
PD 08-001 & CUP 08-001 Amendment
(Paso Robles RV Resort)



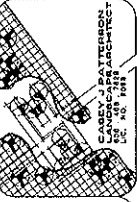
NCE
 NORTH COAST ENGINEERING, INC.
 1222 Highway 101, Suite 400, Pismo Beach, CA 93450
 SHEET 2 OF 2

Exhibit B
 Phase II Revised Site plan
 PD 08-001 & CUP 08-001 Amendment
 (Paso Robles RV Resort)

11/20/2011 11:58:43 AM C:\Users\jgarcia\Documents\Projects\08-001\08-001-02\08-001-02-02.dwg

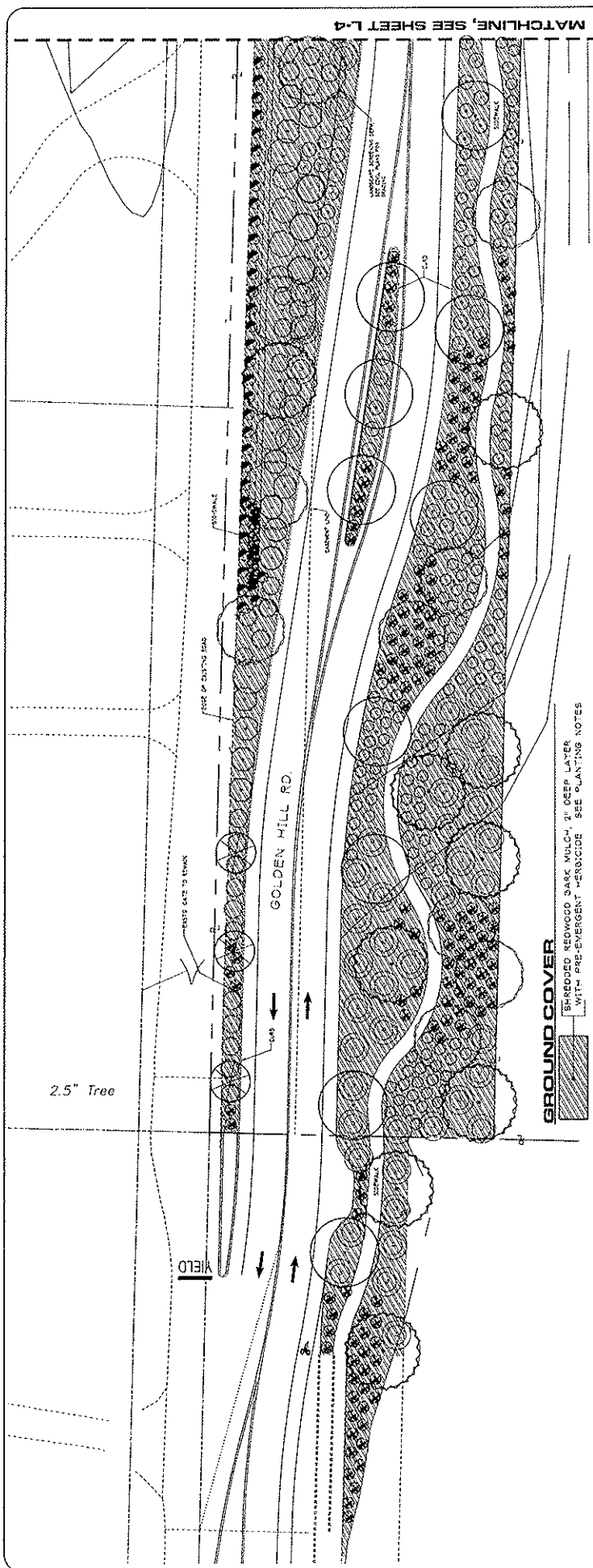


OVERALL SITE
 LANDSCAPE PLAN
 PASO ROBLES RV RESORT
 SHEET
 L-1
 DATE: 05A-10-2011
 1 of 15

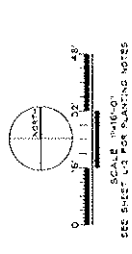


1"=100'-0"

Exhibit C
 Landscape Plans L1-L11
 PD 08-001 & CUP 08-001 Amendment
 (Paso Robles RV Resort)



MATCHLINE, SEE SHEET L-4



LANDSCAPE LAYOUT AREA CALCULATION
 TOTAL PLANTING AREA: 10,405 SF
 NOTE: PRODUCT IS LESS THAN 1 ACRES
 MAXIMUM LAWN AREA 10% OF TOTAL = 1,040 SF
 AMOUNT ON PLAN = NONE

GROUND COVER

SEEDING MIXED DARK WILLOW 4" DEEP LAYER WITH PER-EMERGENT HERBICIDE SEE PLANTING NOTES

PLANT SYMBOL LEGEND (CONTINUED FROM SHEET L-1)

SYMBOL	PLANT NAME	PLANT SIZE	QUANTITY	PLANT VOLUME	QUANTITY	PLANT SIZE
●	JUNCUS PATENS (WIRE GRASS)	4" POT OF LINER	34		7	5 GAL
○	CAREX PRAEGRACILIS OF PANSA (CAL. WEADOW OF DUNE SEDGE)	4" POT OF LINER	20		7	5 GAL
⊙	MULLEBERGIA RIGENS (DEER GRASS)	4" POT OF LINER	217		5	15 GAL
⊙	LEYSIUS C. (CANTON PRINCE)	1 GAL	82		20	15 GAL
⊙	ERIOGONUM PAS. FOLIOLOSUM (CALIFORNIA BUCKWHEAT)	4" POT OF LINER	105		15	15 GAL
⊙	PERPETUCCA WHIPPLE (OUR LORD'S CANOLE)	5 GAL	26		10	15 GAL
⊙	ARTEMISIA CAL. (CANTON GRASS)	4" POT OF LINER	83		15	15 GAL
⊙	CALIFORNIA SAGEBRUSH (CAL. SAGEBRUSH)	1 GAL	31		10	15 GAL
⊙	PHANUS GROCEA (REDSEED)	5 GAL	45		10	15 GAL
⊙	ARCTOSTAPHYLOS SLAUCA (BIGBERRY MANZANITA)	1 GAL	16		10	15 GAL
⊙	BEANOTUS "DARK STAR" (MOUNTAIN LILAC)	5 GAL	17		10	15 GAL
⊙	RHUS OVATA (SUGAR BUSH)	5 GAL	23		10	15 GAL
⊙	BEANOTUS "JOYCE COULTER" (CREEPING MOUNTAIN LILAC)	1 GAL	61		10	15 GAL
○	PETERONIALES ARBUTIFOLIA (TOYON)					
○	PREMONTODENDRON "KEN TAYLOR" (FLANNEL BUSH)					
⊙	CERCIS OCCIDENTALIS (WINTERBURN REDGUD)					
○	QUERCUS AGRIFOLIA (LIVE OAK)					
○	ROSINA "PURPLE ROSE" (LOCUST)					
○	QUERCUS LODATA (VALLEY OAK)					

GOLDEN HILL ROAD PLANTING PLAN

PROJECT: PASO ROBLES RV RESORT

DATE: OCT. 10, 2011

SCALE: 1" = 10'

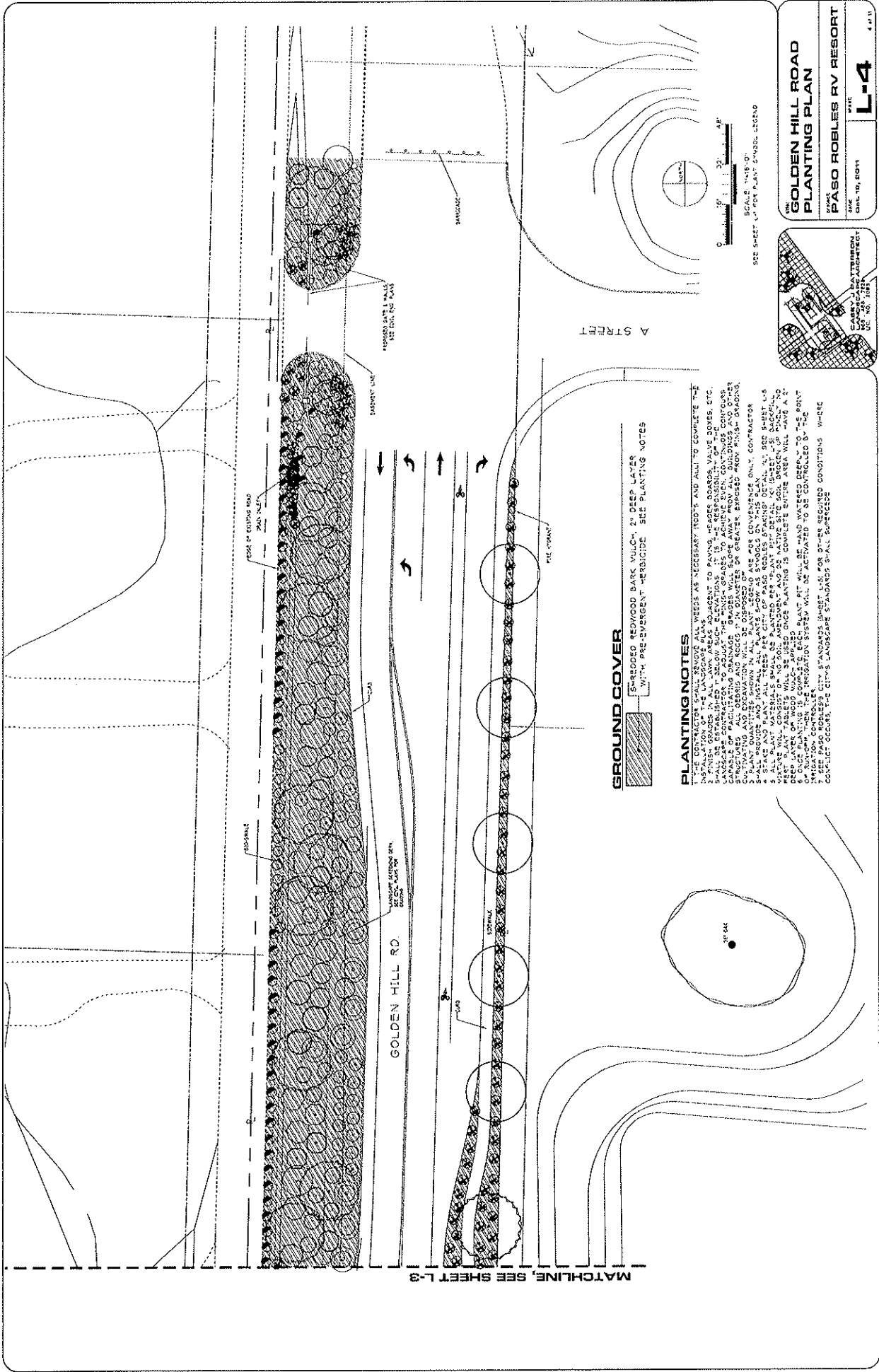
DESIGNER: CABEY HATTENSON

DATE: OCT. 10, 2011

PROJECT NO. 11-001

L-3

3 of 11



GROUND COVER

SHADED REDWOOD BARK MULCH, 2" DEEP LAYER WITH PRE-EMERGENT HERBICIDE. SEE PLANTING NOTES

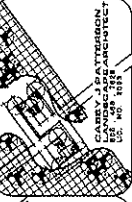
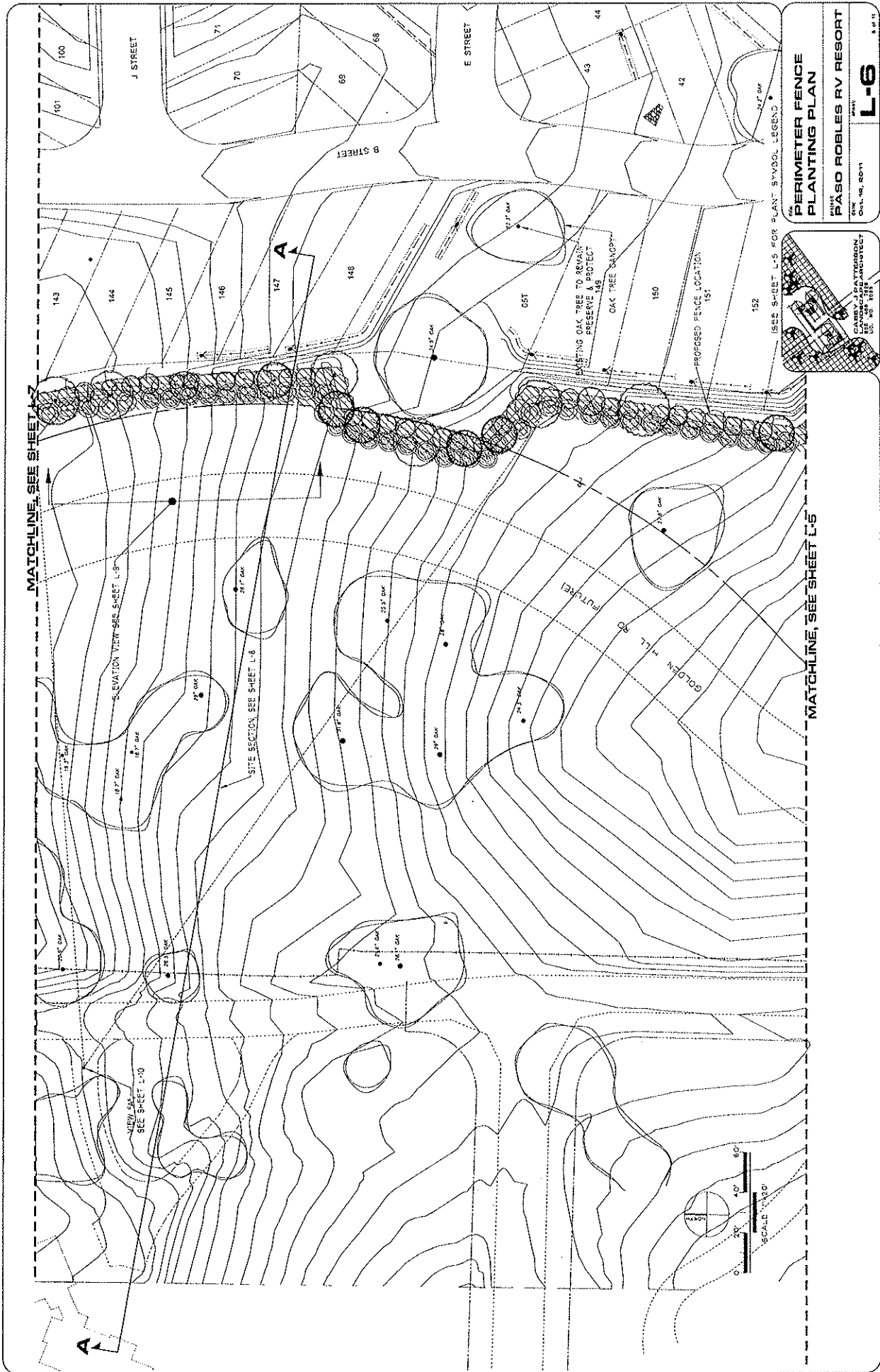
PLANTING NOTES

1. INSTALLATION OF THE LANDSCAPE PLANTS SHALL BE NECESSARY TO COMPLETE THE INSTALLATION OF THE LANDSCAPE PLAN.
2. FINISH GRADES IN ALL PLANT AREAS ADJACENT TO DRIVEWAYS, DRIVEWAYS, DRIVEWAYS, ETC. SHALL BE MAINTAINED TO PREVENT THE PLANTS FROM BEING DAMAGED BY GRADES.
3. LANDSCAPE CONTRACTOR TO OBTAIN THE FINISH GRADES TO ACHIEVE EVEN, CONTIGUOUS SURFACES. ALL DRIVEWAYS AND AREAS IN CONTACT WITH DRIVEWAYS SHALL BE FINISHED TO ACHIEVE A SMOOTH AND EVEN SURFACE.
4. ALL PLANTS SHALL BE PLANTED PER THE PLANTING DETAIL ON SHEET L-4.
5. ALL PLANTS SHALL BE PLANTED PER THE PLANTING DETAIL ON SHEET L-4.
6. ALL PLANTS SHALL BE PLANTED PER THE PLANTING DETAIL ON SHEET L-4.
7. ALL PLANTS SHALL BE PLANTED PER THE PLANTING DETAIL ON SHEET L-4.
8. ALL PLANTS SHALL BE PLANTED PER THE PLANTING DETAIL ON SHEET L-4.
9. ALL PLANTS SHALL BE PLANTED PER THE PLANTING DETAIL ON SHEET L-4.
10. ALL PLANTS SHALL BE PLANTED PER THE PLANTING DETAIL ON SHEET L-4.

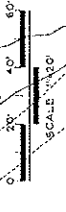
GOLDEN HILL ROAD
PASO ROBLES RV RESORT
 DRAWN BY: [Name]
 DATE: 08/10/2011
 SCALE: 1/4" = 1'-0"
 SEE SHEET L-3 FOR PLANT SYMBOL LEGEND

L-4

GARNEY WATERBORN
 LANDSCAPE ARCHITECT
 UIC NO. 1081



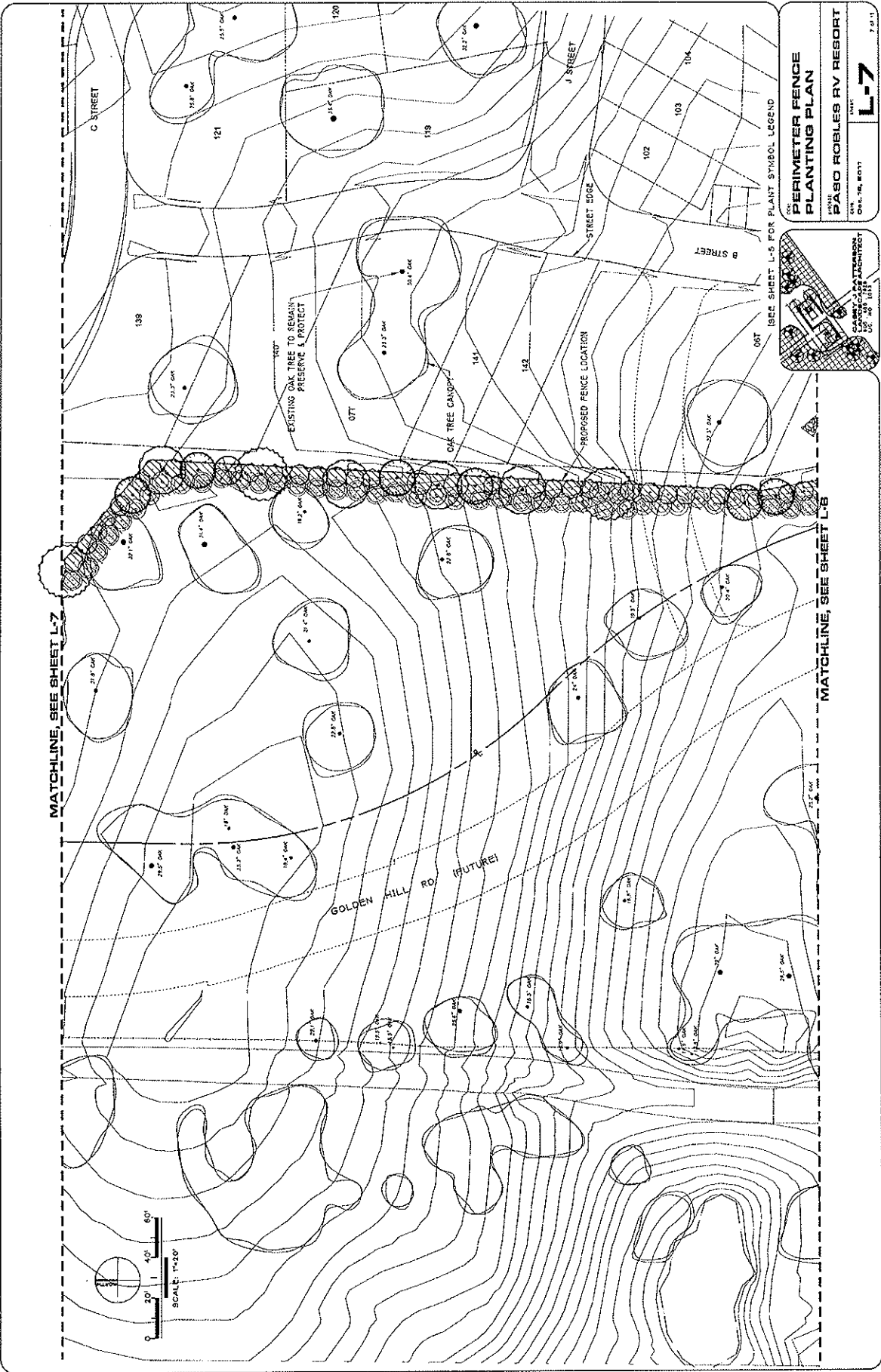
PERIMETER FENCE PLANTING PLAN
 PÁSO ROBLES RV RESORT
 DATE: 04.18.2011
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: [Number]
L-6
 8.0" = 1'



MATCHLINE, SEE SHEET L-7

MATCHLINE, SEE SHEET L-5

101, 100, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



MATCHLINE, SEE SHEET L-7

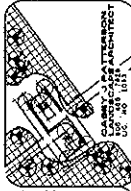
MATCHLINE, SEE SHEET L-6

EXISTING OAK TREE TO REMAIN
PRESERVE & PROTECT

OAK TREE CANOPY

PROPOSED FENCE LOCATION

SEE SHEET L-5 FOR PLANT SYMBOL LEGEND



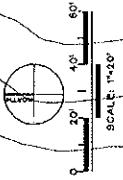
**PERIMETER FENCE
PLANTING PLAN**

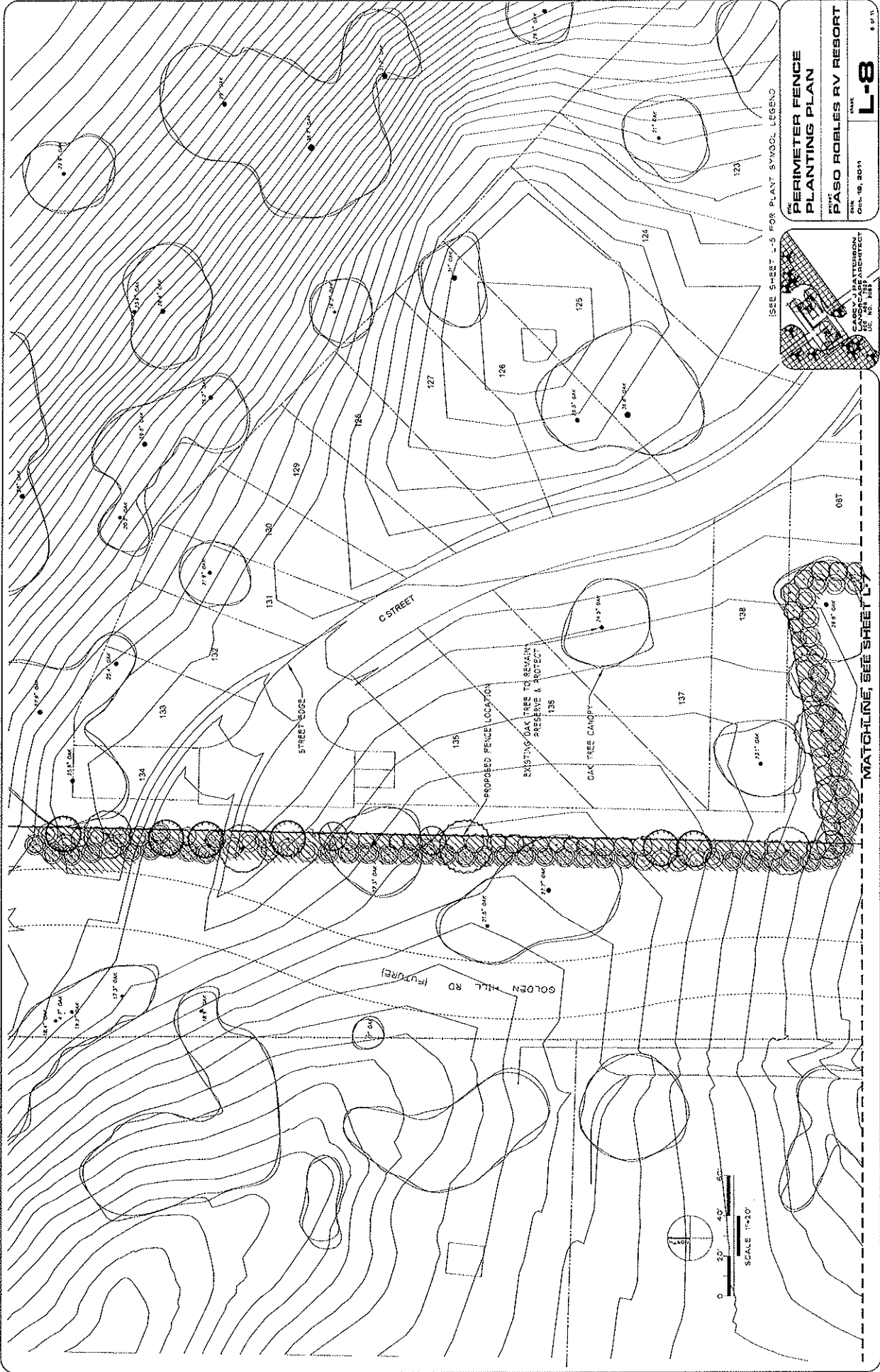
PROJECT: PASO ROBLES RV RESORT

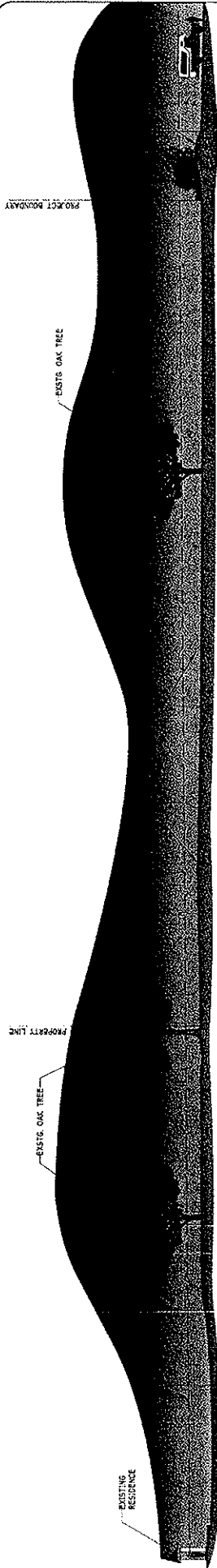
DATE: 07/14/2007

SCALE: 1"=20'

L-7



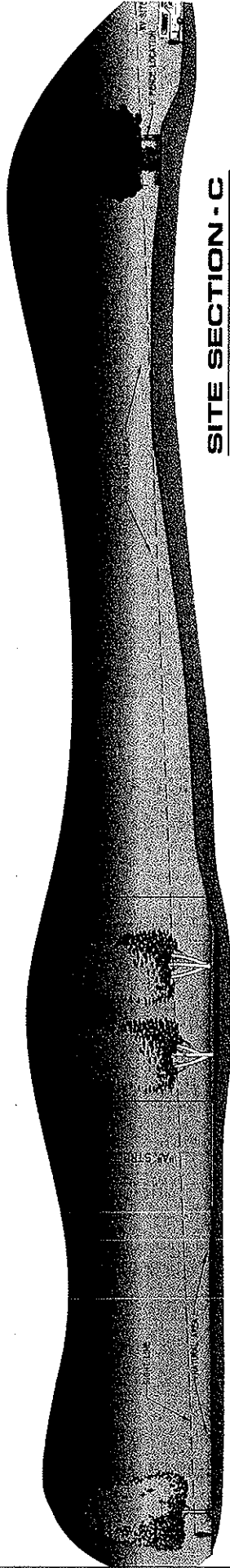




SITE SECTION - A
1/4"=16'-0"

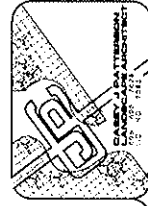


SITE SECTION - B
1/4"=16'-0"

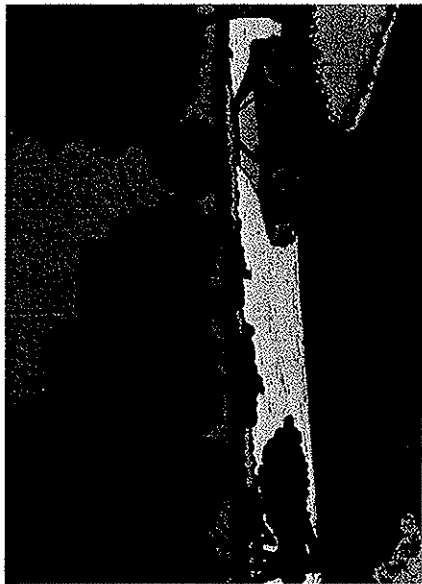


SITE SECTION - C
1/4"=16'-0"

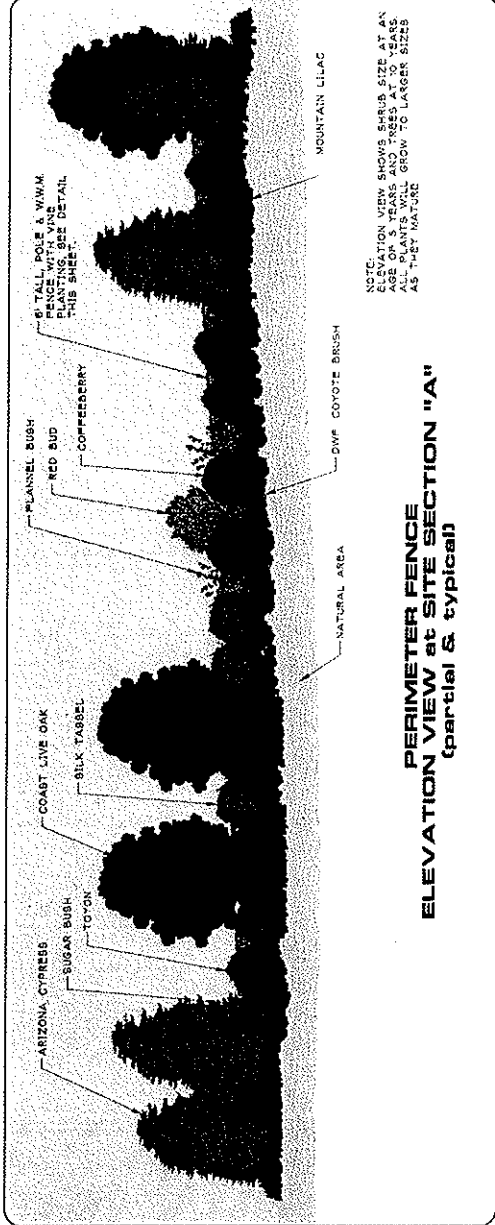
SITE SECTIONS A, B & C
PABO ROBLES RV RESORT
DATE: 10.18.2019



L-9

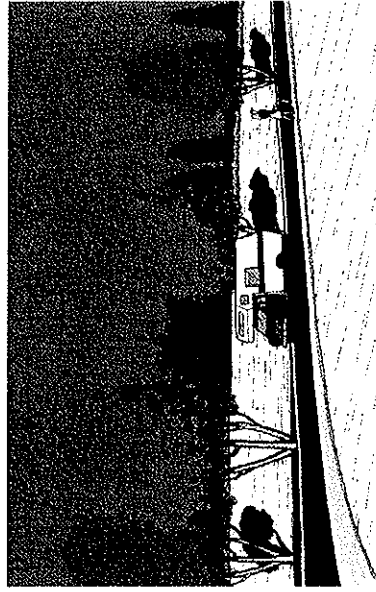


VIEW "A"

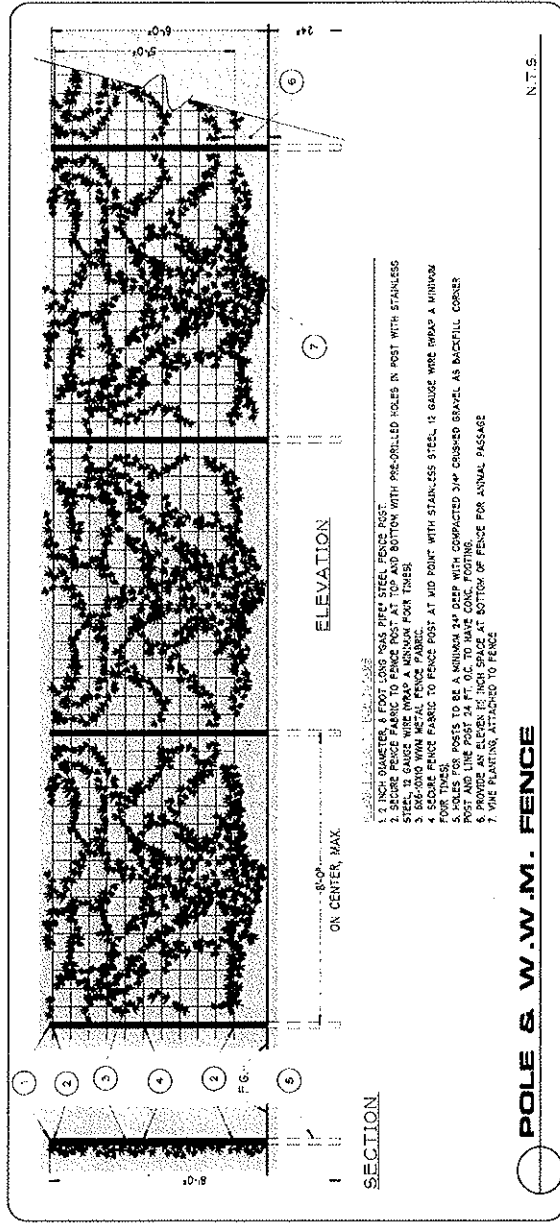


PERIMETER FENCE
ELEVATION VIEW at SITE SECTION "A"
(partial & typical)

NOTE:
ELEVATION VIEW SHOWS SHRUB SIZE AT AN
AGE OF 10 YEARS. TREES ARE PLANTED AS
AGE OF PLANTING. GOOD TO LARGER SIZES
AS THEY MATURE.



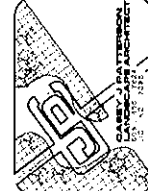
VIEW "B"



SECTION

POLE & W.W.M. FENCE

N.T.S.



TYP. ELEVATION, VIEWS
& FENCE DETAIL
PASEO ROBLES RV RESORT
DATE: 04.20.11
L-10

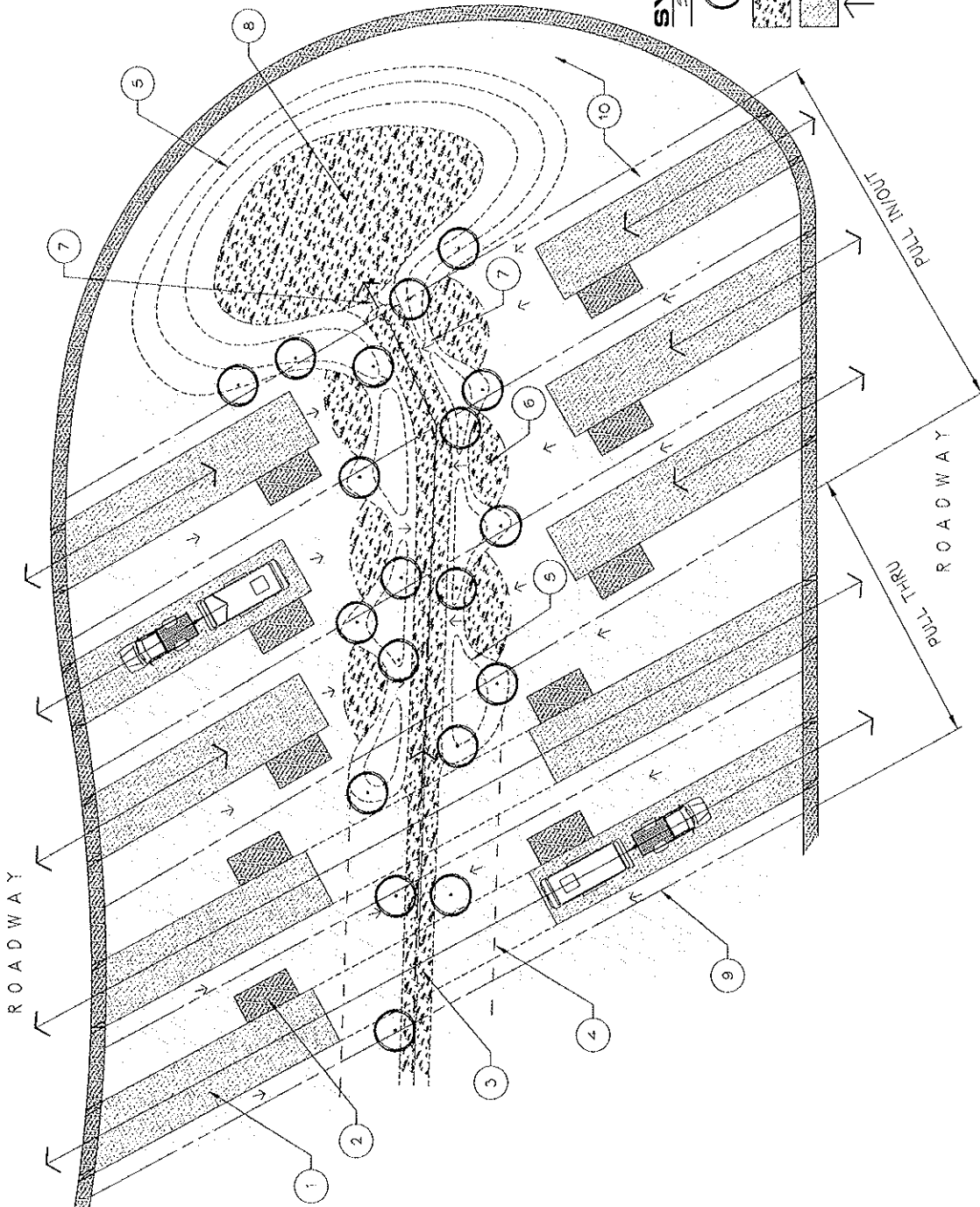
CALL-OUT NOTES

1. DECOMPOSED GRANITE RV PARKING PAD
2. CONCRETE PAD.
3. BIOSWALE FOR REAR LOT DRAINAGE
4. GRADE BREAK LINE, FROM (+/-) 2% TO 5% (MAX) SLOPE.
5. MINOR EARTH CONTOURING FOR DRAINAGE CONTROL
6. SMALL RAIN GARDEN FOR RV LOT SITE DRAINAGE
7. EARTHEN WEIR
8. LARGE RAIN GARDEN
9. RV LOT PROPERTY LINE
10. NATURAL AREA



1"=10'-0"

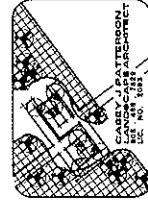
ROADWAY



SYMBOL LEGEND

SYMBOL

- SMALL TREE OR LARGE SHRUB LOCATION USED FOR PRIVACY AND SPACE ARTICULATION
- BIOSWALE PLANTING AREA SEE SHEET L-9 FOR PLANTING NOTES
- DECOMPOSED GRANITE PAVING AREA
- SITE DRAINAGE DIRECTION



TYPICAL RV LOT LANDSCAPE
 PASO ROBLES RV RESORT
 SHEET
L-11
 DATE: 10.20.11

CONCEPTUAL LANDSCAPE / SITE DRAINAGE

RESOLUTION NO:

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
APPROVING AN ADDENDUM TO MITIGATED NEGATIVE DECLARATION
FOR PLANNED DEVELOPMENT 08-001 AMENDMENT
(PASO ROBLES RV PARK)
APN: 025-435-022, 023

WHEREAS, PD 08-001 & CUP 08-001 (The PR Motorcoach Resort project) and associated Mitigated Negative Declaration was approved by the City Council on February 10, 2004, via Resolutions 09-025, 09-026 & 09-027; and

WHEREAS, the project is located on the 73-acre site at the northern end of Golden Hill Road, on the east side of the road; and

WHEREAS, the project allows for the development of a 332 space RV resort; and

WHEREAS, North Coast Engineering on behalf of Paso 33 LP, has applied to amend PD 08-001 & CUP 08-001; and

WHEREAS, the proposed amendment would consist of the following changes:

- Consider a new design that would reduce the disturbed area (grading) from 73 acres to 50;
- Reduce the amount of grading, retaining walls and paving for roads;
- Reduce the RV space size and reduce the use of impermeable materials;
- Relocate reception building to the northeast, further away from Golden Hill Road;
- Eliminate the club house;
- Replace the masonry wall proposed along Golden Hill Rd. with an open fence with screening landscaping;
- Eliminate the RV sites at the south east corner of the site, reducing views of RVs from Golden Hill Rd.;
- Request to review various conditions of approval related to road improvements and fees;
- Addendum to the Mitigated Negative Declaration related to Kit Fox mitigation as a result of less site impact.

WHEREAS, the Mitigated Negative Declaration (Res. 09-025) originally approved for the project identified mitigation measures necessary to reduce environmental impacts to a level of “less than significant” in the following areas: Biological, Transportation/Circulation, Air Quality and Hazards (Airport related mitigation); and

WHEREAS, since the project was previously approved along with a Mitigated Negative Declaration (MND), and since the proposed project amendments will reduce the projects disturbed area from approximately 73 acres down to 50 acres; and

WHEREAS, changes to the MND would consist of minor technical changes related to Kit Fox mitigation measures, the California Environmental Quality Act (CEQA) Section 15164, allows an agency to prepare an "Addendum to a Negative Declaration" to be considered by the Planning Commission and need not be circulated for public review; and

WHEREAS, a public hearing was conducted by the Planning Commission on January 10, 2012 to consider the request for amending the project, and to accept public testimony regarding this proposed project, and

NOW, THEREFORE, BE IT RESOLVED, by the Planning Commission of the City of El Paso de Robles, based on its independent judgment, to approve an Addendum to Mitigated Negative Declaration for Planned Development 08-001 and Conditional Use Permit 08-001(Resolution No. 09-027) in accordance with the California Environmental Quality Act; and

1. All mitigation measures identified in Resolution 09-025, shall remain in full effect and be complied with at the time as indicated by said resolutions, and exhibits, except that Mitigation Measure BR-18 related to San Joaquin Kit Fox, be replaced with the following new language to reflect the reduced site disturbance and habitat impact as indicated in the attached Kit Fox Habitat Evaluation Form (Exhibit A):

BR-18 Prior to issuance of grading and/or construction permits, the applicant shall submit evidence to the County of San Luis Obispo, Department of Planning and Building, Environmental and Resource Management Division (County) (see contact information below) that states that one or a combination of the following three San Joaquin kit fox mitigation measures has been implemented:

- a. Provide for the protection in perpetuity, through acquisition of fee or a conservation easement of **100 (50 disturbed area x2)** acres of suitable habitat in the kit fox corridor area (e.g. within the San Luis Obispo County kit fox habitat area, northwest of Highway 58), either on-site or off-site, and provide for a non-wasting endowment to provide for management and monitoring of the property in perpetuity. Lands to be conserved shall be subject to the review and approval of the California Department of Fish and Game (Department) and the County.

This mitigation alternative (a.) requires that all aspects of this program must be in place before City or State permit issuance or initiation of any ground disturbing activities.

- b. Deposit funds into an approved in-lieu fee program, which would provide for the protection in perpetuity of suitable habitat in the kit fox corridor area within San Luis Obispo County, and provide for a non-wasting endowment for management and monitoring of the property in perpetuity.

Mitigation alternative (b) above, can be completed by providing funds to The Nature Conservancy (TNC) pursuant to the Voluntary Fee-Based Compensatory Mitigation Program (Program). The Program was established in agreement between the Department and TNC to preserve San Joaquin kit fox habitat, and to provide a voluntary mitigation alternative to project proponents who must mitigate the impacts of projects in accordance with the California Environmental Quality Act (CEQA). The fee, payable to "The Nature Conservancy", would total **\$250,000**. This fee is calculated based on the current cost-per-unit of \$2500 per acre of mitigation, which is scheduled to be adjusted to

address the increasing cost of property in San Luis Obispo County; your actual cost may increase depending on the timing of payment. This fee must be paid after the Department provides written notification about your mitigation options but prior to County permit issuance and initiation of any ground disturbing activities.

- c. Purchase **100** credits in a Department-approved conservation bank, which would provide for the protection in perpetuity of suitable habitat within the kit fox corridor area and provide for a non-wasting endowment for management and monitoring of the property in perpetuity.

Mitigation alternative (c) above, can be completed by purchasing credits from the Palo Prieto Conservation Bank (see contact information below). The Palo Prieto Conservation Bank was established to preserve San Joaquin kit fox habitat, and to provide a voluntary mitigation alternative to project proponents who must mitigate the impacts of projects in accordance with the California Environmental Quality Act (CEQA). The cost for purchasing credits is payable to the owners of The Palo Prieto Conservation Bank, and would total **\$250,000**. This fee is calculated based on the current cost-per-credit of \$2500 per acre of mitigation. The fee is established by the conservation bank owner and may change at any time. Your actual cost may increase depending on the timing of payment. Purchase of credits must be completed prior to City or State permit issuance and initiation of any ground disturbing activities.

PASSED AND ADOPTED THIS 10th day of January 2012, by the following roll call vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

CHAIRMAN _____

ATTEST:

ED GALLAGHER, PLANNING COMMISSION SECRETARY

Kit Fox Habitat Evaluation Form

Cover Sheet

Project Name **Paso Robles RV Park** Date **11-15-11**
Paso 33 LP

Project Location
Golden Hill Road
Paso Robles

Include project vicinity map and project boundary on copy of U.S.G.S. 7.5. minute map (size may be reduced)

U.S.G.S. Quad Map Name **Paso Robles**

Lat/Long or UTM coordinates (if available) **N 35.6566^o**
W 120.6535^o

Project Description: **Recreational Vehicle camping park**


Project Size: **50 acres** Amount of Kit Fox Habitat Affected: **50 acres**

Quantity of WHR Habitat Types Impacted (i.e. 2 acres annual grassland, 3 acres blue oak woodland)

WHR type	California annual grassland	9.7 acres
	Oak Savannah	26.3 acres
	Oak Woodland	14.0 acres

Comments:

The 160 acre property is currently used for grazing. The proposed project would impact 50 acres.

Form Completed by: 

Revised 03/02

Exhibit A
Kit Fox Evaluation
PD 08-001 & CUP 08-001 Amendment
(Paso Robles RV Resort)

San Joaquin Kit Fox Habitat Evaluation Form

Is the project within 10 miles from a recorded San Joaquin kit fox observation or within contiguous suitable habitat as defined in Question 2(A-E)?

YES – Continue with evaluation form
 NO – Evaluation form/surveys are not necessary

1. Importance of the project area relative to Recovery Plan for Upland Species of the San Joaquin Valley, California (Williams et al, 1998).

- A. Project would block or degrade an existing corridor linking core populations or isolate a subpopulation (20).
- B. Project is within a core population (15)
- C. Project area is identified within satellite population (12)
- D. Project area is within a corridor linking satellite populations (10)
- E. Project area is not within any of the previously described areas but is within known kit fox range (5)

2. Habitat characteristics of the project area.

- A. Annual grassland or saltbush scrub present >50% of site (15)
- B. Grassland or saltbush scrub present but comprises <50% of project area (10)
- C. Oak savannah present on >50% of site (8)
- D. Fallow ag fields or grain/alfalfa crops (7)
- E. Orchards/vineyards (5)
- F. Intensively maintained row crops or suitable vegetation absent (0)

3. Isolation of project area

- A. Project area surrounded by contiguous kit fox habitat as described in Question 2a-e (15)
- B. Project area adjacent to at least 40 acres of contiguous habitat or part of an existing corridor (10)
- C. Project area adjacent to <40 acres of habitat but linked by existing corridor (i.e.- river, canal, aqueduct) (7)
- D. Project area surrounded by ag but less than 200 yards from habitat (5)
- E. Project area completely isolated by row crops or development and is greater than 200 yards from potential habitat (0)

4. Potential for increased mortality as a result of the project implementation. Mortality may come from direct (e.g. – construction related) or indirect (e.g. –vehicle strikes due to increases in post development traffic) sources.

- A. Increase in mortality likely (10)
- B. Unknown mortality effects (5)
- C. No long term effect on mortality (0)

- 5. Amount of potential kit fox habitat affected
 - A. > 320 acres (10)
 - B. 160-319 acres (7)
 - C. 80-159 acres (5)
 - D. 40-79 acres (3)
 - E. <40 acres (1)

- 6. Results of project implementation
 - A. Project site will be permanently converted and will no longer support foxes (10)
 - B. Project area will be temporarily impacted but will require periodic disturbance for ongoing maintenance (7)
 - C. Project area will be temporarily impacted and no maintenance necessary (5)
 - D. Project will result in changes to agricultural crops (2)
 - E. No habitat impacts (0)

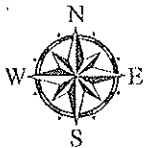
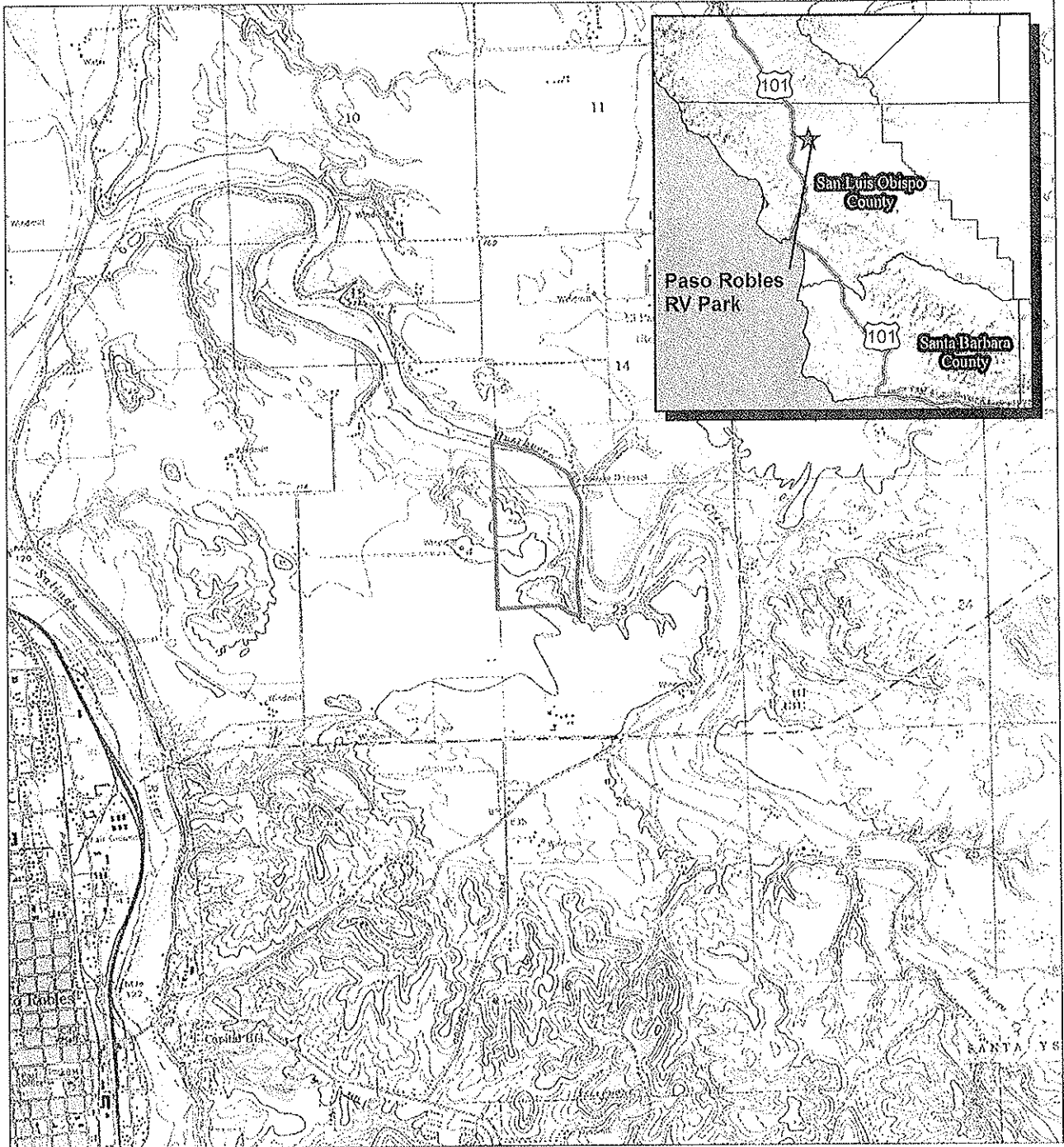
- 7. Project shape
 - A. Large block (10)
 - B. Linear with >40 foot right-of way (5)
 - C. Linear with <40 foot right-of-way (3)

- 8. Have San Joaquin kit foxes been observed within 3 miles of the project area within the last 10 years?
 - A. Yes (10)
 - B. No (0)


Scoring

1. Recovery importance	<u>20</u>
2. Habitat condition	<u>8</u>
3. Isolation	<u>10</u>
4. Mortality	<u>5</u>
5. Quantity of habitat impacted	<u>3</u>
6. Project results	<u>10</u>
7. Project shape	<u>10</u>
8. Recent observations	<u>0</u>
Total	<u>66</u>

USGS Topographic Map



Legend

 Property Boundary

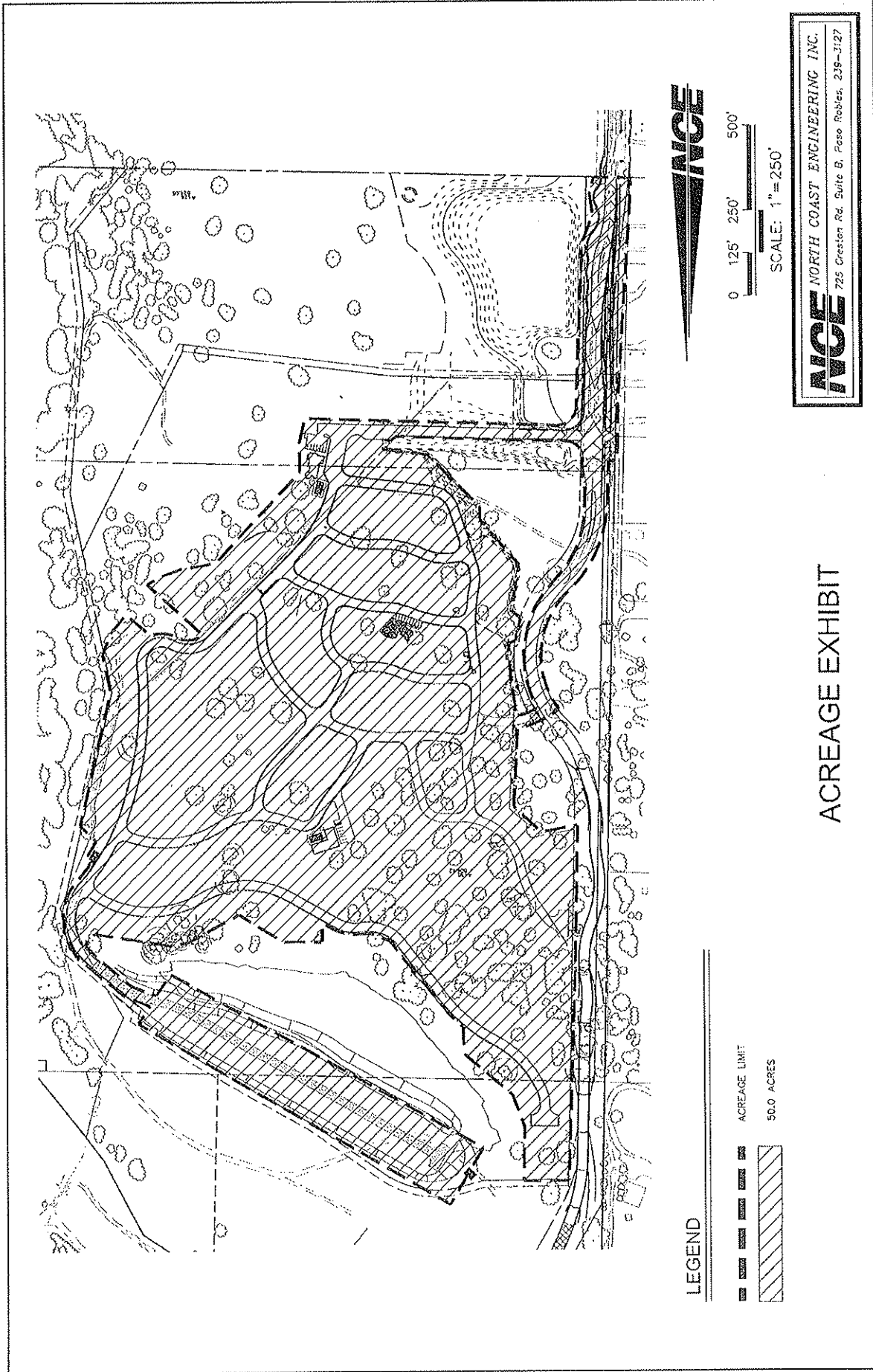


**Paso Robles RV Park
Topography**

USGS Topographic Map
Map Updated: November 16, 2011, 09:06 AM



Althouse and Meade, Inc.
1602 Spring Street
Paso Robles, CA 93446



LEGEND

-  ACREAGE LIMIT
-  50.0 ACRES

ACREAGE EXHIBIT

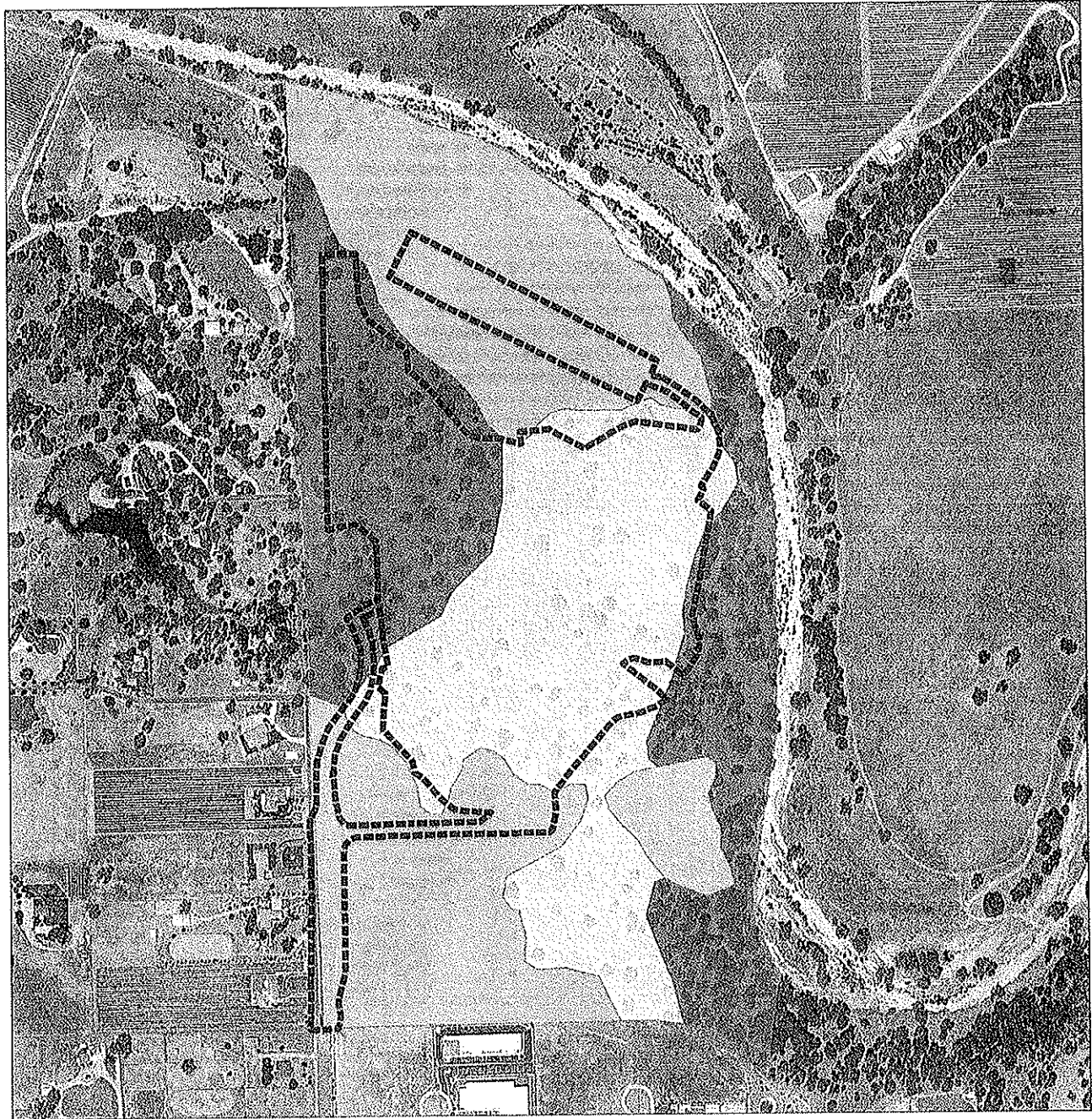


SCALE: 1" = 250'




ACE NORTH COAST ENGINEERING INC.
 725 Creston Rd. Suite B, Poso Robles, 239-3127


NORTH COAST ENGINEERING, INC. copyright © 2011

Habitat Map



Habitats

-  Grassland 9.7 acres w/in boundary
-  Oak Savannah 26.3 acres w/in boundary
-  Oak Woodland 14 acres w/in boundary

 Project Boundary



Paso Robles RV Park Habitats

2010 San Luis Obispo County
NAIP Aerial Photography
Map Updated: November 16, 2011, 08:30 AM



Althouse and Meade, Inc.
1602 Spring Street
Paso Robles, CA 93446

RESOLUTION NO. 09-027

A RESOLUTION OF
THE CITY COUNCIL OF THE CITY OF PASO ROBLES
APPROVING PLANNED DEVELOPMENT 08-001
NORTH END OF GOLDEN HILL ROAD, APN 025-435-005, 006 and 007
APPLICANT – PASO 160, LLC –
PASO ROBLES MOTORCOACH RESORT

WHEREAS, PD 08-001 has been filed by North Coast Engineering on behalf of Paso 160, LLC to construct a 332 space RV resort on the 160 acre site located at the northern terminus of Golden Hill Road, North of Highway 46 East; and

WHEREAS, the 160 acre site is currently comprised of three parcels, the applicants are proposing to reconfigure the three parcels via Lot Line Adjustment 07-093, where Parcel 1 would be 58.8 acres, Parcel 2 would be 68.6 acres and Parcel 3 would be 21.4 acres; and

WHEREAS, PD 08-001 proposes to develop the Paso Robles Motorcoach project on Parcel 2; and

WHEREAS, pursuant to the Statutes and Guidelines of the California Environmental Quality Act (CEQA), and the City's Procedures for Implementing CEQA, an Initial Study was prepared and circulated for public review and comment; and

WHEREAS, the Planning Commission held a duly noticed public hearing on February 24, 2009 on this project to accept public testimony on PD 08-001 and associated environmental review; and

WHEREAS, the Planning Commission on a 4-1 vote (1 abstention, 1 absent) recommended that the City Council approve PD 08-001; and

WHEREAS, the City Council held a duly noticed public hearing on March 17, 2009 on this project to accept public testimony on PD 08-001; and

WHEREAS, based on the information and analysis contained in the Initial Study, the City Council makes a determination that the proposed project will not result in significant environmental impacts and it is appropriate for the City Council to adopt a Mitigated Negative Declaration; and

WHEREAS, based upon the facts and analysis presented in the staff report and the attachments thereto, the public testimony received, and subject to the Conditions of Approval listed below, the City Council makes the following findings:

1. The Paso Robles Motorcoach Resort is consistent with the adopted codes, policies, standards and plans of the City; since the project has gone through the development review process including, environmental review and the processing of a Conditional Use Permit as required by Table 21.16.200 for Recreational Parks in the Parks and Open Space zoning districts; and

2. The Paso Robles Motorcoach Resort will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the residents and or businesses in the surrounding area, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City; since the project will be required to comply with the recommended conditions of approval, including any environmental mitigation measures, and comply with any building and fire codes; and
3. The Paso Robles Motorcoach Resort accommodates the aesthetic quality of the City as a whole, especially where development will be visible from the gateways to the City, scenic corridors and the public right-of-way; in this particular case, the project site is not located in a City gateway area or a scenic corridor and has minimal frontage to the public street, however, based on the project being designed to fit the subject site and based on the site plan, architecture and landscaping, the proposed development will accommodate the aesthetic quality of the City as a whole; and
4. The Paso Robles Motorcoach Resort is compatible with, and is not detrimental to, surrounding land uses and improvements, provides an appropriate visual appearance, and contributes to the mitigation of any environmental and social impacts, because the project has been designed to provide significant buffers, including setbacks, screen walls and landscaping from the residential neighborhood to the west, and additionally as a result of the site planning, building architecture and environmental mitigation, and included with this project.
5. The Paso Robles Motorcoach Resort is compatible with existing scenic and environmental resources such as hillsides, oak trees, vistas, etc. as a result of the project being designed to limit the amount of grading and oak tree impacts by developing in the flatter areas of the site, which allows for the preservation of the existing hillsides and oak trees; and
6. The Paso Robles Motorcoach Resort contributes to the orderly development of the City as a whole, since the project will utilize the existing infrastructure in Golden Hill Road, consisting of sewer water and other utilities; and
7. The Paso Robles Motorcoach Resort as conditioned would meet the intent of the General Plan and Zoning Ordinance by providing a hotel/resort type use in close proximity to golf courses and commercial recreation.
8. The Paso Robles Motorcoach Resort would be consistent with the Economic Strategy, since it would allow for the expansion and diversification of hotel-projects, by providing an end-destination full-service resort.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of El Paso de Robles approves PD 08-001, subject to the following conditions:

PLANNING:

1. Planned Development 08-001, along with Conditional Use Permit 08-001, GPA 09-001, Rezone 09-001 allows for the development of the 332 space Paso Robles Motorcoach Resort on Parcel 2 of Lot Line Adjustment 07-093.

2. The project shall be constructed in substantial conformance with the Conditions of Approval established by this Resolution and it shall be constructed in substantial conformance with the following Exhibits:

EXHIBIT	DESCRIPTION
A	Standard Conditions
B	Cover Sheet
C	Tentative Lot Line Adjustment
D	Site Plan
E	Phasing Plan
F1-F3	Prelim. Grading/Drainage
G	Grading Concepts
H	Creek Restoration Area
I	Underground Plan
J1-J2	Site Cross Sections
K	Details
L1-L4	Golden Hill Road
M1-M3	Registration Building Details
N1-N3	Pool House Details
O1-O3	Clubhouse Details
P1-P2	Guardhouse Details
Q1-Q2	Misc. Items
R	Outdoor Lighting
S1-S10	Landscape Plans

3. The maximum length of stay for any RV space is 30 consecutive days.
4. Prior to the issuance of a building permit, the Development Review Committee (DRC) shall review the following items to insure substantial compliance with the above listed Exhibits:
 - a. Final site details such as landscaping, decorative paving, benches, exterior lighting and any other site planning details;
 - b. Architectural elevations, including final materials, colors and details;
 - c. Equipment such as back flow devices, transformers, a/c condensers and appropriate screening methods for both views and noise. Back flow and double check-valves shall not be visible from Golden Hill Road;
 - d. Final grading and drainage plans.
 - e. Signage
5. The project is proposed to be developed in 7 phases (see Exhibit E). In the event that the applicant wishes to change the phasing order, after verification by the City Engineer that there are no concerns, the DRC may approve the phasing change request.
6. Landscape screening shall be reviewed by Planning Staff after two years from the time of installation to insure that landscaping is in good healthy condition and being maintained in an acceptable manner.
7. Prior to the issuance of a grading permit, the applicants will need to provide an Oak Tree Replacement plan that indicates the location and timing of the planting of the required oak tree replacement trees.

8. In the event if in the future there is request to add additional impervious concrete or asphalt to the project, the request will need to be approved by both the Engineering and Planning Divisions to insure the addition of the impervious surface is consistent with the Low Impact Development plan for this project.
9. As required by Section 21.13.030 of the Zoning Ordinance, Overlay District Regulations, Parcel 3 of LLA 07-0293 as shown on Figure 21.13-8, is conditioned by Ordinance No. 09-955 N.S. to limit future uses to the following agricultural/recreational related uses and be subject to a Conditional Use Permit as noted below:
 - Crop production (includes dry and irrigated farming, orchards, vineyards) (1)
 - Wineries (1)
 - Wine-tasting rooms (1)
 - Libraries, museums and art galleries (private) (2)
 - Ball fields, playgrounds, stadiums and amphitheaters (2)(3)
 - Hot springs resort/spa (2)(3)
 - Pools, waterslides (2)(3)
 - Tennis courts (2)(3)
 - Sit-down and/or walk-up restaurant with outdoor seating and liquor license (2)
 - Bed and breakfast inn (2)
 - Hotel, maximum 18 rooms (2)
 - Outdoor storage of materials and equipment (as an accessory use) with screening (1)

NOTES:

(1) Permitted Use

(2) Conditional Use – Requires approval of a Conditional Use Permit

(3) Can be accessory use to a hotel/resort development, subject to approval of a Conditional Use Permit

10. To the extent allowable by law, Owner agrees to hold City harmless from costs and expenses, including attorney's fees, incurred by City or held to be the liability of City in connection with City's defense of its actions in any proceeding brought in any State or Federal court challenging the City's actions with respect to the project. Owner understands and acknowledges that City is under no obligation to defend any legal actions challenging the City's actions with respect to the project.

ENGINEERING:

11. Low impact development best management practices shall be incorporated into the project grading plans in accordance with City standards at the time of permitting.
12. The project will be subject to traffic impact and other development impact fees in effect at the time of occupancy of the project. Traffic mitigation will include the deposit of \$1,600,000 towards construction of a bridge over the Huer Huero proportionally applied to the incremental development of the project. Transportation impact fees subsequently set by City Council action will supersede this condition. Any fees paid prior to council action will be credited towards the final fee obligation.

- 13 a. Golden Hill Road shall be constructed in general conformance to the preliminary plans, plans approved by the City Engineer, and in accordance with the phasing plan proposed. The section of Golden Hill Road extending to the project entrance shall be constructed prior to occupancy of the first phase.
 - b. At the time of occupancy of Phase I, the applicant shall enter into an agreement to construct Golden Hill Road from Phase I to the Huer Huero bridge in accordance with the phasing plan. The agreement will provide that the City may, at the discretion of the City, accept a cash deposit, in lieu of construction, based upon a construction cost estimate approved by the City Engineer.
 - c. In consideration of an off-setting cash deposit, the City may limit the construction of Golden Hill Road, from Phase I to the secondary point of access, to standards approved by Emergency Services at the time of development of Phase 4.
 - d. In consideration of an off-setting cash deposit, the City may defer the construction of Golden Hill Road from the secondary access to the Huer Huero bridge to the time of construction of the bridge.
14. A 12-inch water main shall be extended in Golden Hill Road in accordance with plans approved by the City Engineer and in accordance with the phasing plan proposed.
 15. Prior to development of phases 5, 6, 7 and 8, the applicant shall provide a floodplain study prepared by a civil engineer demonstrating compliance with the City's floodplain ordinance.
 16. Landscaping and irrigation systems within the public right of way of Golden Hill Road between the southerly project boundary and the proposed Huer-Huero Creek bridge shall be maintained in perpetuity by the project.
 17. Parcel 1 shall be maintained by the project for a maximum period of 10 years from the date of parcel acceptance by the City or until the City develops a funding mechanism for the development and maintenance of the property, whichever occurs first. The maintenance obligation is defined by the Weed and Rubbish Abatement Laws, Government Code Sections 39500 et seq. and 39560 et seq.

EMERGENCY SERVICES

18. Prior to the start of construction, documentation shall be submitted to Emergency Services showing that required fire flows can be provided to meet all project demands.
19. Provide fire hydrants at not greater than five hundred (500) foot intervals.
20. Provide central station monitored fire sprinkler system for all buildings greater than five thousand (5,000) square feet.
21. Provide fire department connection to the fire sprinkler system on the address side of the building for all buildings with fire sprinklers.
22. Provide exterior fire alarm enunciator panel in weather proof enclosure on the address side of the building for all buildings with fire sprinklers.

23. Provide Knox Box fire department rapid entry device on address side of the building for all buildings that will be accessed by the public and/or that have fire sprinkler systems.

PASSED AND ADOPTED THIS 17th day of March, 2009 by the following Roll Call Vote:

AYES: Hamon, Steinbeck, Strong, and Picanco

NOES: Gilman

ABSENT:

ABSTAIN:

MAYOR DUANE PICANCO

ATTEST:

CATHY DAVID, DEPUTY CITY CLERK

EXHIBIT A OF RESOLUTION

**CITY OF EL PASO DE ROBLES STANDARD DEVELOPMENT CONDITIONS
FOR PLANNED DEVELOPMENTS / CONDITIONAL USE PERMITS**

PROJECT #: PD 08-001 et al
APPROVING BODY: CITY COUNCIL
DATE OF APPROVAL: MARCH 17, 2009
APPLICANT: PR MOTORCOACH
LOCATION: NORTH END OF GOLDEN HILL ROAD

The following conditions that have been checked are standard conditions of approval for the above referenced project. The checked conditions shall be complied with in their entirety before the project can be finalized, unless otherwise specifically indicated. In addition, there may be site specific conditions of approval that apply to this project in the resolution.

COMMUNITY DEVELOPMENT DEPARTMENT - The applicant shall contact the Community Development Department, (805) 237-3970, for compliance with the following conditions:

A. GENERAL CONDITIONS:

- 1. This project approval shall expire on March 17, 2012 (See Planned Development Approval Resolution) unless a time extension request is filed with the Community Development Department prior to expiration.
- 2. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Planned Development process shall not waive compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
- 3. Prior to occupancy, all conditions of approval shall be completed to the satisfaction of the City Engineer and Community Developer Director or his designee.
- 4. Any site specific condition imposed by the Planning Commission in approving this project may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the approval of this project. No such modification shall be made unless the Commission finds that such modification is necessary to protect the

(Adopted by Planning Commission Resolution 94-038)

Exhibit A
GPA 09-001, RZ 09-001, PD 08-001
Resolution No. 09-027
CUP 08-001 & LLA 07-0293
(PR Motorcoach)

public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use for this approval.

- 5. This project is subject to the California Environmental Quality Act (CEQA) which requires the applicant submit a \$_____.00 filing fee for the Notice of Determination payable to "County of San Luis Obispo". The fee should be submitted to the Community Development Department within 24 hours of project approval which is then forwarded to the San Luis Obispo County Clerk. Please note that the project may be subject to court challenge unless the required fee is paid.
- 6. The site shall be kept in a neat manner at all times and the landscaping shall be continuously maintained in a healthy and thriving condition.
- 7. All signs shall be subject to review and approval as required by Municipal Code Section 21.19 and shall require a separate application and approval prior to installation of any sign.
- 8. All outdoor storage shall be screened from public view by landscaping and walls or fences per Section 21.21.110 of the Municipal Code.
- 9. All trash enclosures shall be constructed of decorative masonry block compatible with the main buildings. Gates shall be view obscuring and constructed of durable materials such as painted metal or chain link with plastic slatting.
- 10. All existing and/or new ground-mounted appurtenances such as air-conditioning condensers, electrical transformers, backflow devices etc., shall be screened from public view through the use of decorative walls and/or landscaping subject to approval by the Community Development Director or his designee. Details shall be included in the building plans.
- 11. All existing and/or new roof appurtenances such as air-conditioning units, grease hoods, etc. shall be screened from public view. The screening shall be architecturally integrated with the building design and constructed of compatible materials to the satisfaction of the Community Development Director or his designee. Details shall be included in the building plans.
- 12. All existing and/or new lighting shall be shielded so as to be directed downward in such a manner as to not create off-site glare or adversely impact adjacent properties. The style, location and height of the lighting fixtures shall be submitted with the building plans and shall be subject to approval by the Community Development Director or his designee.

(Adopted by Planning Commission Resolution 94-038)

- 13. All existing and/or new landscaping shall be installed with automatic irrigation systems.
- 14. All walls/fences and exposed retaining walls shall be constructed of decorative materials which include but are not limited to splitface block, slumpstone, stuccoed block, brick, wood, crib walls or other similar materials as determined by the Development Review Committee, but specifically excluding precision block.
- 15. The following areas shall be placed in the Landscape and Lighting District:

The developer shall install all improvements and landscape areas. City acceptance on behalf of the Landscape and Lighting District shall be subject to the approval of the Public Works Street Department (237-3864).

- 16. All parking lot landscape planters shall have a minimum outside dimension of six feet and shall be separated from parking and driving areas by a six inch high solid concrete curb.
- 17. The following areas shall be permanently maintained by the property owner, Homeowners' Association, or other means acceptable to the City:

- 18. It is the property owner's responsibility to insure that all construction of private property improvements occur on private property. It is the owner's responsibility to identify the property lines and insure compliance by the owner's agents.

B. THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF BUILDING PERMITS:

- 1. Two sets of the revised Planning Commission approved plans incorporating all Conditions of Approval, standard and site specific, shall be submitted to the Community Development Department prior to the issuance of building permits.

(Adopted by Planning Commission Resolution 94-038)

- 2. Prior to the issuance of building permits, the
 - Development Review Committee shall approve the following:
 - Planning Division Staff shall approve the following:
 - a. A detailed site plan indicating the location of all structures, parking layout, outdoor storage areas, walls, fences and trash enclosures;
 - b. A detailed landscape plan;
 - c. Detailed building elevations of all structures indicating materials, colors, and architectural treatments;
 - d. Other: See site specific conditions in PD 08-001 Resolution
- 3. The applicant shall meet with the City's Crime Prevention Officer prior to the issuance of building permits for recommendations on security measures to be incorporated into the design of the structures to be constructed. The applicant is encouraged to contact the Police Department at (805) 237-6464 prior to plan check submittal.

C. THE FOLLOWING CONDITIONS SHALL BE COMPLETED PRIOR TO OCCUPANCY:

- 1. Occupancy of the facility shall not commence until such time as all Uniform Building Code and Uniform Fire Code regulations have been complied with. Prior to occupancy, plans shall be submitted to the Paso Robles Fire Department and the Building Division to show compliance. The building shall be inspected by the appropriate department prior to occupancy.
- 2. All public or private manufactured slopes located adjacent to public right-of-ways on property in excess of six (6) feet in vertical height and of 2.5:1 or greater slope shall be irrigated and landscaped for erosion control and to soften their appearance as follows: one 15-gallon tree per each 250 square feet of slope area, one 1-gallon or larger size shrub per each 100 square feet of slope area, and appropriate ground cover. Trees and shrubs shall be staggered in clusters to soften and vary the slope plane. Slope planting shall include a permanent irrigation system be installed by the developer prior to occupancy. In lieu of the above planting ratio, the applicant may submit a slope planting plan by a licensed landscape architect or contractor providing adequate landscaping, erosion control and slope retention measures; the slope planting plan is subject to approval by the Development Review Committee. Hydroseeding may be considered on lots of 20,000 square feet or greater.

(Adopted by Planning Commission Resolution 94-038)

PUBLIC WORKS DEPARTMENT - The applicant shall contact the Engineering Division, (805) 237-3860, for compliance with the following conditions:

APPLICANT: PR RV PREPARED BY: JF

REPRESENTATIVE: NCE CHECKED BY: _____

PROJECT: PD 08-001 TO PLANNING: _____

All conditions marked are applicable to the above referenced project for the phase indicated.

D. PRIOR TO ANY PLAN CHECK:

- 1. The applicant shall enter into an Engineering Plan Check and Inspection Services Agreement with the City.

E. PRIOR TO ISSUANCE OF A GRADING PERMIT:

- 1. Prior to approval of a grading plan, the developer shall apply through the City, to FEMA and receive a Letter of Map Amendment (LOMA) issued from FEMA. The developer's engineer shall provide the required supporting data to justify the application.
- 2. The proposed structures and grading shall not encroach into the 100-year floodway as specified in Municipal Code Chapter 21.14 "Flood Damage Prevention Regulations".
- 3. Any existing Oak trees located on the project site shall be protected and preserved as required in City Ordinance No. 553, Municipal Code No. 10.01 "Oak Tree Preservation", unless specifically approved to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required. In the event an Oak tree is designated for removal, an approved Oak Tree Removal Permit must be obtained from the City, prior to removal.
- 4. A complete grading and drainage plan prepared by a registered civil engineer shall be included with the improvement plans. Drainage calculations shall be submitted, with provisions made for on-site detention/ retention if adequate disposal facilities are not available, as determined by the City Engineer.

(Adopted by Planning Commission Resolution 94-038)

- 5. A Preliminary Soils and/or Geology Report shall be prepared by a registered engineer for the property to determine the presence of expansive soils or other soils problems and shall make recommendations regarding grading of the proposed site.

F. PRIOR TO ANY SITE WORK:

- 1. All off-site public improvement plans shall be prepared by a registered civil engineer and shall be submitted to the City Engineer for review and approval. The improvements shall be designed and placed to the Public Works Department Standards and Specifications.

- 2. The applicant shall submit a composite utility plan signed as approved by a representative of each public utility, together with the improvement plans. The composite utility plan shall also be signed by the Water, Fire, Wastewater, and Street Division heads.

- 3. Any grading anticipated during the rainy season (October 15 to April 15) will require the approval of a Construction Zone Drainage and Erosion Control Plan to prevent damage to adjacent property. Appropriateness of areas shall be subject to City Engineer approval.

- 4. Any construction within an existing street shall require a Traffic Control Plan. The plan shall include any necessary detours, flagging, signing, or road closures requested. Said plan shall be prepared and signed by a registered civil or traffic engineer.

- 5. Landscape and irrigation plans for the public right-of-way shall be incorporated into the improvement plans and shall require a signature of approval by the Department of Public Works, Street Superintendent and the Community Development Department.

- 6. The owner shall offer to dedicate and improve the following street(s) to the standard indicated:

Golden Hill Road	Arterial	A-1
Street Name	City Standard	Standard Drawing No.

- 7. The owner shall offer to dedicate to the City the following easement(s). The location and alignment of the easement(s) shall be to the description and satisfaction of the City Engineer:

- a. Public Utilities Easement;
- b. Water Line Easement;

(Adopted by Planning Commission Resolution 94-038)

- c. Sewer Facilities Easement;
- d. Landscape Easement;
- e. Storm Drain Easement.

G. PRIOR TO ISSUANCE OF A BUILDING PERMIT:

- 1. A final soils report shall be submitted to the City prior to the final inspection and shall certify that all grading was inspected and approved, and that all work has been done in accordance with the plans, preliminary report, and Chapter 70 of the Uniform Building Code.
- 2. The applicants civil and soils engineer shall submit a certification that the rough grading work has been completed in substantial conformance to the approved plans and permit.
- 3. When retaining walls are shown on the grading plan, said walls shall be completed before approval of the rough grade, and prior to issuance of any building permits, unless waived by the Building Official and the City Engineer.
- 4. All property corners shall be staked for construction control, and shall be promptly replaced if destroyed.
- 5. Building permits shall not be issued until the water system has been completed and approved, and a based access road installed sufficient to support the City's fire trucks per Fire Department recommendation.
- 6. The developer shall annex to the City's Landscape and Lighting District for payment of the operating and maintenance costs of the following:
 - a. Street lights;
 - b. Parkway and open space landscaping;
 - c. Wall maintenance in conjunction with landscaping;
 - d. Graffiti abatement;
 - e. Maintenance of open space areas.
- 7. Prior to the issuance of a Building Permit for a building within Flood Insurance Rate Map (FIRM) - in zones A1-A30, AE, AO, AH, A, V1-V30, VE and V - the developer shall provide an Elevation Certificate in accordance with the National Flood Insurance Program. This form must be completed by a land surveyor, engineer or architect licensed in the State of California.
- 8. Prior to the issuance of a Building Permit for a building within Flood Insurance Rate Map (FIRM) in zones A1-A30, AE, AO, AH, A, V1-V30, VE and V, the developer

(Adopted by Planning Commission Resolution 94-038)

shall provide a Flood Proofing Certificate in accordance with the National Insurance Program. This form must be completed by a land surveyor, engineer or architect licensed in the State California.

H. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY:

- 1. The applicant shall pay any current and outstanding fees for Engineering Plan Checking and Construction Inspection services and any outstanding annexation fees.
- 2. No buildings shall be occupied until all public improvements are completed and approved by the City Engineer, and accepted by the City Council.
- 3. All final property corners and street monuments shall be installed before acceptance of the public improvements.
- 4. All top soil removed shall be stockpiled and evenly distributed over the slopes and lots upon completion of rough grading to support hydroseeding and landscaping. All slope areas shall be protected against erosion by hydroseeding or landscaping.
- 5. The applicant shall install all street names, traffic signs and traffic striping as directed by the City Engineer.
- 6. If the adjoining existing City street is inadequate for the traffic generated by the project, or will be severely damaged by the construction, the applicant shall remove the entire roadway and replace it with a minimum full half-width street plus a 12' wide travel lane and 8' wide graded shoulder adequate to provide for two-way traffic. (A finding of "rough proportionality" has been made in the resolution for this condition).
- 7. If the development includes a phased street construction along the project boundary for future completion by the adjacent property owner, the applicant shall provide a minimum half-width street plus a 12' wide travel lane and 4' wide graded shoulder adequate for two-way traffic. (A finding of "rough proportionality" has been made in the resolution for this condition).
- 8. When the project fronts on an existing street, the applicant shall pave-out from the proposed curb to the edge of pavement if the existing pavement section is adequate, and shall feather the new paving out to the centerline for a smooth transition. If the existing pavement is inadequate, the roadway shall be replaced to centerline and the remaining pavement shall be overlaid. (A finding of "rough proportionality" has been made in the resolution for this condition).
- 9. Any utility trenching in existing streets shall be overlaid to restore a smooth riding

(Adopted by Planning Commission Resolution 94-038)

surface as required by the City Engineer. Boring and jacking rather than trenching may be required on newly constructed or heavily traveled City streets.

- 10. The applicant shall install all utilities (sewer, water, gas, electricity, cable TV and telephone) underground (as shown on the composite utility plan). Street lights shall be installed at locations as required by the City Engineer. All existing overhead utilities adjacent to or within the project shall be relocated underground except for electrical lines 77 kilovolts or greater. All utilities shall be extended to the boundaries of the project. All underground construction shall be completed and approved by the public utility companies, and the subgrade shall be scarified and compacted, before paving the streets.
- 11. Prior to paving any street the water and sewer systems shall successfully pass a pressure test. The sewer system shall also be tested by a means of a mandrel and video inspection with a copy of the video tape provided to the City. No paving shall occur until the City has reviewed and viewed the sewer video tape and has determined that the sewerline is acceptable. Any repair costs to the pipeline including trench paving restoration shall be at the developer's expense.
- 12. A blackline clear Mylar (0.4 MIL) copy and a blueline print of as-built improvement plans, signed by the engineer of record, shall be provided to the City Engineer prior to the final inspection. A reduced copy (i.e. 1" = 100') of the composite utility plan shall be provided to update the City's Atlas Map.
- 13. All construction refuse shall be separated (i.e. concrete, asphalt concrete, wood gypsum board, etc.) and removed from the project in accordance with the City's Source Reduction and Recycling Element.

PASO ROBLES FIRE DEPARTMENT - The applicant shall contact the Fire Department, (805) 237-3973, for compliance with the following conditions:

I. GENERAL CONDITIONS

- 1. Fire hydrants shall be installed at intervals as required by the Fire Chief and City Engineer. The maximum spacing for single family residential shall be 500 feet. The maximum spacing for multi-family and commercial/ residential shall be 300 feet. On-site hydrants shall be placed as required by the Fire Chief.
- 2. Building permits shall not be issued until the water system, including hydrants, has been tested and accepted and a based access road installed sufficient to support the City's fire apparatus (HS-20 truck loading). The access road shall be kept clear to a minimum of 24 feet at all times and shall be extended to each lot and shall be maintained to provide all weather driving conditions.
- 3. No buildings shall be occupied until all improvements are completed and accepted by the City for maintenance.
- 4. If the development includes phased street construction, temporary turn-arounds shall be provided for streets that exceed 150 feet in length. The temporary turn around shall meet City requirements as set forth in the Public Works Department Standards and Specifications.
- 5. All open space areas to be dedicated to the City shall be inspected by the Fire Department prior to acceptance. A report shall be submitted recommending action needed for debris, brush and weed removal and tree trimming. The developer shall clean out all debris, dead limbs and trash from areas to be recorded as open space prior to acceptance into a Benefit Maintenance District.
- 6. Any open space included in a private development shall be subject to the approval of a vegetation management plan approved by the Fire Chief.
- 7. Each tract or phase shall provide two sources of water and two points of access unless otherwise determined by the Fire Chief and Public Works Director.
- 8. Provisions shall be made to update the Fire Department Run Book.

(Adopted by Planning Commission Resolution 94-038)



SITE STATISTICS - OVERVIEW

RECORD OWNER PASO MO LLC
 P.O. BOX 2622
 PASO ROBLES, CA 94947

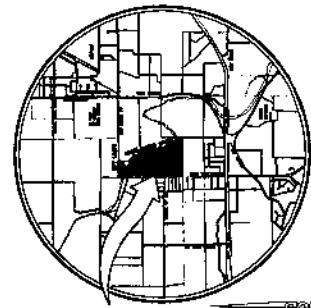
APPLICANT DOUG MCCURDY & KEN WUNDE
 P.O. BOX 2522
 PASO ROBLES, CA 94947

ENGINEER NORTH COAST ENGINEERING, INC.
 10000 S. HIGHWAY 101
 PASO ROBLES, CA 94947
 CHRISTY GABLER
 CIVIL ENGINEER
 EIT # 12009

EXISTING PARCEL	1	2	3
EXISTING ZONING	AG	AG	AG
PROPOSED ZONING	AG	AG	AG
PROPOSED USE	AG	AG	AG
PROPOSED GENERAL PLAN	AG	AG	AG
PROPOSED SPECIFIC PLAN	AG	AG	AG
PROPOSED OPEN SPACE	0	2.0	7.1
PROPOSED PARKING SPACES	0	339	1
PROPOSED AGRICULTURE (AC)	0	257	21.4

LEGEND

- GOLDEN HILL ROAD RIGHT-OF-WAY
- OFFICE OF REGULATION
- RESORT OPEN SPACE AREA
- RECREATION AREAS
- AGRICULTURAL ZONING WITH AGRICULTURAL RESPECTIVE USE REQUIREMENT



SITE

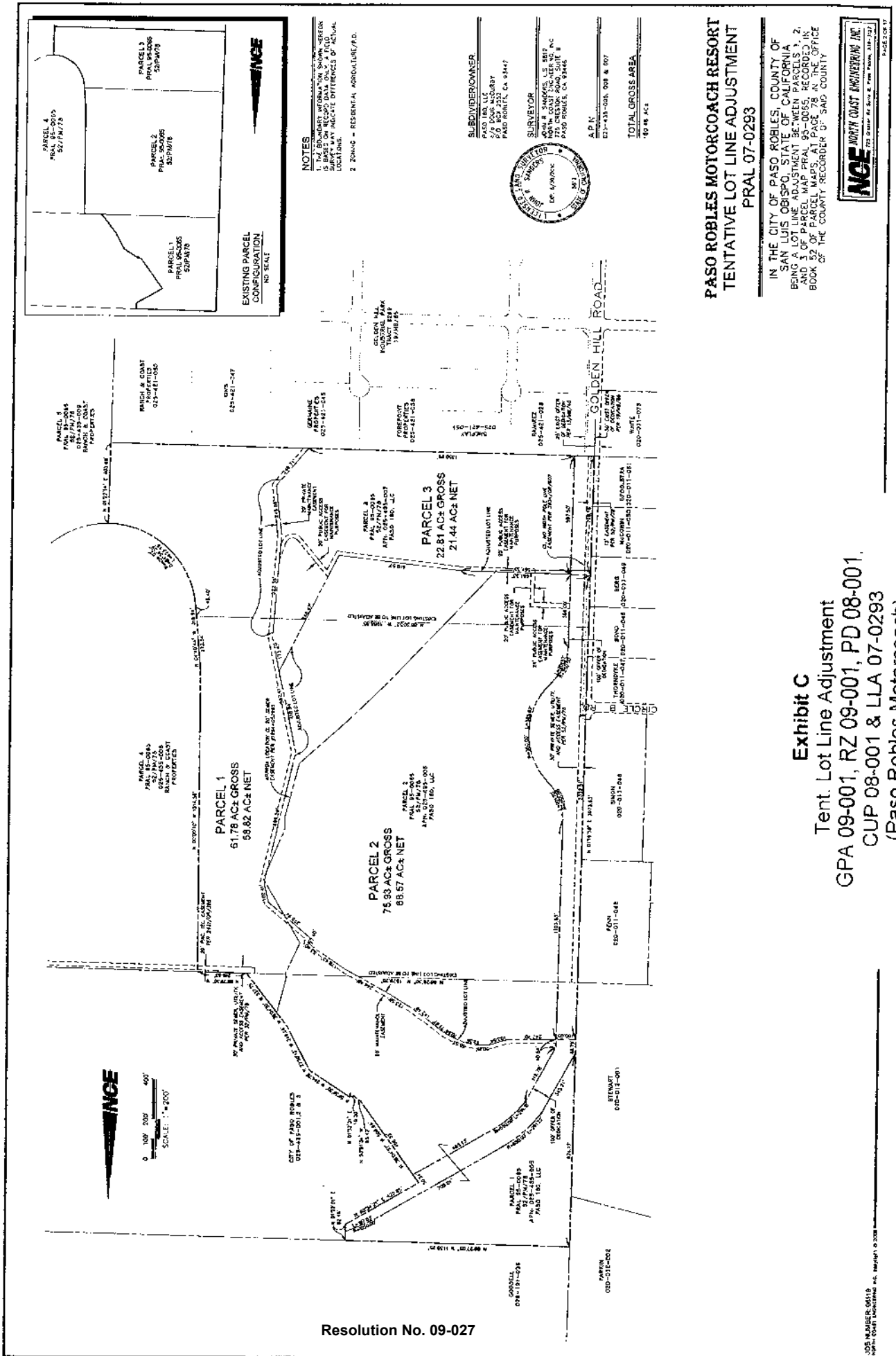
SHEET INDEX

1. COVER SHEET
2. SITE PLAN WITH ADJUSTMENT
3. SITE PLAN WITH INDEX
4. PHASING PLAN
5. PRELIMINARY GRADING & DRAINAGE PLAN - NORTH
6. PRELIMINARY GRADING & DRAINAGE PLAN - MIDSECTION
7. PRELIMINARY GRADING & DRAINAGE PLAN - SOUTH
8. GRADING CONCEPTS
9. UNDERGROUND PLAN
10. UNDERGROUND PLAN AREA
11. SITE CROSS SECTIONS
12. SITE CROSS SECTIONS
13. DETAILS
14. GOLDEN HILL ROAD - 1400 TO 13+00
15. GOLDEN HILL ROAD - 13+00 TO 26+00
16. GOLDEN HILL ROAD - 26+00 TO 38+00
17. GOLDEN HILL ROAD - 38+00 TO 51+00

Exhibit B
Cover Sheet
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

MOTORCOACH RESORT
LAYOUT PLAN





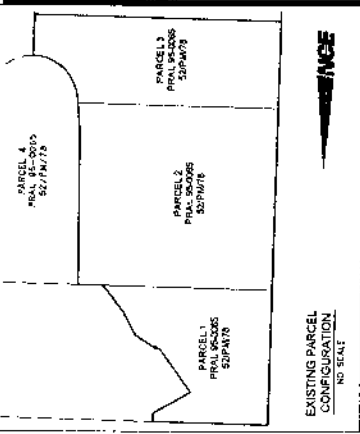
Resolution No. 09-027

**PASO ROBLES MOTORCOACH RESORT
TENTATIVE LOT LINE ADJUSTMENT
PRAL 07-0293**

IN THE CITY OF PASO ROBLES, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA, BEING A LOT LINE ADJUSTMENT BETWEEN PARCELS 1, 2, AND 3 OF PARCEL MAP PRAL 93-0055, RECORDED IN BOOK 52 OF PARCEL MAPS, AT PAGE 78 IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.



SCALE: 1" = 400'



NOTES
1. THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON RECORD DATA ONLY. FIELD LOCATIONS MAY VARY FROM THE RECORD DATA LOCATIONS.
2. ZONING - RESIDENTIAL AGRICULTURE (R.A.)

SUBDIVIDER/OWNER
PASO 180, LLC
2/8 BOON MCDONRY
275 BRENDA ROAD, SUITE B
PASO ROBLES, CA 93421

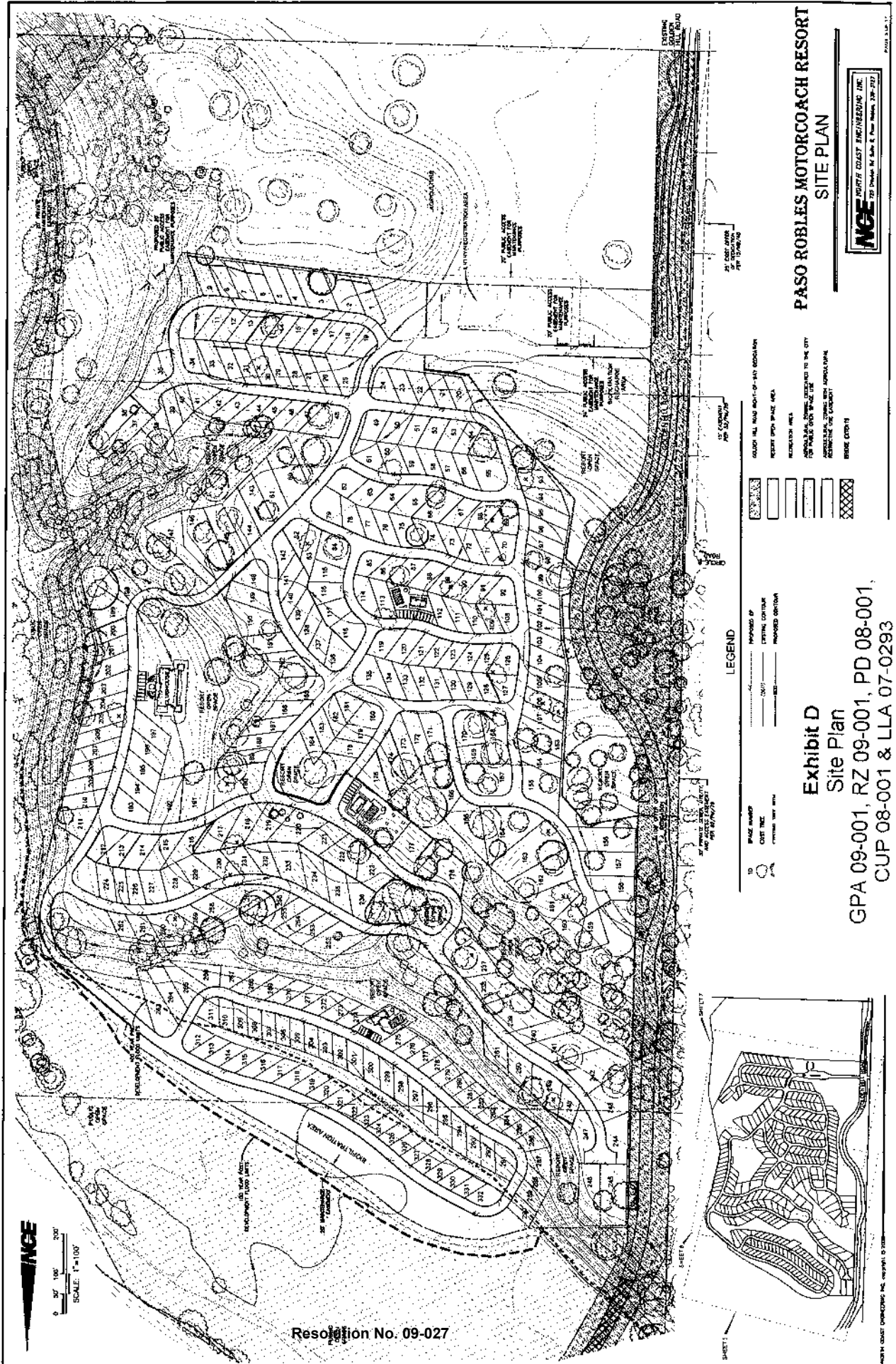


SURVEYOR
ERIC VANDYNE
50867
275 BRENDA ROAD, SUITE B
PASO ROBLES, CA 93421

APN
023-433-005, 008 & 007

TOTAL GROSS AREA
160.48 AC±

Exhibit C
Tent. Lot Line Adjustment
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)



**Exhibit D
Site Plan**

**GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)**

**PASO ROBLES MOTORCOACH RESORT
SITE PLAN**

NCE NORTH COAST ENGINEERING, INC.
237 Dundee St. Suite 8, Paso Robles, CA 93426
PHONE 348-3311

Resolution No. 09-027

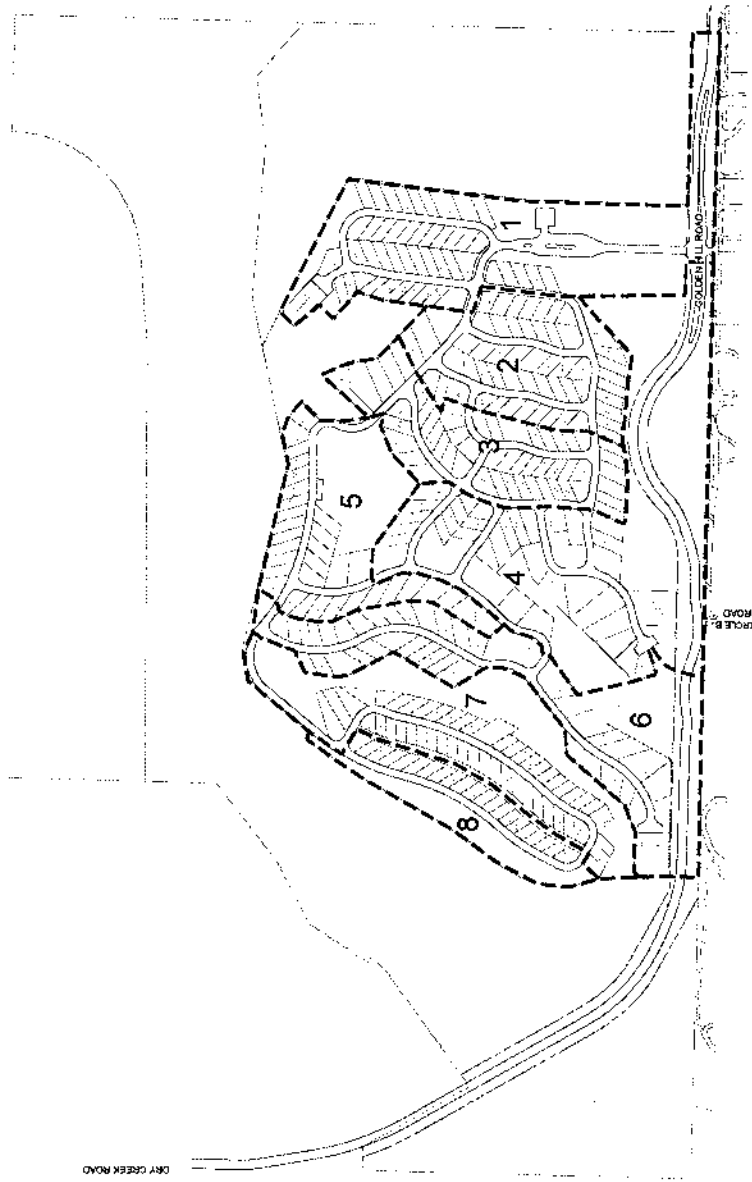
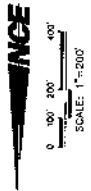
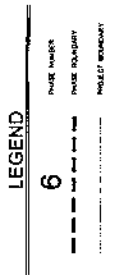
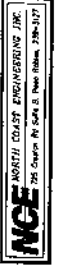


Exhibit E
Phasing Plan
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

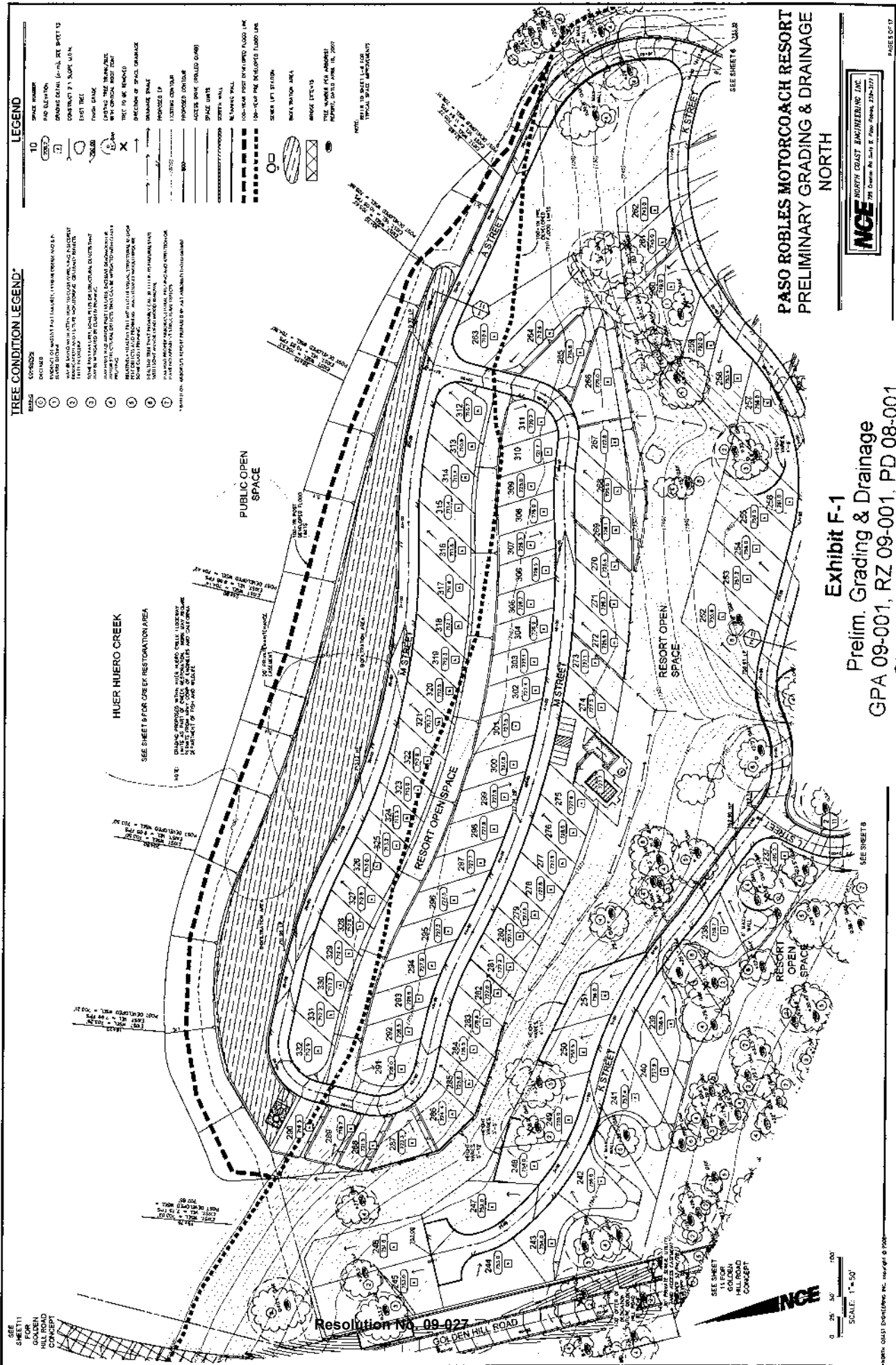
Phase	Space Count	Total
1	45	45
2	55	100
3	51	152
4	38	190
5	33	223
6	36	262
7	15	277
8	21	332



PASO ROBLES MOTORCOACH RESORT
PRELIMINARY PHASING PLAN



Resolution No. 09-027



TREE CONDITION LEGEND:

- 10 SPACE NUMBER
- 11 PRO ELEVATION
- 12 PROPOSED CONTOUR
- 13 PROPOSED CONTOUR
- 14 PROPOSED CONTOUR
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LEGEND

- 10 SPACE NUMBER
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**PASO ROBLES MOTORCOACH RESORT
PRELIMINARY GRADING & DRAINAGE**

NORTH

NCE
NORTH EAST ENGINEERING INC.
207 2nd Street, Suite 200, Paso Robles, CA 93421

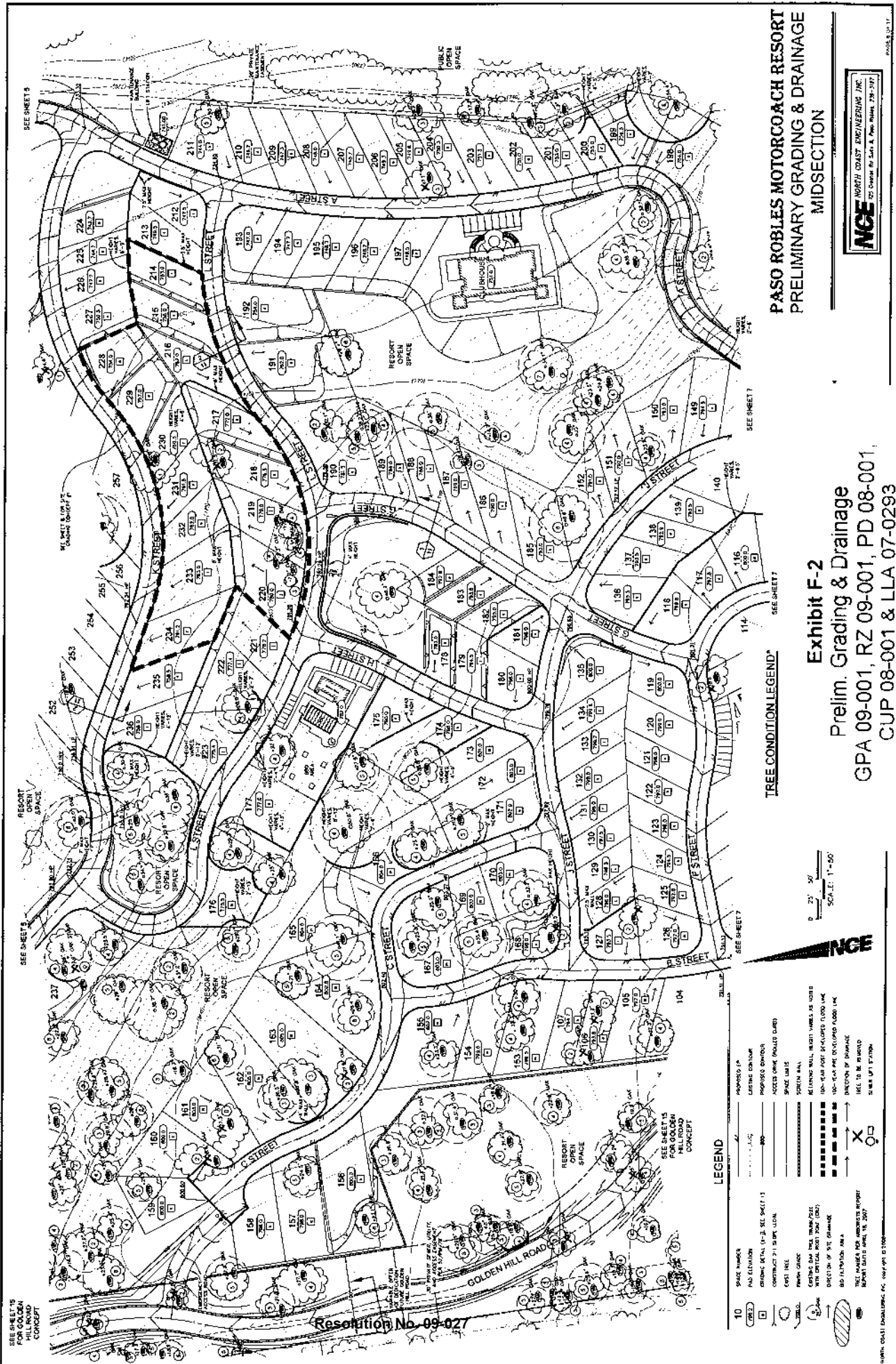
Exhibit F-1
Prelim. Grading & Drainage
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

SEE SHEET 11 FOR GOLDEN HILL ROAD CONCEPT

Resolution No. 09-027

SEE SHEET 11 FOR GOLDEN HILL ROAD CONCEPT

SCALE: 1" = 50'



**PASO ROBLES MOTORCOACH RESORT
PRELIMINARY GRADING & DRAINAGE
MIDSECTION**

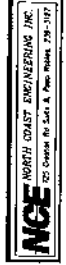
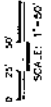


Exhibit F-2
Prelim. Grading & Drainage
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

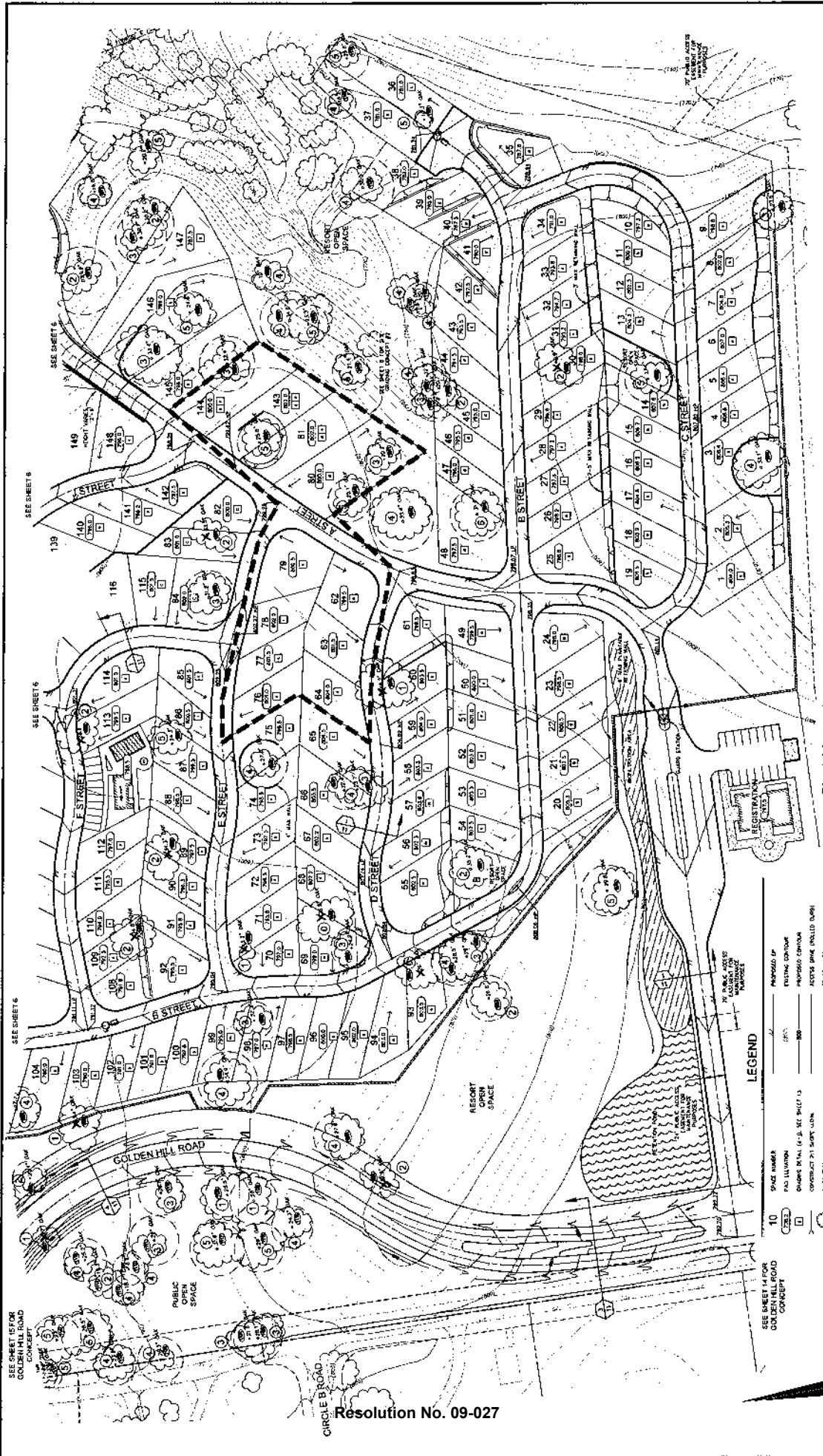
TREE CONDITION LEGEND*



LEGEND

10	SHADE NUMBER	ADJACENT LOT
(---)	PAVED EASEMENT	EXISTING CONDITION
(---)	CONTRACTOR'S EASEMENT (1" = 3' SEE SHEET 13)	PROPOSED DRAINAGE
(---)	CONTRACTOR'S EASEMENT (2" = 3' SEE SHEET 13)	ACCESS DRIVE (WALLED CURB)
(---)	CONTRACTOR'S EASEMENT (3" = 3' SEE SHEET 13)	SPACE LIMIT
(---)	CONTRACTOR'S EASEMENT (4" = 3' SEE SHEET 13)	EASEMENT LINE
(---)	CONTRACTOR'S EASEMENT (5" = 3' SEE SHEET 13)	PROPERTY LINE
(---)	CONTRACTOR'S EASEMENT (6" = 3' SEE SHEET 13)	EXISTING WALL, NEIGHBORING AS SHOWN
(---)	CONTRACTOR'S EASEMENT (7" = 3' SEE SHEET 13)	100'-YEAR FLOOD DEVELOPED FLOOD LINE
(---)	CONTRACTOR'S EASEMENT (8" = 3' SEE SHEET 13)	100'-YEAR FLOOD DEVELOPED FLOOD LINE
(---)	CONTRACTOR'S EASEMENT (9" = 3' SEE SHEET 13)	DIRECTION OF DRAINAGE
(---)	CONTRACTOR'S EASEMENT (10" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (11" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (12" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (13" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (14" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (15" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (16" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (17" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (18" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (19" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (20" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (21" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (22" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (23" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (24" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (25" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (26" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (27" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (28" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (29" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (30" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (31" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (32" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (33" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (34" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (35" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (36" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (37" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (38" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (39" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (40" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (41" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (42" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (43" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (44" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (45" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (46" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (47" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (48" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (49" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT
(---)	CONTRACTOR'S EASEMENT (50" = 3' SEE SHEET 13)	SEE SHEET 13 FOR GOLDEN HILL ROAD CONCEPT

Resolution No. 09-027



**PASO ROBLES MOTORCOACH RESORT
PRELIMINARY GRADING & DRAINAGE
SOUTH**

Resolution No. 09-027

**Exhibit F-3
Prelim. Grading & Drainage**

GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

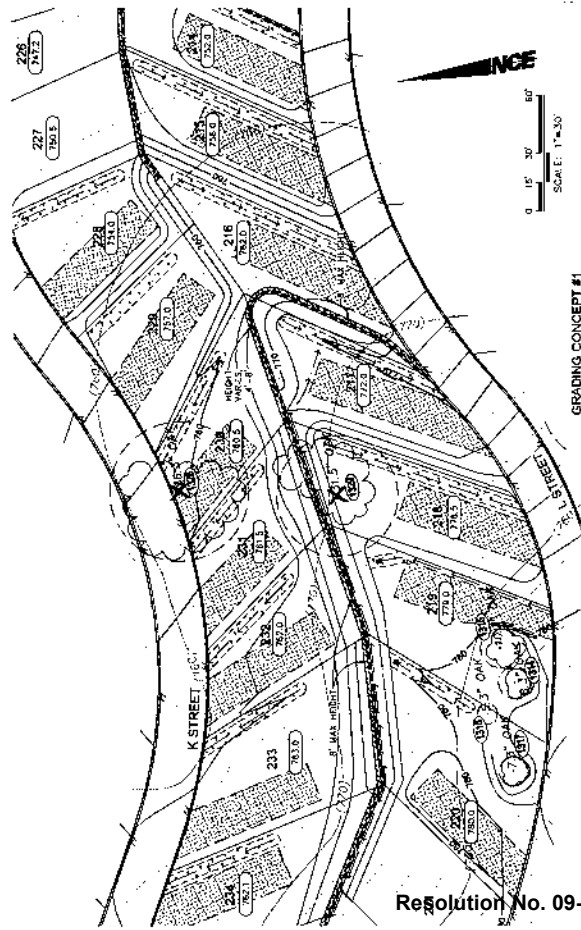


LEGEND

	PROPOSED 10' WIDE SIDEWALKS
	EXISTING 10' WIDE SIDEWALKS
	PROPOSED 10' WIDE STREETS
	EXISTING 10' WIDE STREETS
	PROPOSED 20' WIDE STREETS
	EXISTING 20' WIDE STREETS
	PROPOSED 100-FEET RIGHT-OF-WAY BOUNDARY
	EXISTING 100-FEET RIGHT-OF-WAY BOUNDARY
	100-FEET RIGHT-OF-WAY BOUNDARY (100-FEET WIDE)
	100-FEET RIGHT-OF-WAY BOUNDARY (100-FEET WIDE) WITH DIRECTION OF DRAINAGE
	CATCH BASINS
	MANHOLES
	EXISTING 100-FEET RIGHT-OF-WAY BOUNDARY
	PROPOSED 100-FEET RIGHT-OF-WAY BOUNDARY
	TREE TO BE REMOVED
	TREE TO BE RETAINED
	TREE TO BE RETAINED

TREE CONDITION LEGEND

	TREE TO BE REMOVED
	TREE TO BE RETAINED
	TREE TO BE RETAINED



Resolution No. 09-027

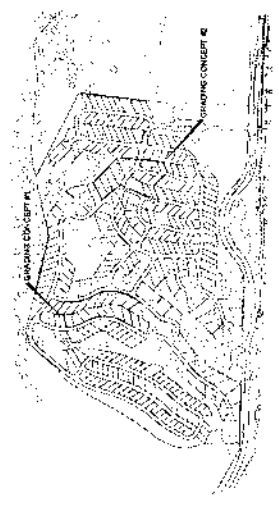
GRADING CONCEPT #1

LEGEND

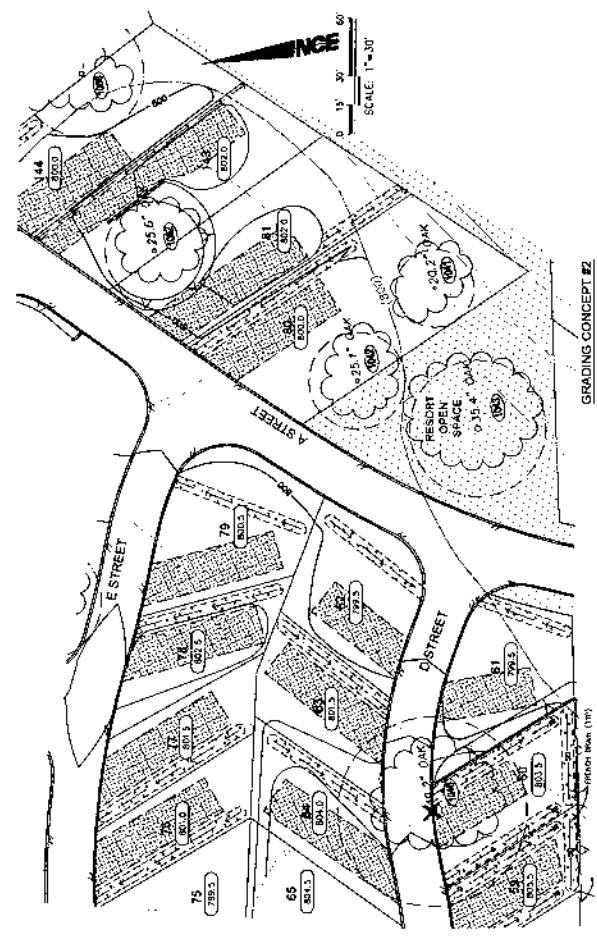
- █ BLOCK RETAINING WALL
- ▨ PERMEABLE WALL
- ▨ PERMEABLE INTERLOCKING CONCRETE PAVING
- ▨ LANDSCAPED/ROAD-SHALE
- DRAINAGE SWALE
- 100 SITE NUMBER
- PAD ELEVATION
- TREE NUMBER
- EAST GRADE CONTOURS
- FINISH GRADE CONTOURS

NOTES

1. THESE FINISHES REPRESENT A GRADING CONCEPT FOR EACH SAMPLE AREA OF THE PROJECT. FINAL DESIGN MAY VARY FROM GRADING PROPOSED.
2. SHUT SAMPLE AREAS 7 AND L-S FOR LANDSCAPE CONCEPTS FOR THESE SAMPLE AREAS.



DETAIL INDEX
1"=100'

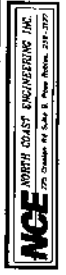


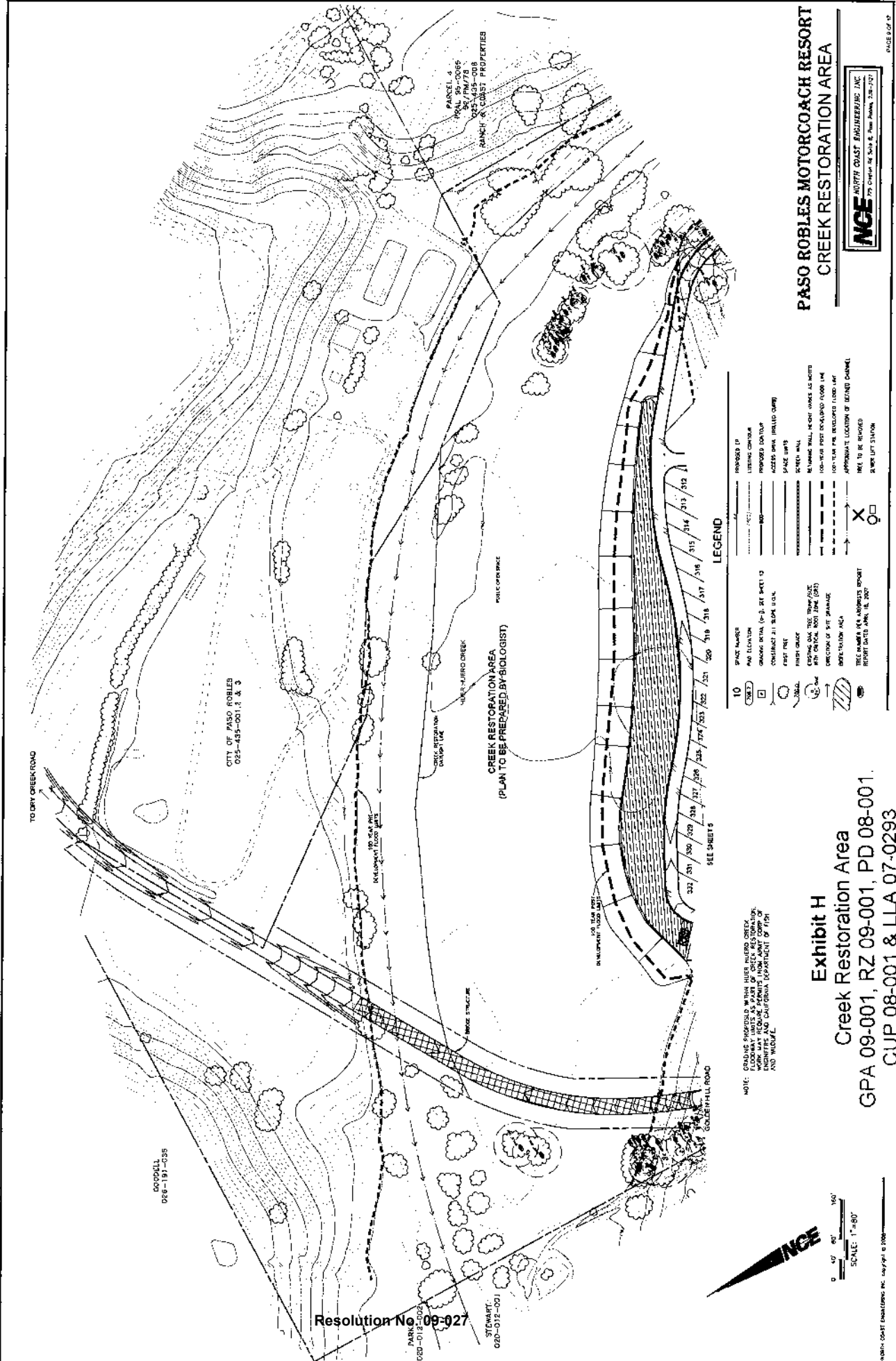
GRADING CONCEPT #2

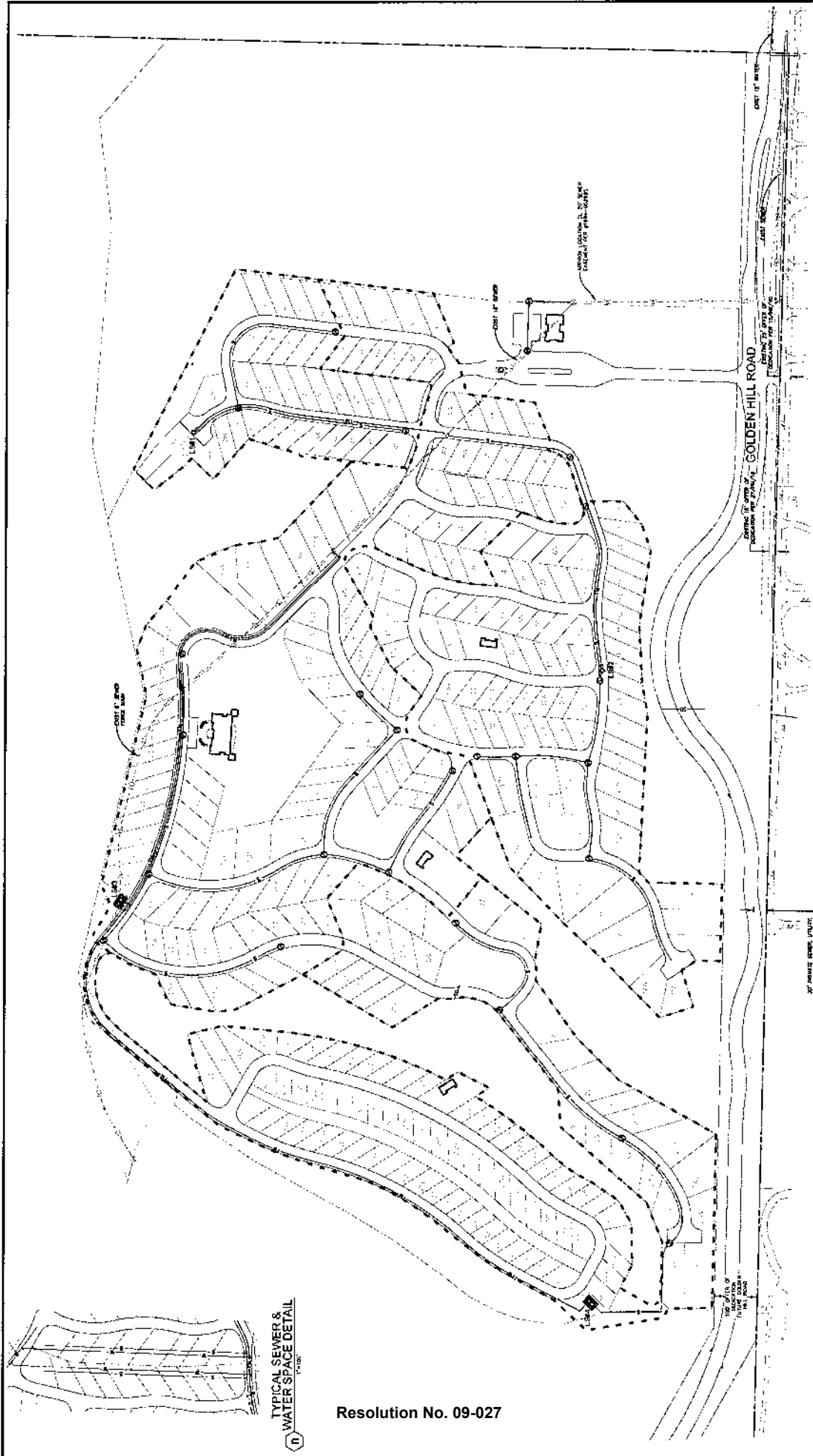
Exhibit G
Grading Concepts

GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

PASO ROBLES MOTORCOACH RESORT
GRADING CONCEPTS







**PASO ROBLES MOTORCOACH RESORT
PRELIMINARY UNDERGROUND PLAN**

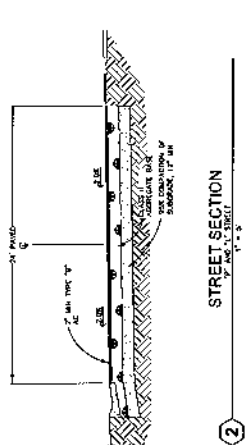
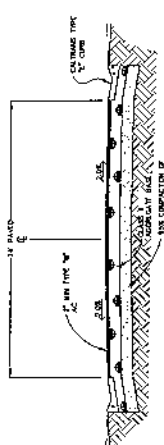
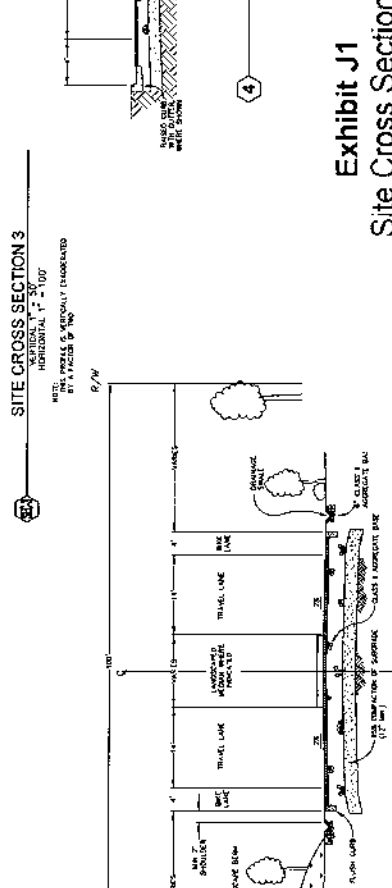
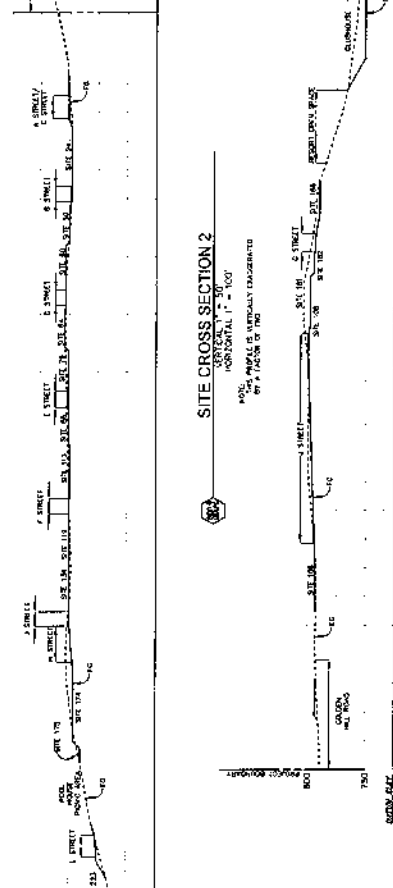
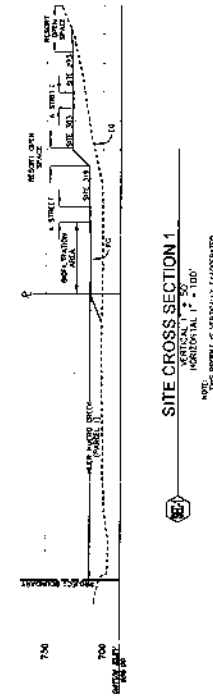
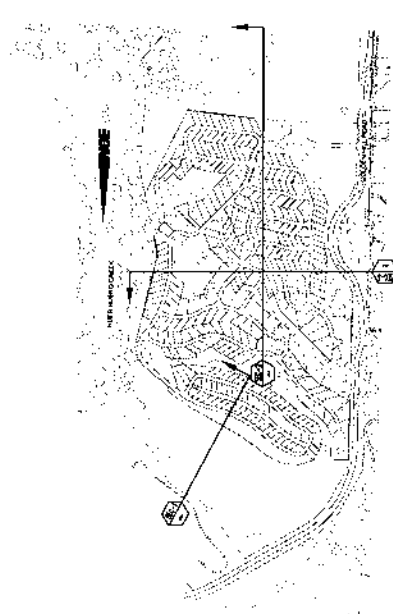


Exhibit 1
Underground Plan
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

LEGEND

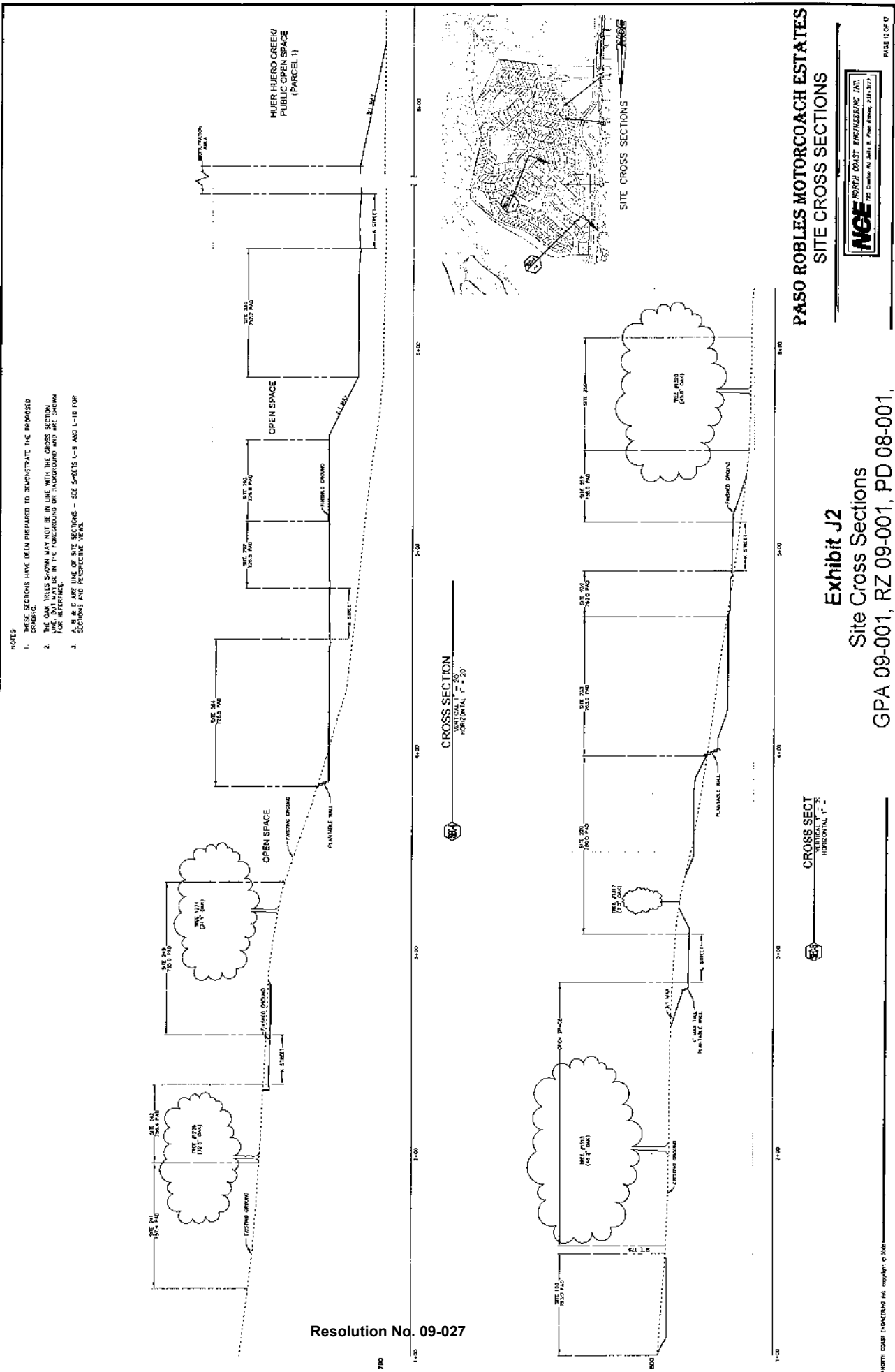
NOTE: 1. ALL SPACES 12" IN WIDTH SHALL BE CONSIDERED AS A STANDARD 12" SPACE WITH 12" MIN. CLEARANCE.
2. ALL 4" AND 6" SPACES SHALL BE CONSIDERED AS A STANDARD 4" SPACE WITH 4" MIN. CLEARANCE.
3. LOCAL STORM SPACES MAY VARY FROM QUARTY TO QUARTY.

Resolution No. 09-027



CH ESTATES
 IONS
 ENGINEERS
 ARCHITECTS
 PLANNERS
 2000 W. 10th St.
 Suite 200
 Phoenix, AZ 85001
 PHONE: 602.998.1111
 FAX: 602.998.1112
 WWW: CHES.COM

Exhibit J1
 Site Cross Sections
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)



<p>TYPE "a" SPACE GRADING 1" = 20' * RETAINING WALLS MAY BE SUBSTITUTED FOR SLOPE</p>	<p>TYPE "b" SPACE GRADING 1" = 20' * RETAINING WALLS MAY BE SUBSTITUTED FOR SLOPE</p>	<p>TYPE "c" SPACE GRADING 1" = 20' * RETAINING WALLS MAY BE SUBSTITUTED FOR SLOPE</p>	<p>TYPE "d" SPACE GRADING 1" = 20' * RETAINING WALLS MAY BE SUBSTITUTED FOR SLOPE</p>
<p>TYPE "e" SPACE GRADING 1" = 20' * RETAINING WALLS MAY BE SUBSTITUTED FOR SLOPE</p>	<p>TYPE "f" SPACE GRADING 1" = 20' * RETAINING WALLS MAY BE SUBSTITUTED FOR SLOPE</p>	<p>TYPE "g" SPACE GRADING 1" = 20' * RETAINING WALLS MAY BE SUBSTITUTED FOR SLOPE</p>	<p>TYPE "h" SPACE GRADING 1" = 20' * RETAINING WALLS MAY BE SUBSTITUTED FOR SLOPE</p>
<p>TYPE "i" SPACE GRADING 1" = 20' * RETAINING WALLS MAY BE SUBSTITUTED FOR SLOPE</p>			
<p>TYPE "j" NATURAL SPACE 1" = 20' * RETAINING WALLS MAY BE SUBSTITUTED FOR SLOPE</p>			
<p>TYPE "k" NATURAL SPACE 1" = 20' * RETAINING WALLS MAY BE SUBSTITUTED FOR SLOPE</p>			
<p>TYPE "l" SPACE GRADING 1" = 20' * RETAINING WALLS MAY BE SUBSTITUTED FOR SLOPE</p>			

NOTE:
1. THE SLOPE OF EACH PROPOSED SITE IS TO BE MAINTAINED WITHIN THE ORIGINAL SLOPE OF THE SITE AND SHALL BE MAINTAINED AS MUCH AS POSSIBLE.
2. THE SLOPE OF EACH PROPOSED SITE IS TO BE MAINTAINED WITHIN THE ORIGINAL SLOPE OF THE SITE AND SHALL BE MAINTAINED AS MUCH AS POSSIBLE.
3. THE SLOPE OF EACH PROPOSED SITE IS TO BE MAINTAINED WITHIN THE ORIGINAL SLOPE OF THE SITE AND SHALL BE MAINTAINED AS MUCH AS POSSIBLE.
4. THE SLOPE OF EACH PROPOSED SITE IS TO BE MAINTAINED WITHIN THE ORIGINAL SLOPE OF THE SITE AND SHALL BE MAINTAINED AS MUCH AS POSSIBLE.
5. THE SLOPE OF EACH PROPOSED SITE IS TO BE MAINTAINED WITHIN THE ORIGINAL SLOPE OF THE SITE AND SHALL BE MAINTAINED AS MUCH AS POSSIBLE.

PASO ROBLES MOTORCOACH ESTATES
DETAILS

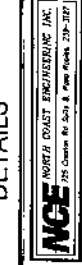
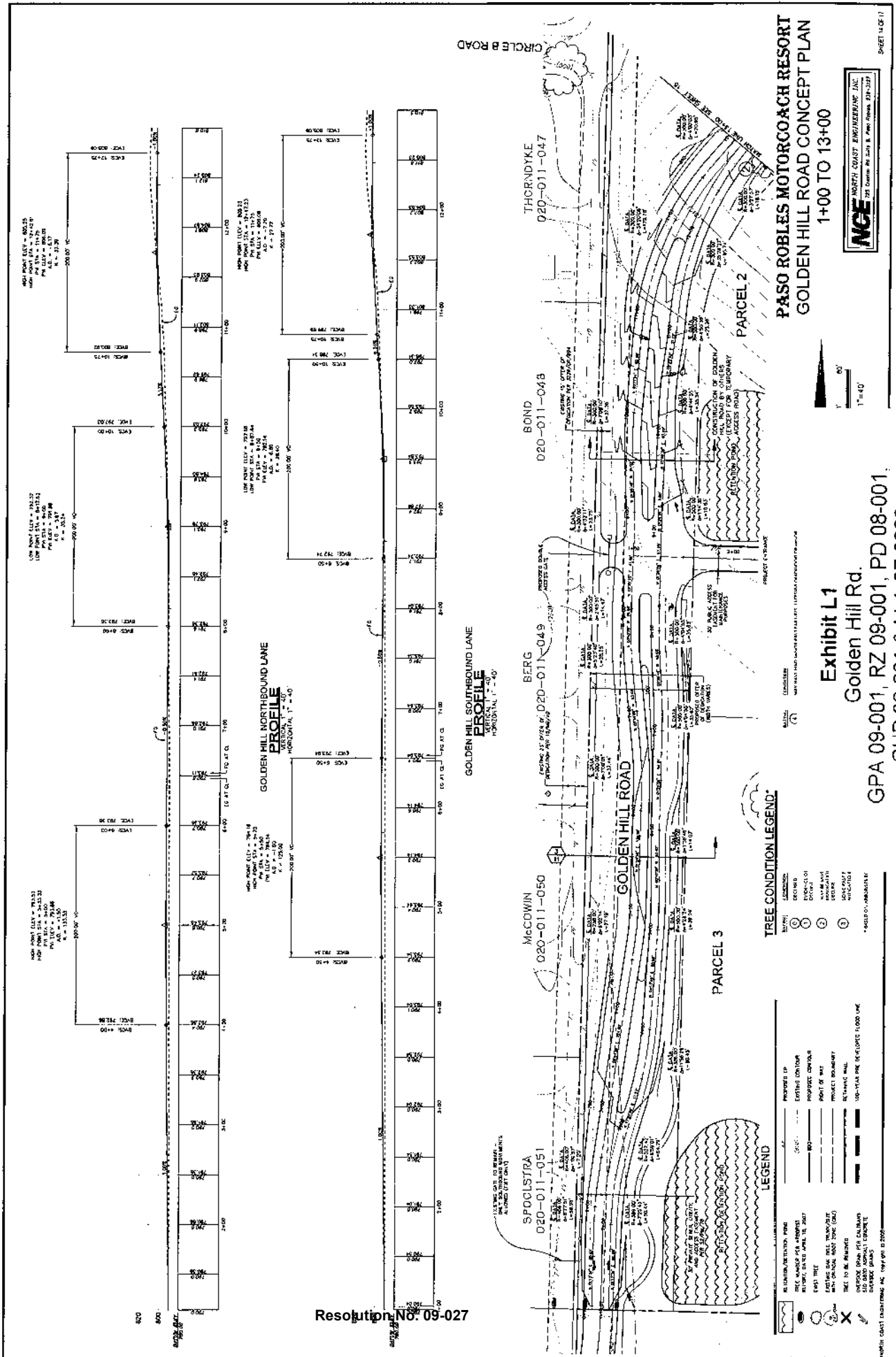


Exhibit K
Details

GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)



Resolution No. 09-027

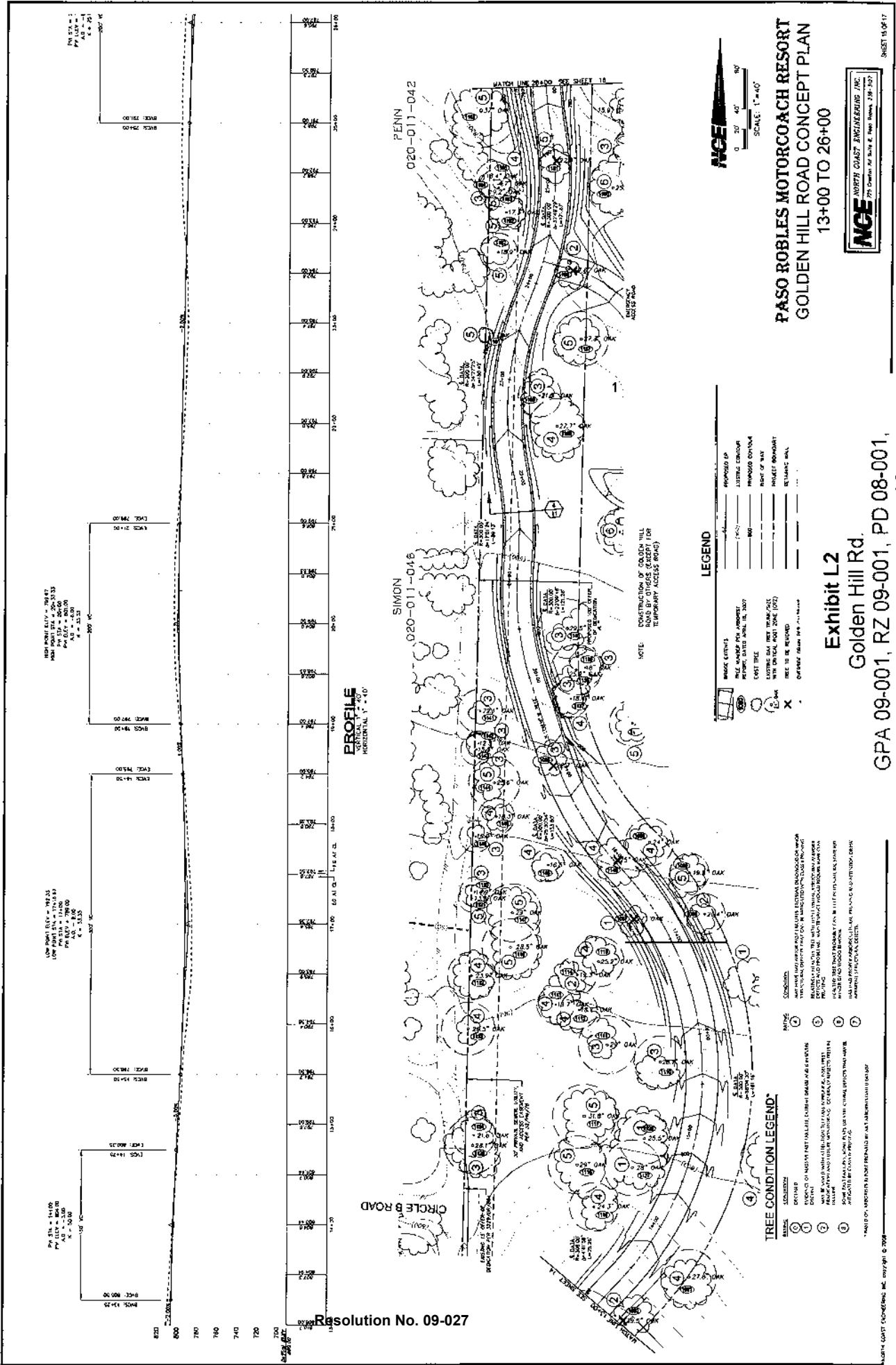
TREE CONDITION LEGEND:

SYMBOL	CONDITION
(1)	DECEASED
(2)	EMERGENCY
(3)	GOOD
(4)	POOR
(5)	POOR
(6)	POOR
(7)	POOR
(8)	POOR
(9)	POOR
(10)	POOR

* ALL TREE REMOVALS TO BE PERFORMED BY THE CONTRACTOR

Exhibit L1
 Golden Hill Rd.
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

ACE NORTH COAST ENGINEERING INC.
 123 Ocean Ave. Suite 100, Paso Robles, CA 93426
 (805) 238-1234



HIGH POINT ELEV = 764.67
 HIGH POINT STA. = 20+53.32
 PVI ELEV = 800.00
 A.S. = 1:10.00
 H.C. = 10'

LOW POINT ELEV = 741.11
 LOW POINT STA. = 17+13.93
 PVI ELEV = 800.00
 A.S. = 1:10.00
 H.C. = 10'

HIGH POINT ELEV = 764.67
 HIGH POINT STA. = 20+53.32
 PVI ELEV = 800.00
 A.S. = 1:10.00
 H.C. = 10'

Resolution No. 09-027

TREE CONDITION LEGEND

SYMBOL	CONDITION
(1)	EXISTING
(2)	TO BE REMOVED
(3)	TO BE PLANTED
(4)	TO BE MAINTAINED
(5)	TO BE PROTECTED
(6)	TO BE PRESERVED
(7)	TO BE MONITORED

LEGEND

SYMBOL	DESCRIPTION
(Line with 'X')	PROPOSED OF
(Line with 'O')	EXISTING CENTERLINE
(Line with 'M')	PROPOSED CENTERLINE
(Line with 'B')	RIGHT OF WAY
(Line with 'P')	PROJECT BOUNDARY
(Line with 'R')	RETAINING WALL
(Line with 'S')	OVERHEAD POWER LINE
(Line with 'T')	TRAILER
(Line with 'U')	UTILITY
(Line with 'V')	VEGETATION
(Line with 'W')	WATER
(Line with 'Y')	YIELD
(Line with 'Z')	ZONING

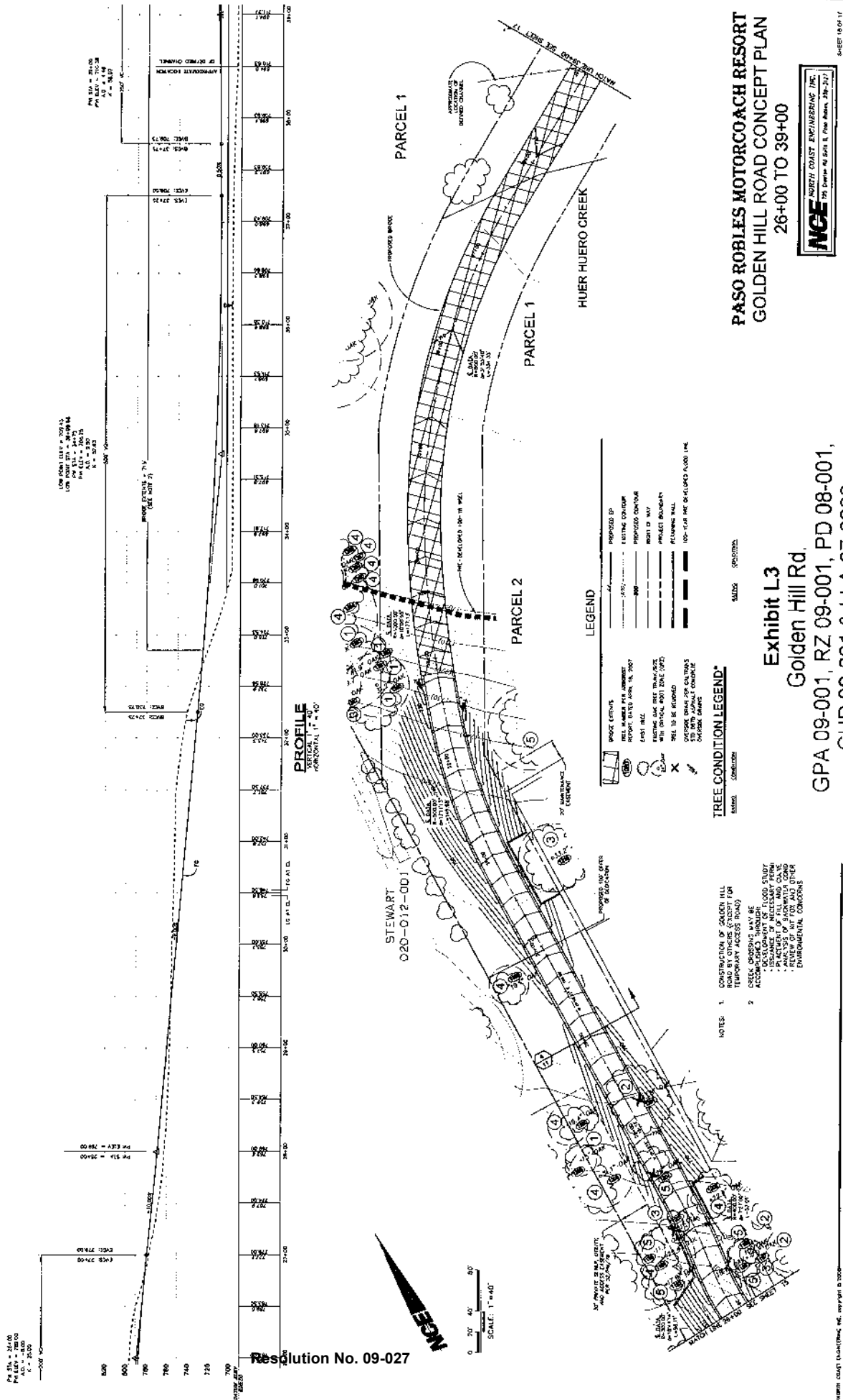
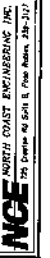
CONSTRUCTION
 CONSTRUCTION OF GOLDEN HILL ROAD SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AS APPLICABLE.

NOTES
 1. ALL TREE REMOVALS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AS APPLICABLE.
 2. ALL TREE PLANTINGS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AS APPLICABLE.
 3. ALL TREE MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AS APPLICABLE.
 4. ALL TREE PROTECTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AS APPLICABLE.
 5. ALL TREE PRESERVATION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AS APPLICABLE.
 6. ALL TREE MONITORING SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AS APPLICABLE.
 7. ALL TREE REMOVALS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AS APPLICABLE.

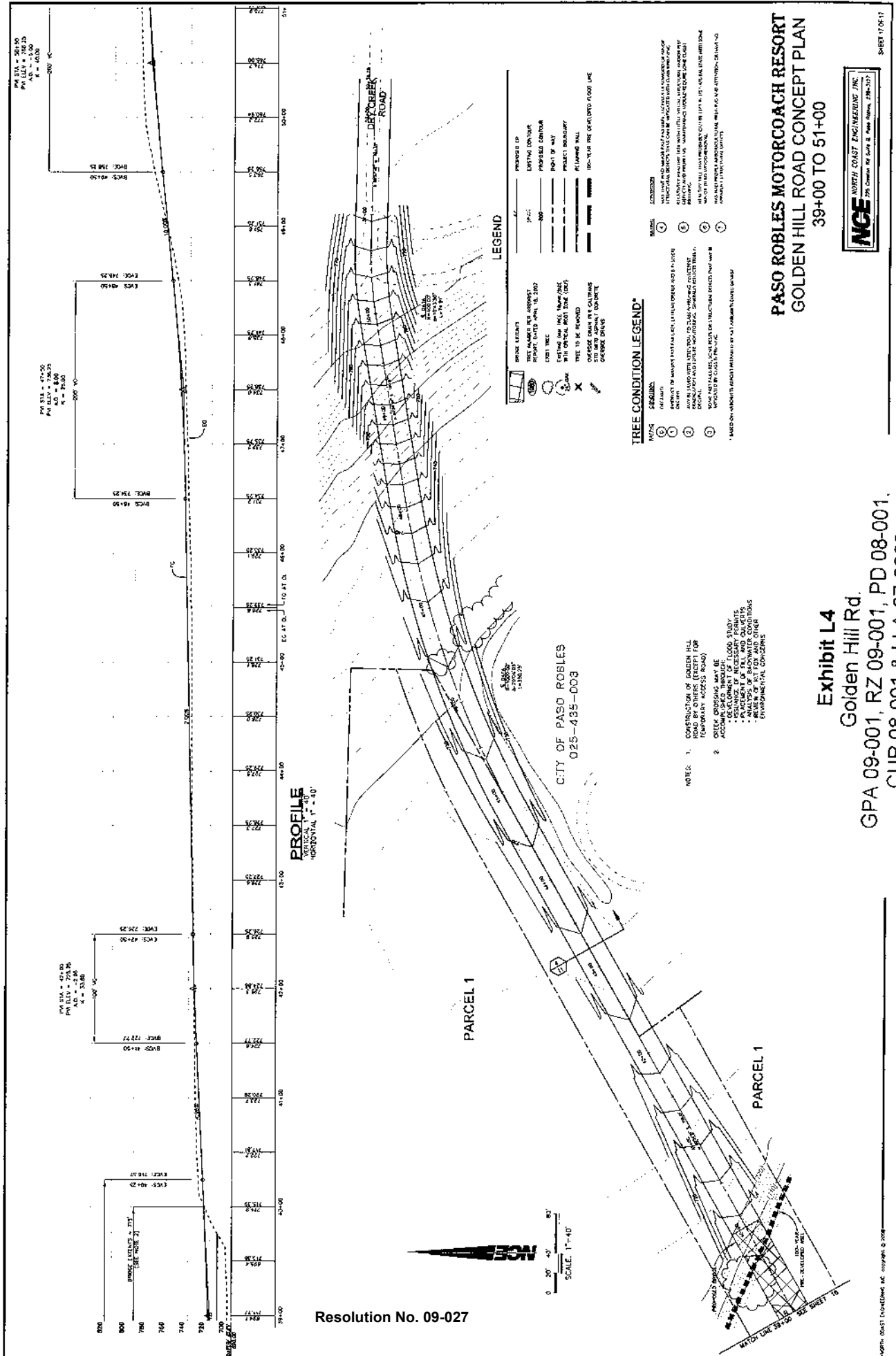
NORTH QUART ENGINEERS, INC. 007991 © 2008
 275 Dundas St. W., Suite 200, Toronto, ON M5G 1R8

PASO ROBLES MOTORCOACH RESORT
GOLDEN HILL ROAD CONCEPT PLAN
13+00 TO 26+00
Exhibit L2
 Golden Hill Rd.
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

**PASO ROBLES MOTORCOACH RESORT
GOLDEN HILL ROAD CONCEPT PLAN
26+00 TO 39+00**



Resolution No. 09-027



PASO ROBLES MOTORCOACH RESORT
GOLDEN HILL ROAD CONCEPT PLAN
39+00 TO 51+00

NCE
 NORTH COAST ENGINEERING, INC.
 225 Ocean Ave. Suite B, Paso Robles, CA 93426
 (805) 238-7373

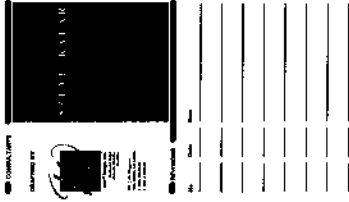
SHEET 08-01

Exhibit L4
 Golden Hill Rd.
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

Resolution No. 09-027

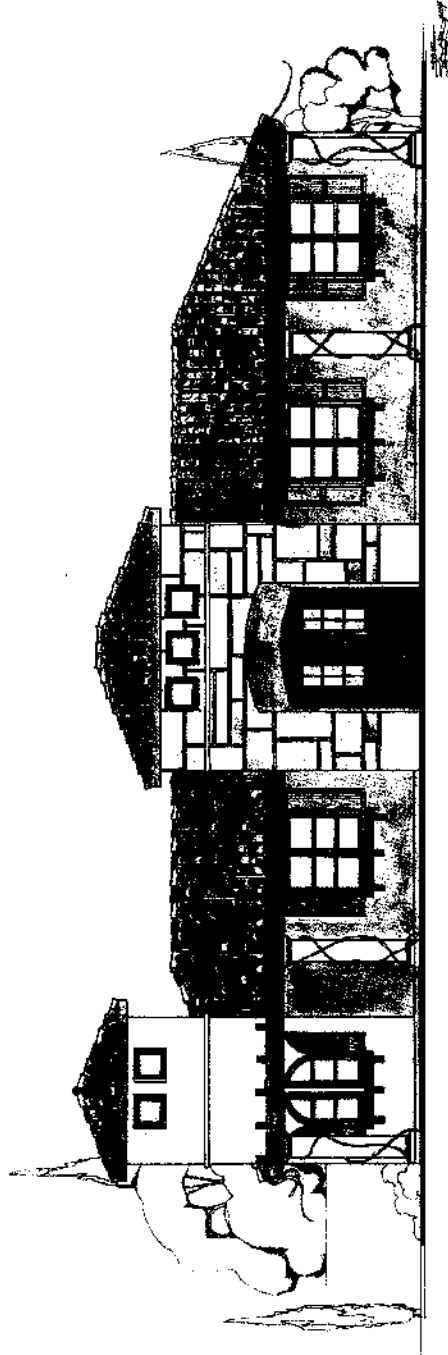
PASO ROBLES
MOTORCOACH
RESORT
GOLDEN HILL RD
PASO ROBLES, CA 93446

(805) 239-4560
FAX (805) 239-9912



REGISTRATION
COLOR &
MATERIALS
SCHEDULE

01-087 FEB 7, 2017
PROJECT: PASO ROBLES MOTORCOACH
SECTION: A1



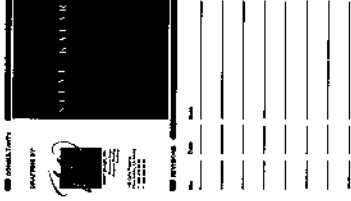
REGISTRATION

Exhibit M1
Registration Building Details
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

PASO ROBLES
MOTORCOACH
RESORT

GOLDEN HILL RD
PASO ROBLES, CA 93946

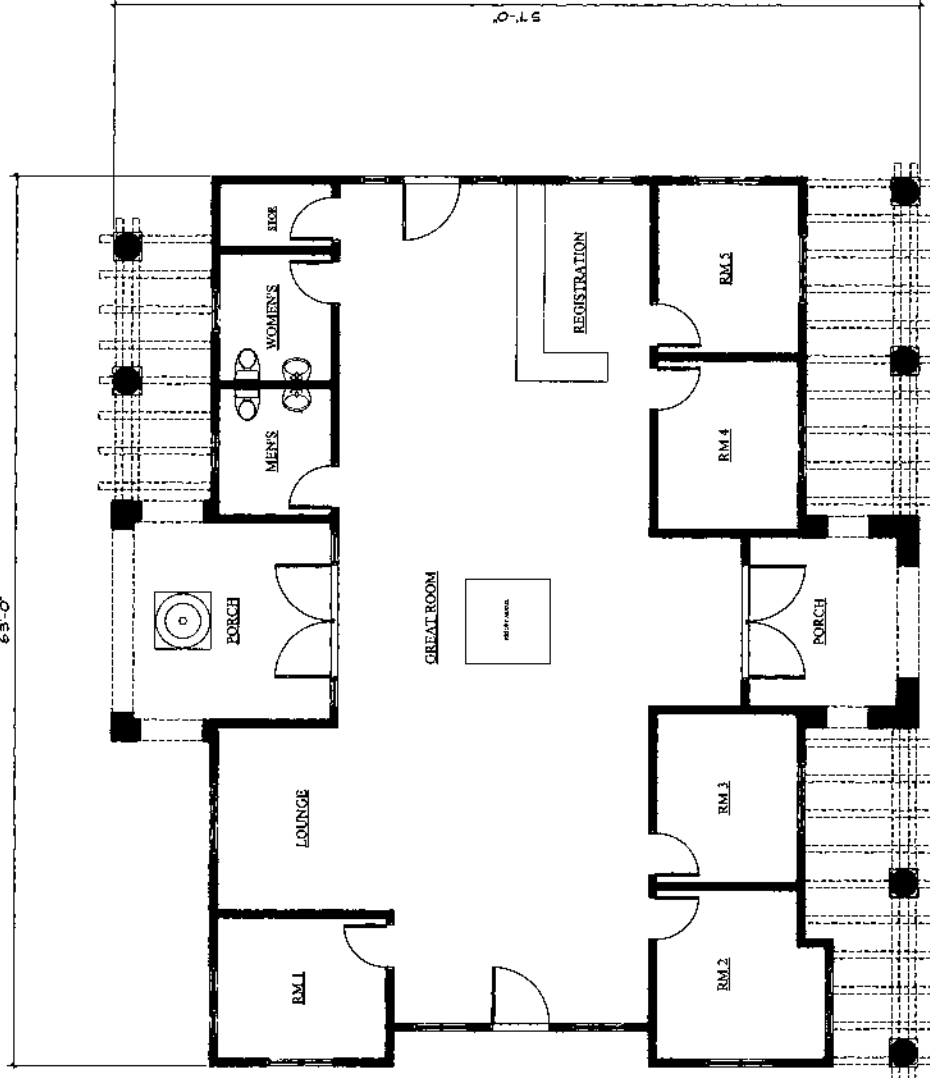
(805) 239-4560
FAX (805) 239-9912



REGISTRATION
FLOOR PLAN

01-107
FEB 7, 2007

A2



SCALE: 1/4" = 1'-0"

FLOOR PLAN

AREA CALC.	
AREA	PERCENT
TOTAL AREA	TOTAL PERCENT

Exhibit M2
Registration Building Details
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

PASO ROBLES
MOTORCOACH
RESORT

GOLDEN HILL RD
PASO ROBLES, CA 93446

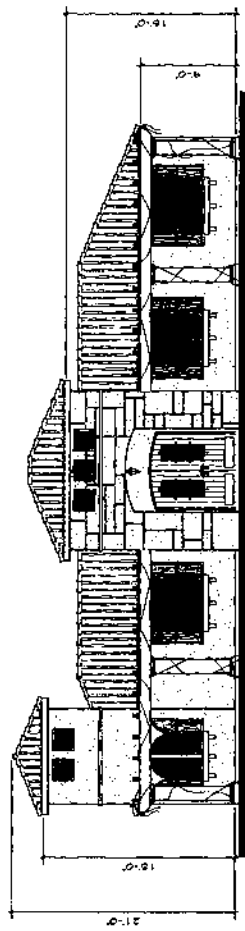
(805) 239-4560
FAX (805) 239-9912



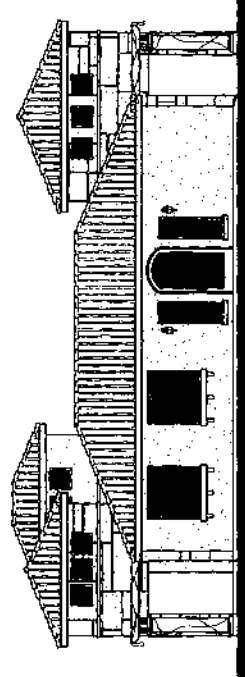
No.	Date	Description

DATE: FEB 7, 2007
PROJECT: PASO ROBLES
DRAWING NO. REGISTRATION
ELEVATIONS

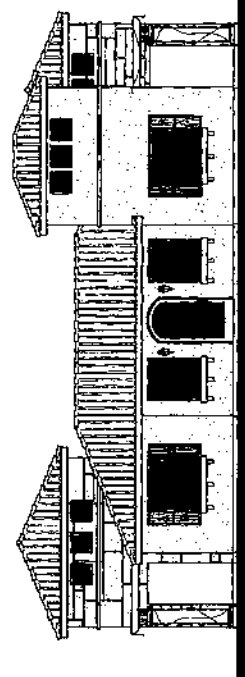
01-107
FEB 7, 2007
A3



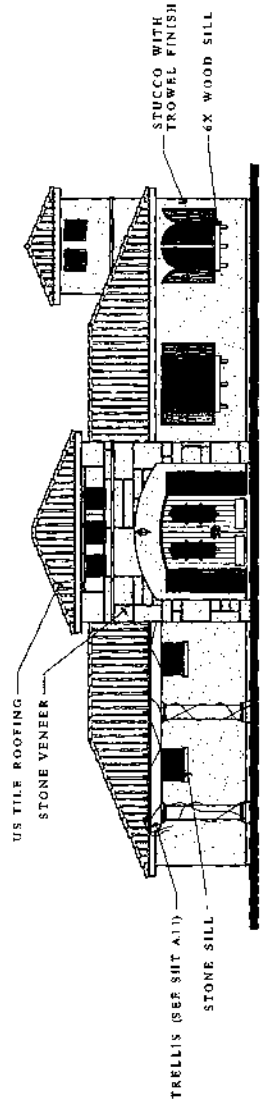
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



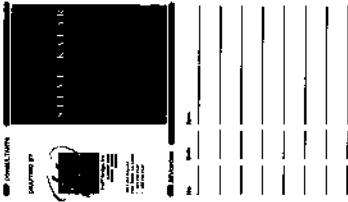
WEST ELEVATION

SCALE: 3/16" = 1'-0"

Exhibit M3
Registration Building Details
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

PASO ROBLES
MOTORCOACH
RESORT
GOLDEN HILL RD
PASO ROBLES, CA 93446

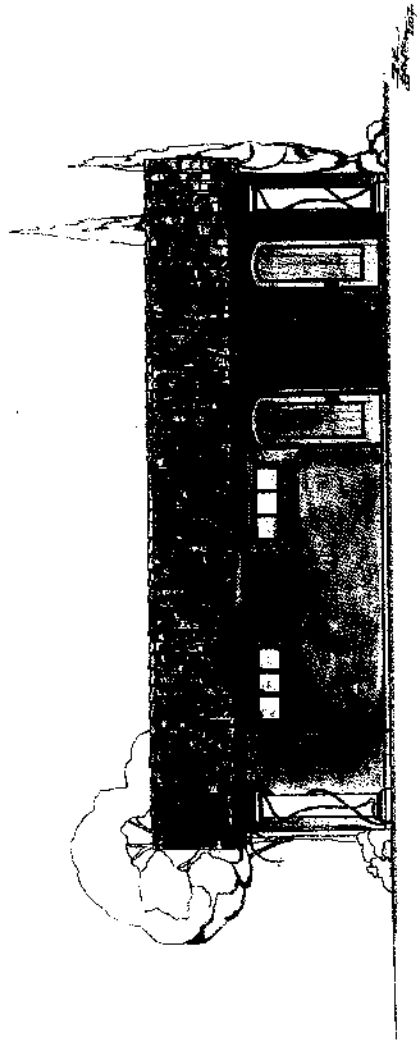
(805) 239-4560
FAX (805) 239-9912



POOLHOUSE
COLOR &
MATERIALS
SCHEDULE

01-07 FEB 7, 2007

A4



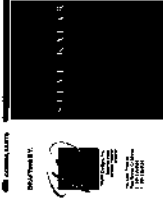
POOLHOUSE

Exhibit N1
Pool House Details
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

PASO ROBLES
MOTORCOACH
RESORT

GOLDEN HILL RD
PASO ROBLES, CA 93446

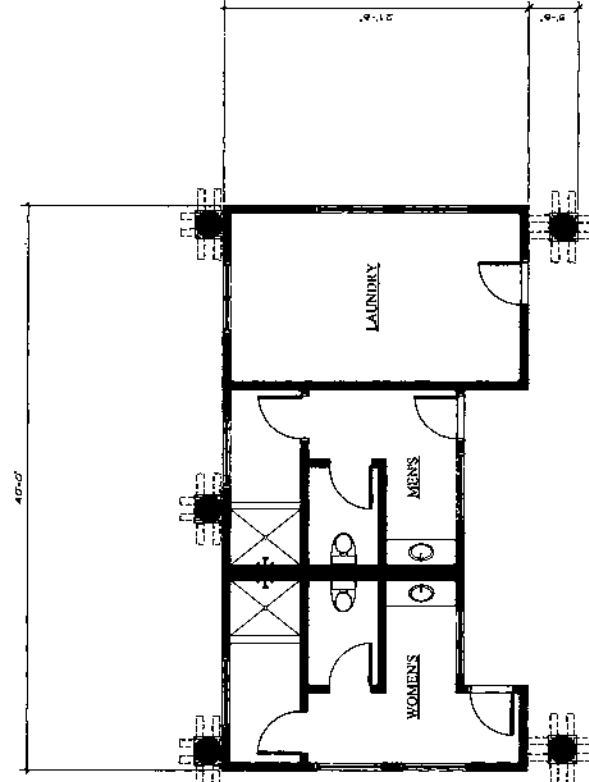
(805) 239-4560
FAX (805) 239-9912



POOLHOUSE
FLOOR PLAN

91-87 FEB 7, 2007

A5



FLOOR PLAN



SCALE: 1/4" = 1'-0"

AREA CALC.

Exhibit N2
Pool House Details
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

PASO ROBLES
MOTORCOACH
RESORT

GOLDEN HILL RD
PASO ROBLES, CA 93446

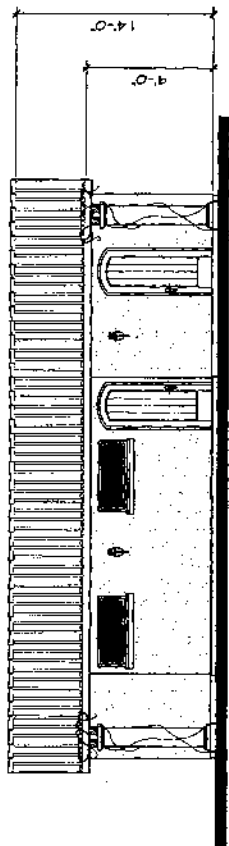
(805) 239-4560

FAX (805) 239-9912

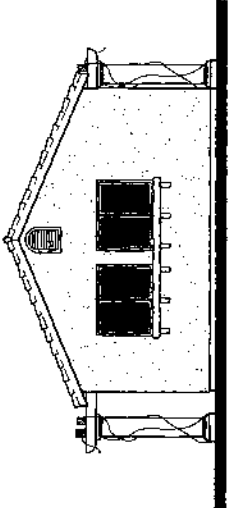


No.	Date	Revised

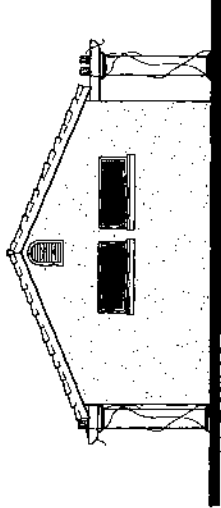
PROJECT NO. _____
**POOLHOUSE
 ELEVATIONS**
 DATE: FEB 7, 2007
 SHEET NO. _____
A6



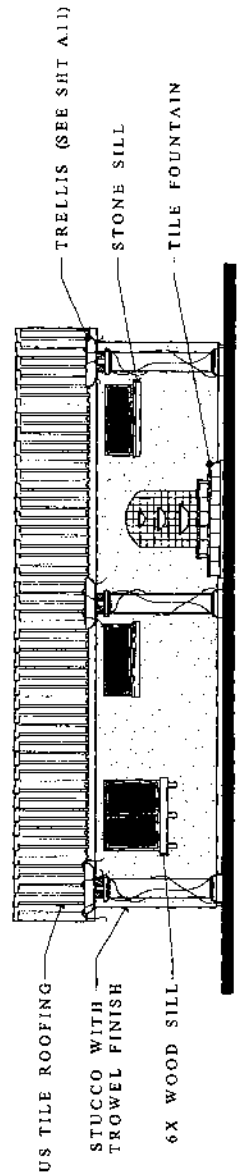
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

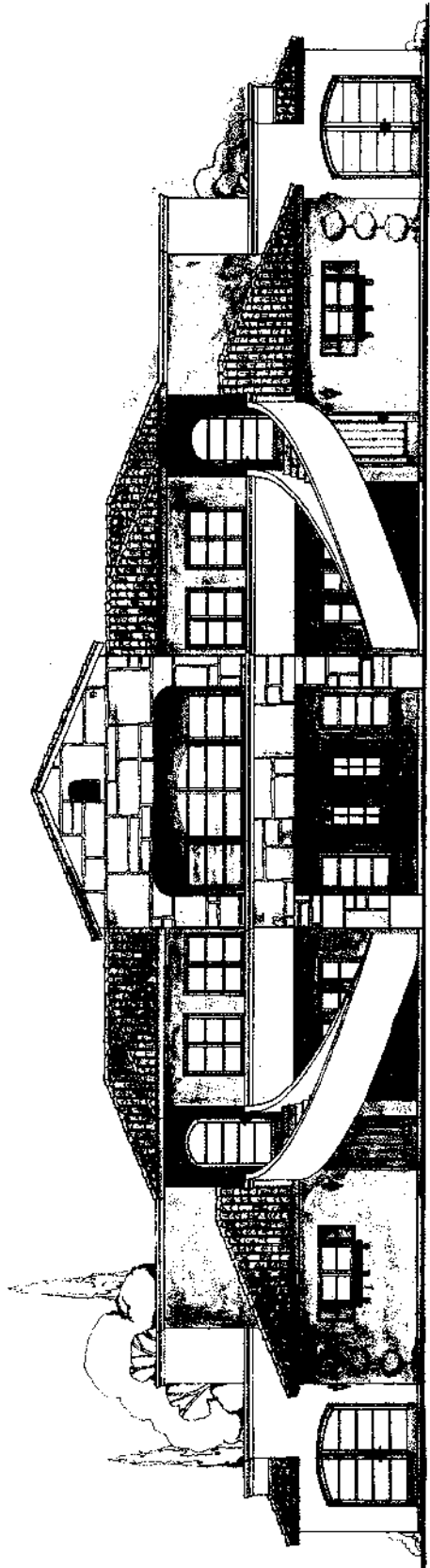
Exhibit N3
 Pool House Details
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

PASO ROBLES
MOTORCOACH
RESORT

GOLDEN HILL RD
PASO ROBLES, CA 93446

(805) 239-4560

FAX (805) 239-9912



CLUBHOUSE

Exhibit O1
Clubhouse Details
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

PROJECT
CLUBHOUSE
COLOR &
MATERIALS
SCHEDULE

01-107 FEB 7, 2002

A7

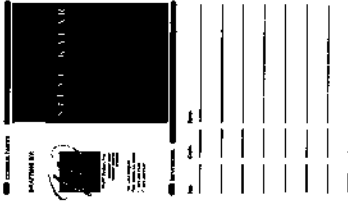
Resolution No. 09-027

PASO ROBLES
MOTORCOACH
RESORT

GOLDEN HILL RD
PASO ROBLES, CA 93446

(805) 239-4560

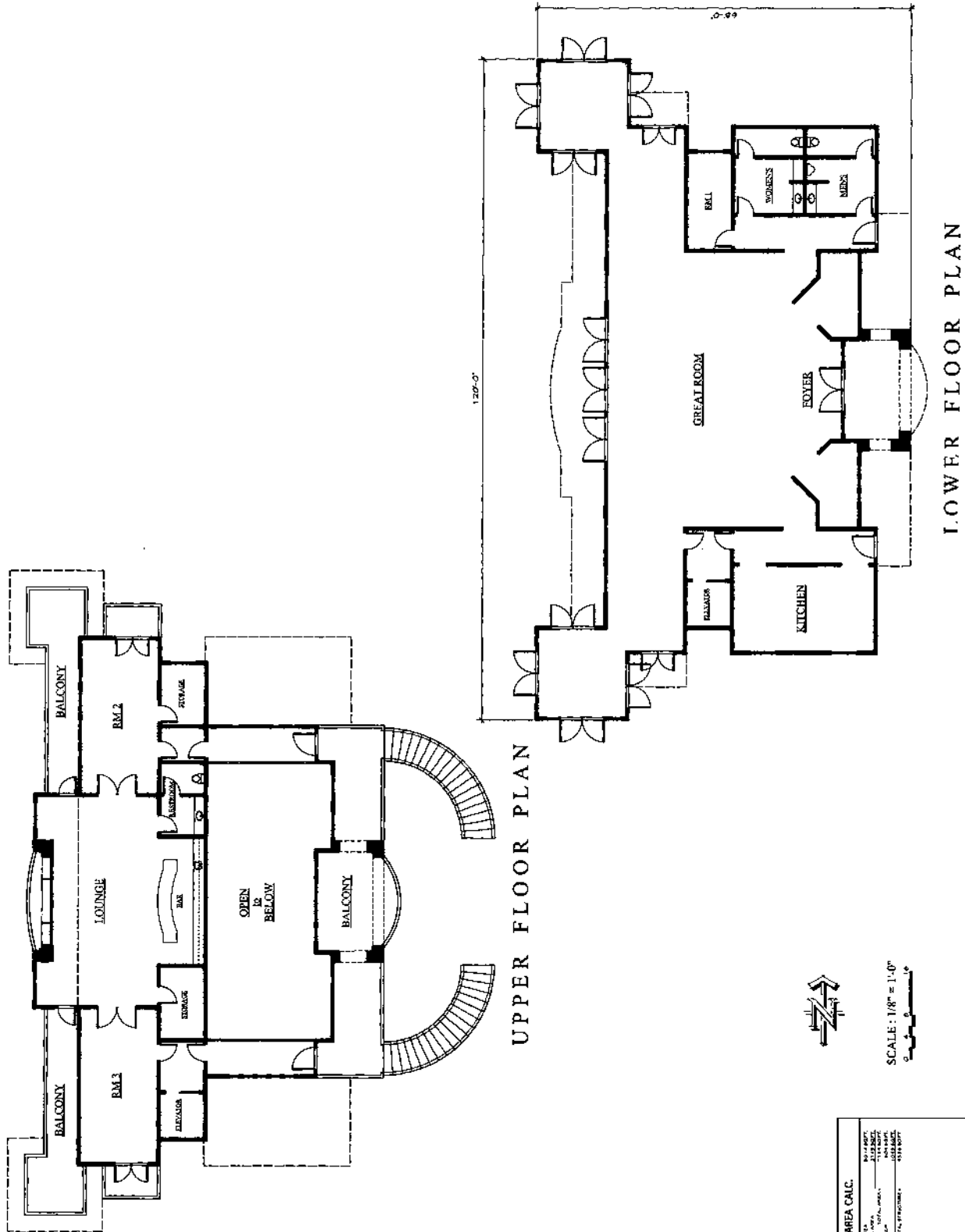
FAX (805) 239-9912



CLUBHOUSE
FLOOR PLANS

91-107 FEB 7, 2007

A8



AREA CALC.	
NET AREA	10,114.00
GROSS AREA	10,114.00
CEILING AREA	10,114.00
FLOOR AREA	10,114.00
TOTAL FLOOR AREA	10,114.00

Resolution No. 09-027

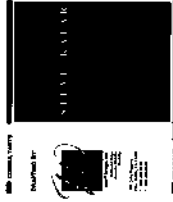
Exhibit O2
Clubhouse Details
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

PASO ROBLES
MOTORCOACH
RESORT

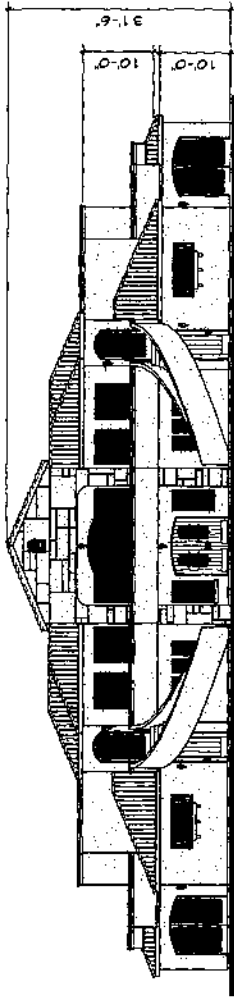
GOLDEN HILL RD
PASO ROBLES, CA 93446

(805) 239-4560

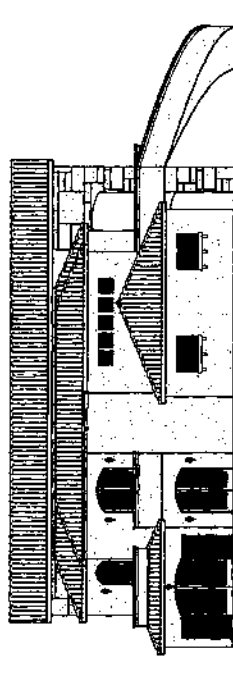
FAX (805) 239-9912



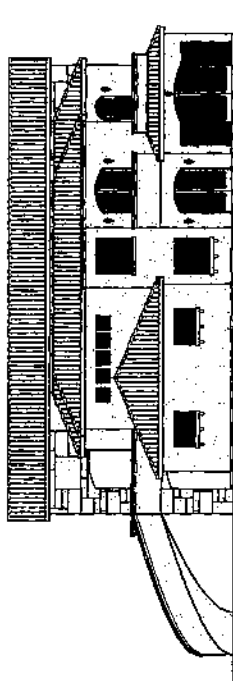
PROJECT NO. _____
**CLUBHOUSE
 ELEVATIONS**
 01-187
 FEB 7, 2007
 SHEET NO. _____
A9



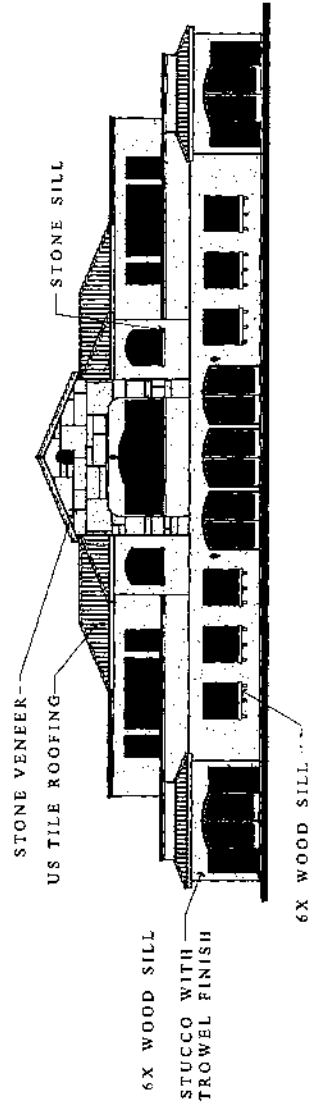
EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION

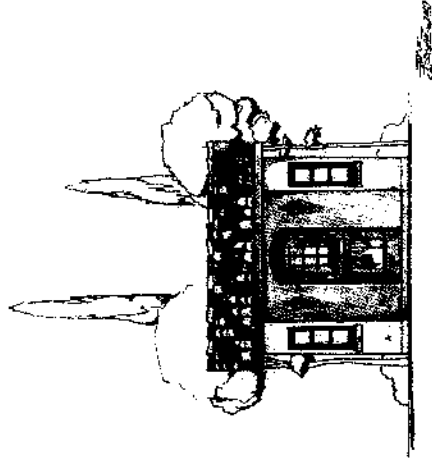
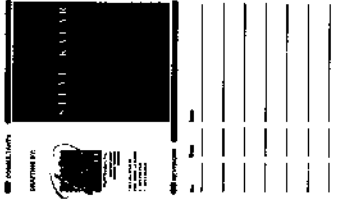
Exhibit O3
 Clubhouse Details
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

**PASO ROBLES
MOTORCOACH
RESORT**

GOLDEN HILL RD
PASO ROBLES, CA 93446

(805) 236-4560

FAX (805) 239-9912



GUARDHOUSE

Exhibit P1
Gaurdhouse Details
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

PROJECT TITLE	GUARDHOUSE COLOR & MATERIALS SCHEDULE
DATE	91-107 FEB 7, 2007
PROJECT NO.	
SCALE	
A10	

PASO ROBLES
MOTORCOACH
RESORT

GOLDEN HILL RD
PASO ROBLES, CA 93446

(805) 239-4560

FAX (805) 239-9912

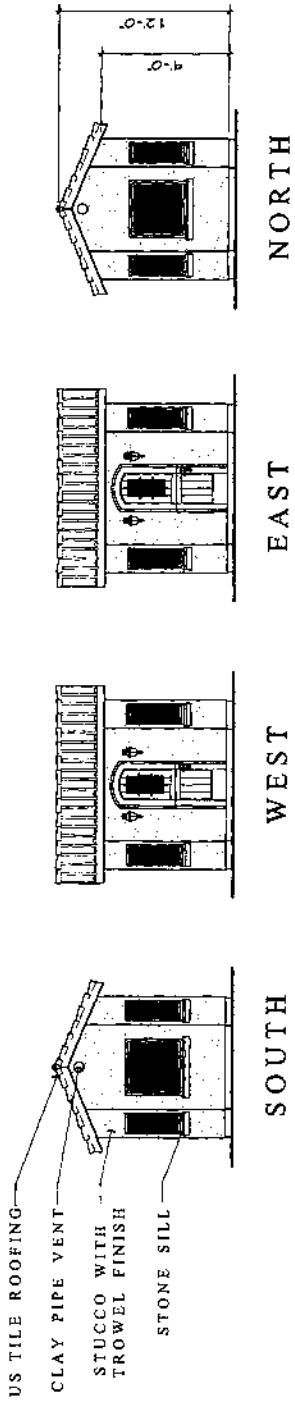


DATE	
BY	
CHECKED	
APPROVED	
SCALE	
TITLE	
PROJECT	
OWNER	
LOCATION	
DATE	

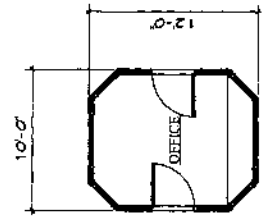
PROJECT
**GUARDHOUSE
FLOOR PLAN &
ELEVATIONS**

DATE
FEB 7, 2007

A11



**WEST EAST
ELEVATIONS**



FLOOR PLAN



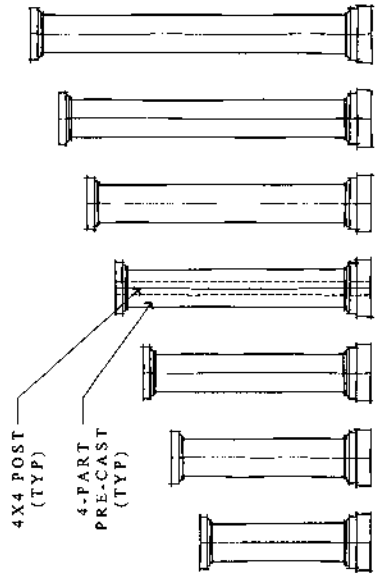
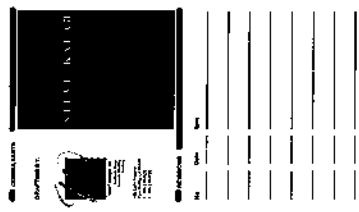
SCALE: 1/4" = 1'-0"

AREA CALC.	
TOTAL AREA	11.25 SQ FT
TOTAL PERIMETER	11.25 FT

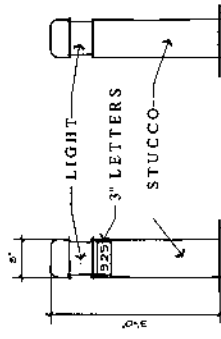
Exhibit P2
Guardhouse Details
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

PASO ROBLES
MOTORCOACH
RESORT
GOLDEN HILL RD
PASO ROBLES, CA 93446

(805) 239-4560
FAX (805) 239-9912



COLUMNS



SITE BOLLARD

NOTE:
FOR ALL STRUCTURES ALL HVAC
EQUIPMENT TO BE AT GRADE AND
SCREENED FROM VIEW WITH
LANDSCAPING

Exhibit Q1
Misc. Items
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

MISC ITEMS

01-107 FEB 7, 2007

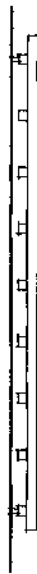
A12

PASO ROBLES
MOTORCOACH
RESORT

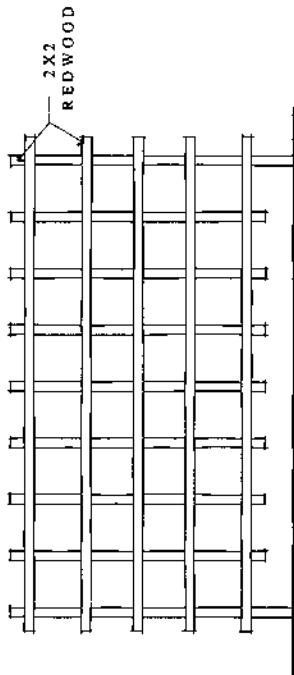
GOLDEN HILL RD
PASO ROBLES, CA 93446

(805) 239-4560

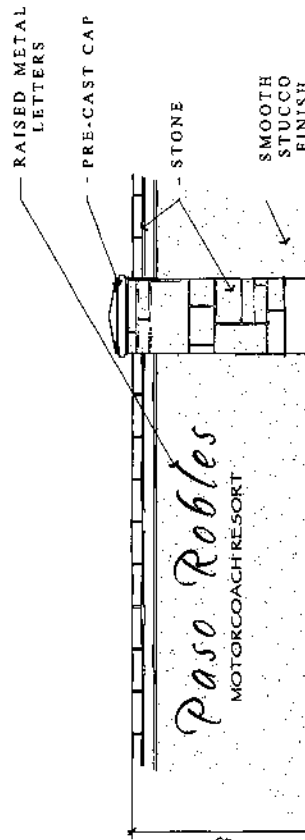
FAX (805) 239-9912



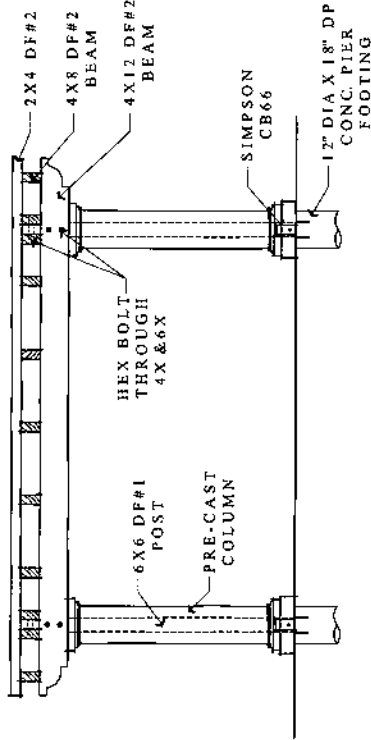
WALL TRELLIS PLAN



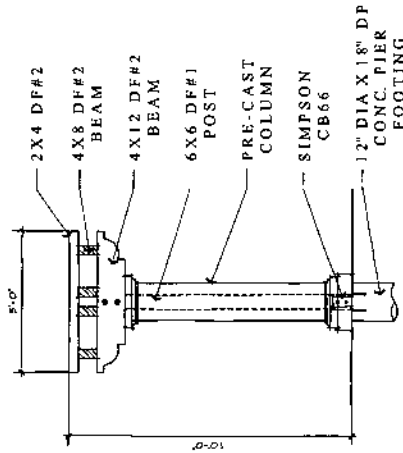
WALL TRELLIS ELEVATION



ENTRY SIGNAGE@TYPICAL WALL



TRELLIS FRONT ELEVATION



TRELLIS SIDE ELEVATION

MISC ITEMS

01-187 FEB 7, 2007

A13

Exhibit Q2
Misc. Items
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

PASO ROBLES
MOTORCOACH
RESORT

GOLDEN HILL RD
PASO ROBLES, CA 93446

(805) 239-4560
FAX (805) 239-9912

DATE: _____
 TIME: _____
 BY: _____
 FOR: _____
 APPROVED: _____
 SIGNATURE: _____
 TITLE: _____

OUTDOOR
LIGHTING

FEB 7, 2007

A14

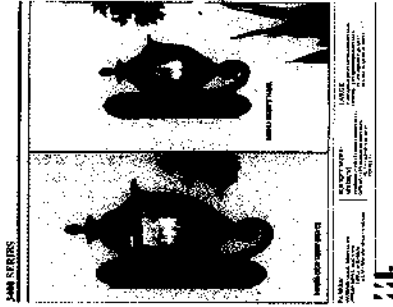
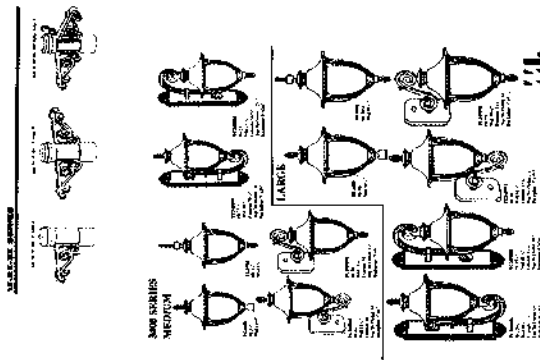
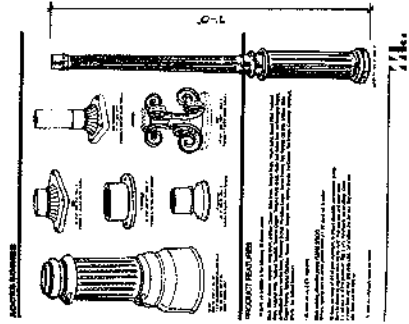
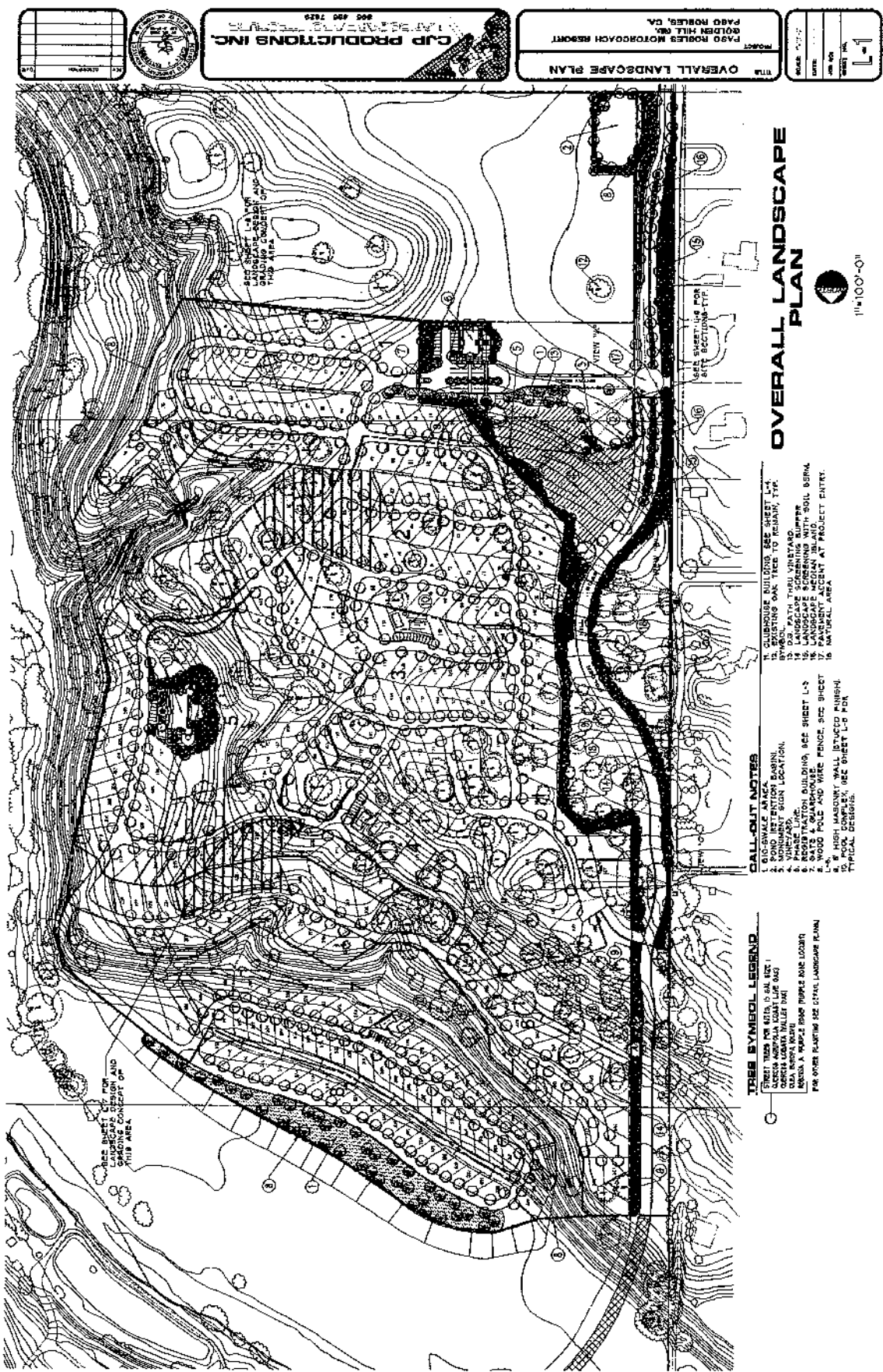


Exhibit R
Outdoor Lighting
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)

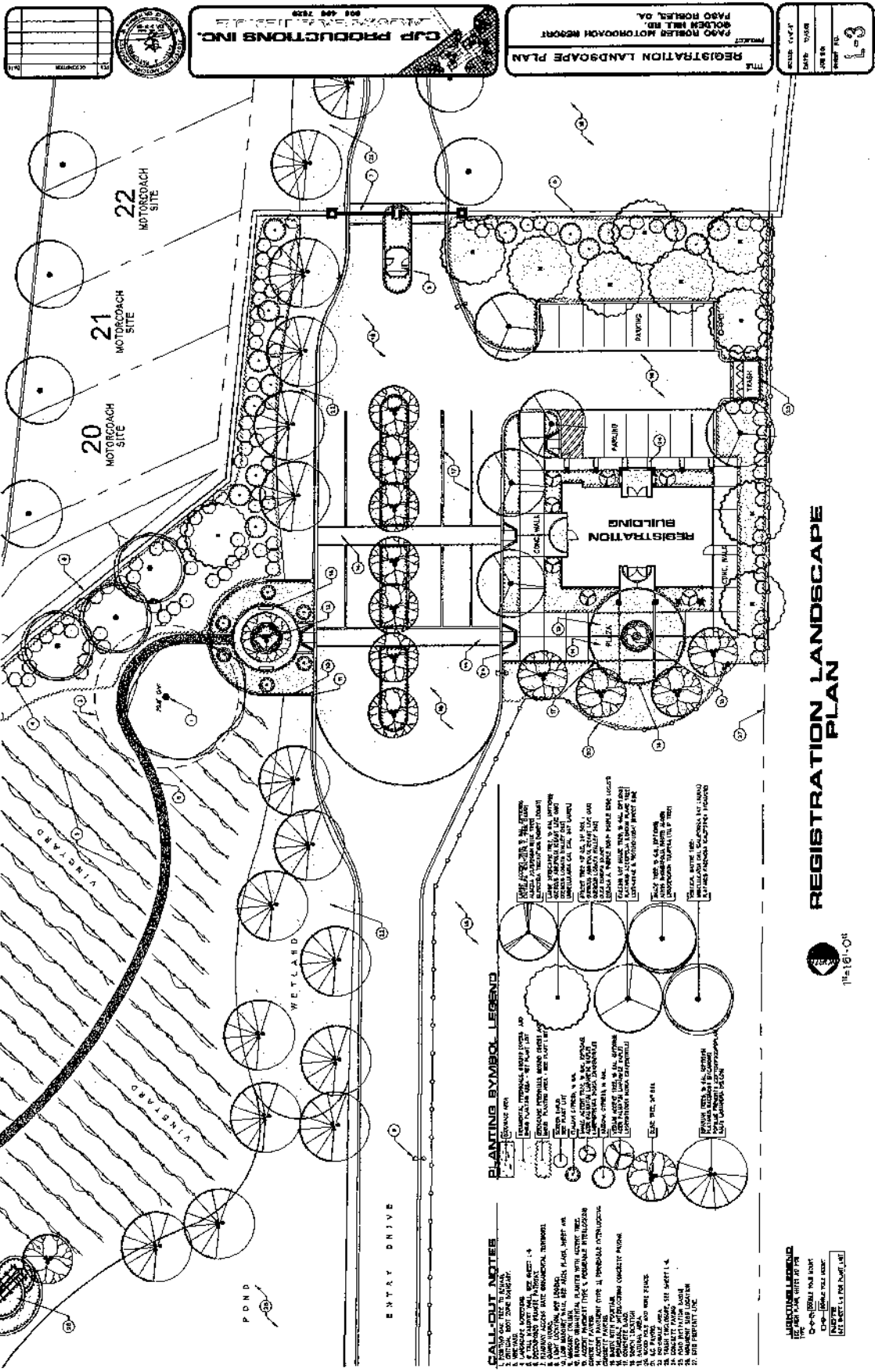


OVERALL LANDSCAPE PLAN

- CALL-OUT NOTES**
1. 6.0-SWALE AREA
 2. SAND RETENTION BASIN
 3. EXISTING OAK TREE TO REMAIN, TYP.
 4. VINEYARD
 5. ROOST HOUSE BUILDING, REC SHEET L-3
 6. GATE & GUARDHOUSE
 7. WOOD POLE AND WIRE FENCE, SEE SHEET L-3
 8. HIGH MASONRY WALL, DETACHED FINISH, TYPICAL DETAIL, REC SHEET L-3 FOR
 9. QUARRHOUSE BUILDING, REC SHEET L-4
 10. EXISTING OAK TREE TO REMAIN, TYP.
 11. 0.5' PATH THRU VINEYARD
 12. LANDSCAPE SCREENING BUFFER
 13. LANDSCAPE MEDIAN ISLAND
 14. LANDSCAPE MEDIAN ISLAND
 15. NATURAL ASCENT AT PROJECT ENTRY
 16. NATURAL AREA

- TREE SYMBOL LEGEND**
- 1. 1" TREE TYPICAL FOR 8" DIA. TREE
 - 2. 2" TREE TYPICAL FOR 12" DIA. TREE
 - 3. 3" TREE TYPICAL FOR 18" DIA. TREE
 - 4. 4" TREE TYPICAL FOR 24" DIA. TREE
 - 5. 5" TREE TYPICAL FOR 30" DIA. TREE
 - 6. 6" TREE TYPICAL FOR 36" DIA. TREE
 - 7. 7" TREE TYPICAL FOR 42" DIA. TREE
 - 8. 8" TREE TYPICAL FOR 48" DIA. TREE
 - 9. 9" TREE TYPICAL FOR 54" DIA. TREE
 - 10. 10" TREE TYPICAL FOR 60" DIA. TREE
 - 11. 11" TREE TYPICAL FOR 66" DIA. TREE
 - 12. 12" TREE TYPICAL FOR 72" DIA. TREE
 - 13. 13" TREE TYPICAL FOR 78" DIA. TREE
 - 14. 14" TREE TYPICAL FOR 84" DIA. TREE
 - 15. 15" TREE TYPICAL FOR 90" DIA. TREE
 - 16. 16" TREE TYPICAL FOR 96" DIA. TREE
 - 17. 17" TREE TYPICAL FOR 102" DIA. TREE
 - 18. 18" TREE TYPICAL FOR 108" DIA. TREE
 - 19. 19" TREE TYPICAL FOR 114" DIA. TREE
 - 20. 20" TREE TYPICAL FOR 120" DIA. TREE
 - 21. 21" TREE TYPICAL FOR 126" DIA. TREE
 - 22. 22" TREE TYPICAL FOR 132" DIA. TREE
 - 23. 23" TREE TYPICAL FOR 138" DIA. TREE
 - 24. 24" TREE TYPICAL FOR 144" DIA. TREE
 - 25. 25" TREE TYPICAL FOR 150" DIA. TREE
 - 26. 26" TREE TYPICAL FOR 156" DIA. TREE
 - 27. 27" TREE TYPICAL FOR 162" DIA. TREE
 - 28. 28" TREE TYPICAL FOR 168" DIA. TREE
 - 29. 29" TREE TYPICAL FOR 174" DIA. TREE
 - 30. 30" TREE TYPICAL FOR 180" DIA. TREE

Exhibit S1
 Landscape Plans
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)



- CALL-OUT NOTES**
1. REFER TO SHEET 09-027 FOR PLANTING SPECIFICATIONS
 2. ALL PLANTING TO BE INSTALLED WITHIN 90 DAYS OF PERMITTING
 3. LANDSCAPE ARCHITECT TO PROVIDE SPECIFICATIONS FOR ALL PLANTING
 4. ALL PLANTING TO BE INSTALLED WITHIN 90 DAYS OF PERMITTING
 5. ALL PLANTING TO BE INSTALLED WITHIN 90 DAYS OF PERMITTING
 6. ALL PLANTING TO BE INSTALLED WITHIN 90 DAYS OF PERMITTING
 7. ALL PLANTING TO BE INSTALLED WITHIN 90 DAYS OF PERMITTING
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 17. ALL PLANTING TO BE INSTALLED WITHIN 90 DAYS OF PERMITTING
 18. ALL PLANTING TO BE INSTALLED WITHIN 90 DAYS OF PERMITTING
 19. ALL PLANTING TO BE INSTALLED WITHIN 90 DAYS OF PERMITTING
 20. ALL PLANTING TO BE INSTALLED WITHIN 90 DAYS OF PERMITTING
 21. ALL PLANTING TO BE INSTALLED WITHIN 90 DAYS OF PERMITTING
 22. ALL PLANTING TO BE INSTALLED WITHIN 90 DAYS OF PERMITTING
- PLANTING SYMBOL LEGEND**
- Reference: 09-027
- 1. 1" DBL. CALIF. REDWOOD
 - 2. 1" DBL. CALIF. REDWOOD
 - 3. 1" DBL. CALIF. REDWOOD
 - 4. 1" DBL. CALIF. REDWOOD
 - 5. 1" DBL. CALIF. REDWOOD
 - 6. 1" DBL. CALIF. REDWOOD
 - 7. 1" DBL. CALIF. REDWOOD
 - 8. 1" DBL. CALIF. REDWOOD
 - 9. 1" DBL. CALIF. REDWOOD
 - 10. 1" DBL. CALIF. REDWOOD
 - 11. 1" DBL. CALIF. REDWOOD
 - 12. 1" DBL. CALIF. REDWOOD
 - 13. 1" DBL. CALIF. REDWOOD
 - 14. 1" DBL. CALIF. REDWOOD
 - 15. 1" DBL. CALIF. REDWOOD
 - 16. 1" DBL. CALIF. REDWOOD
 - 17. 1" DBL. CALIF. REDWOOD
 - 18. 1" DBL. CALIF. REDWOOD
 - 19. 1" DBL. CALIF. REDWOOD
 - 20. 1" DBL. CALIF. REDWOOD
 - 21. 1" DBL. CALIF. REDWOOD
 - 22. 1" DBL. CALIF. REDWOOD

REGISTRATION LANDSCAPE PLAN

Exhibit S3
 Landscape Plans
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

CUP PRODUCTIONS INC.
 202 448 1828
 101

PASO ROBLES MOTORCOACH REPORT
CLUBHOUSE LANDSCAPE PLAN

PROJECT: PASO ROBLES, TX
DATE: 08/01/01
SCALE: 1"=16'-0"

NO. 4

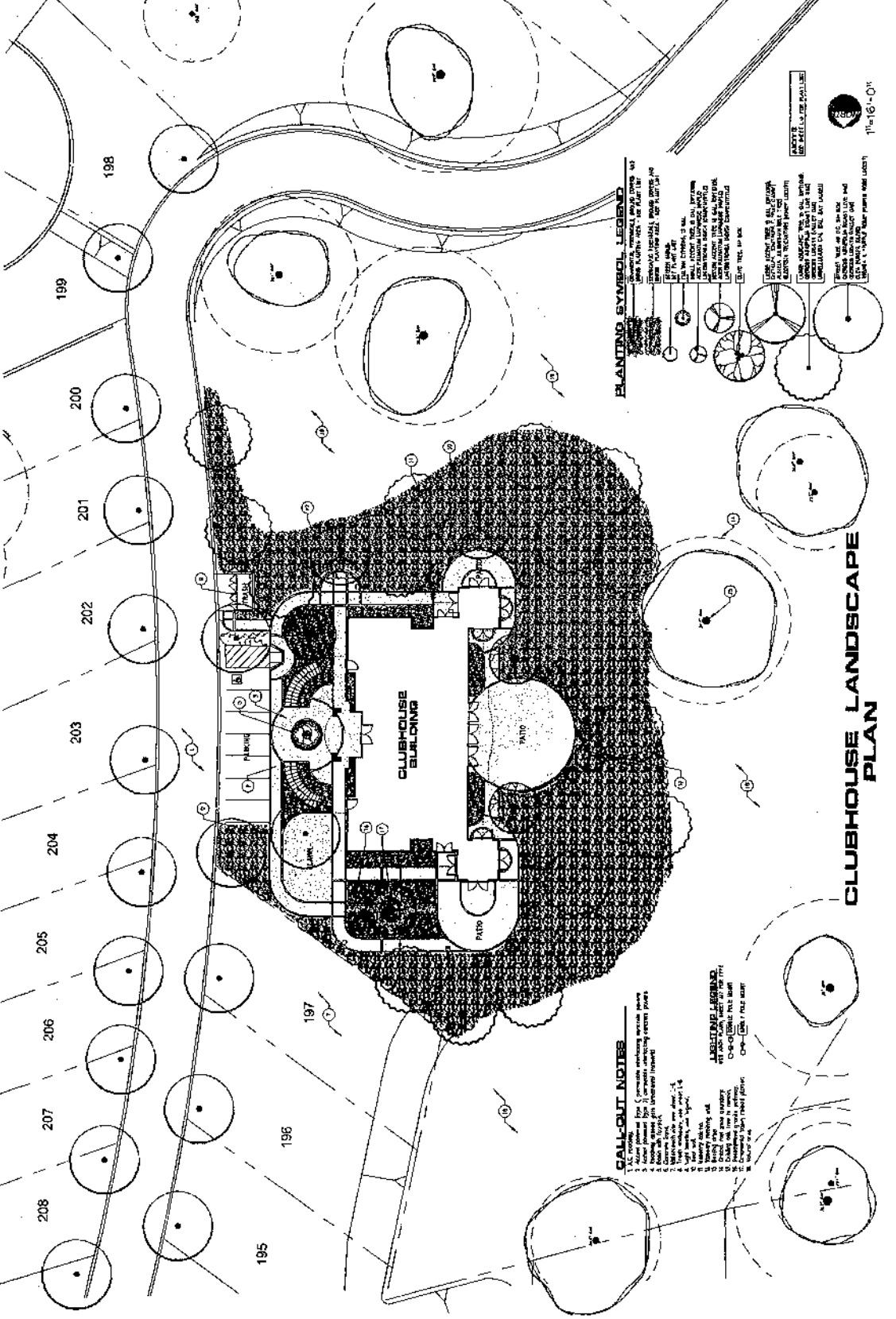


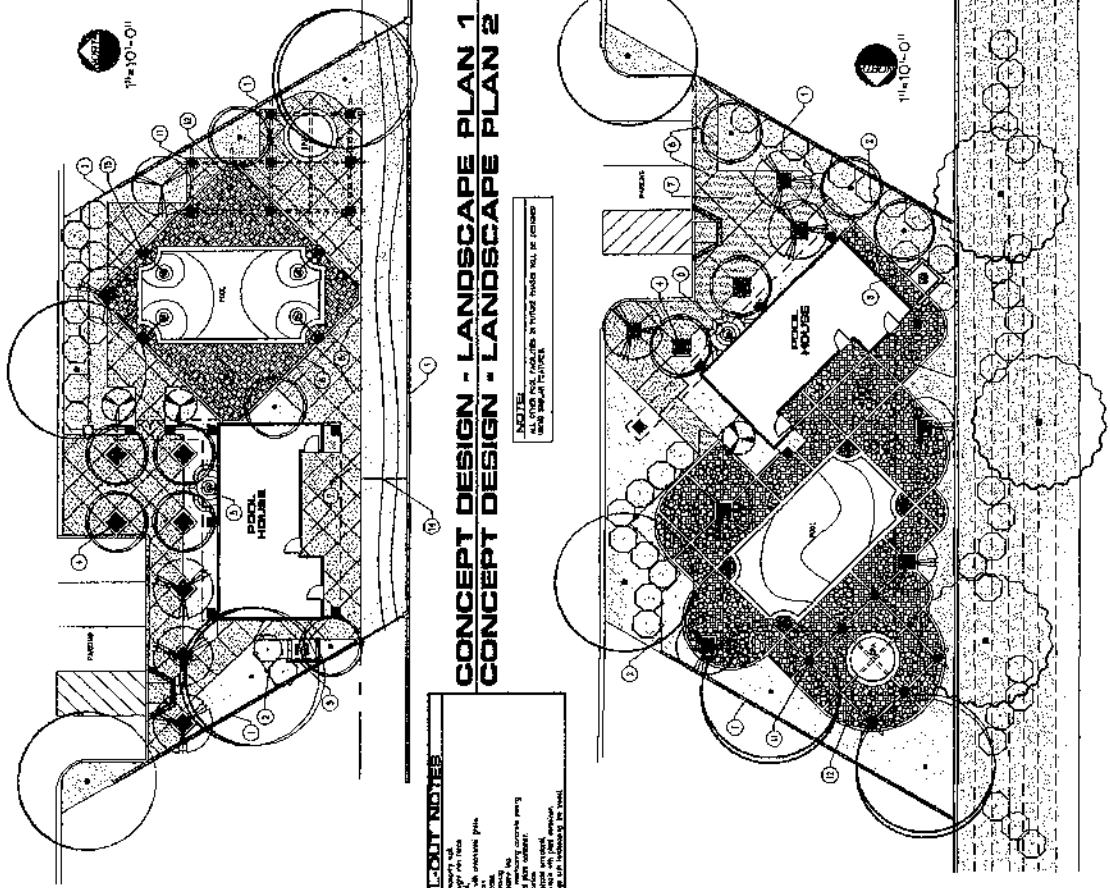
Exhibit S4
 Landscape Plans
 GPA 09-001, RZ 09-001, PD 08-001
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

CUP PRODUCTIONS INC.
10700 S. GARDEN AVENUE, SUITE 200
DALLAS, TEXAS 75243
817-490-1828

POOL L9 PLANS
PLANT LIST & IRR. NOTE

PROJECT: PASO ROBLES MOTORCOACH RESORT
OWNER: PASEO ROBLES, VA.
DATE: 04/25/08
DRAWN BY: [unintelligible]

SHEET NO. **9-1**
TOTAL SHEETS: 10



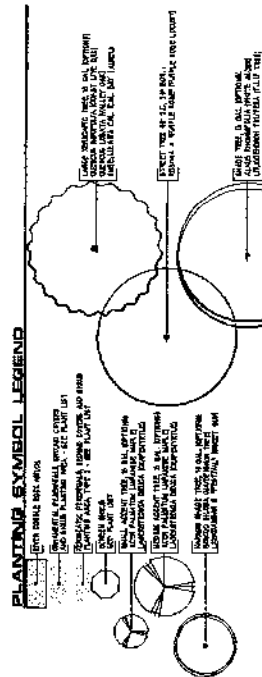
CONCEPT DESIGN - LANDSCAPE PLAN 1
CONCEPT DESIGN - LANDSCAPE PLAN 2

NOTES:
ALL CURB PILES LOCATED IN THESE THINGS WILL BE CONCRETE
AND 10\"/>

CALLOUT NOTES:

1. Refer to sheet 9-2
2. Refer to sheet 9-3
3. See notes on sheet 9-4
4. See notes on sheet 9-5
5. See notes on sheet 9-6
6. See notes on sheet 9-7
7. See notes on sheet 9-8
8. See notes on sheet 9-9
9. See notes on sheet 9-10
10. See notes on sheet 9-11

PLANTING SYMBOL LEGEND



PLANTING LIST

ALL PLANTING IS TO BE PLANTED WITHIN THE BOUNDARIES OF THE PROJECT UNLESS OTHERWISE NOTED OTHERWISE. ALL PLANTING IS TO BE PLANTED WITHIN THE BOUNDARIES OF THE PROJECT UNLESS OTHERWISE NOTED OTHERWISE.

- 1. **PLANTING LIST**
- 2. **PLANTING LIST**
- 3. **PLANTING LIST**
- 4. **PLANTING LIST**
- 5. **PLANTING LIST**
- 6. **PLANTING LIST**
- 7. **PLANTING LIST**
- 8. **PLANTING LIST**
- 9. **PLANTING LIST**
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- 11. **PLANTING LIST**
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- 30. **PLANTING LIST**
- 31. **PLANTING LIST**
- 32. **PLANTING LIST**
- 33. **PLANTING LIST**
- 34. **PLANTING LIST**
- 35. **PLANTING LIST**
- 36. **PLANTING LIST**
- 37. **PLANTING LIST**
- 38. **PLANTING LIST**
- 39. **PLANTING LIST**
- 40. **PLANTING LIST**
- 41. **PLANTING LIST**
- 42. **PLANTING LIST**
- 43. **PLANTING LIST**
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IRRIGATION NOTES

ALL PLANTING IS TO BE PLANTED WITHIN THE BOUNDARIES OF THE PROJECT UNLESS OTHERWISE NOTED OTHERWISE. ALL PLANTING IS TO BE PLANTED WITHIN THE BOUNDARIES OF THE PROJECT UNLESS OTHERWISE NOTED OTHERWISE.

Exhibit S5
Landscape Plans
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)



CUP PRODUCTIONS INC.
 208 488 7838

EXAMPLE SITE PLANS
 TRASH ENCL. & SIGN
 PASO ROBLES MOTORCOACH RESORT
 5900 HOLERS, GA.
 PROJECT NO. 09-001

SCALE: 1/8" = 1'-0"
 DATE: 10/10/01
 DRAWN BY: [Name]
 CHECKED BY: [Name]

EXAMPLE DESIGN
 for
MOTORCOACH SITE
 BACK-IN SITE 1/8"=10'-0"

- CALL-OUT NOTES** - PASO ROBLES
 1. CONCRETE CURB AND GUTTER FOR TRASH ENCL.
 2. CONCRETE CURB AND GUTTER FOR TRASH ENCL.
 3. TRASH ENCL. SHALL BE 6" HIGH, 4" WIDE, AND WHITE.
 4. PRECAST CONCRETE TRASH ENCL. SHALL BE 6" HIGH, 4" WIDE, AND WHITE.
 5. MODULAR VEHICLE PAVING.
- NOTE: SEE SHEET L-1 FOR TRASH GRADING AND
 SCHEDULES FOR FINISHMENT SITE.

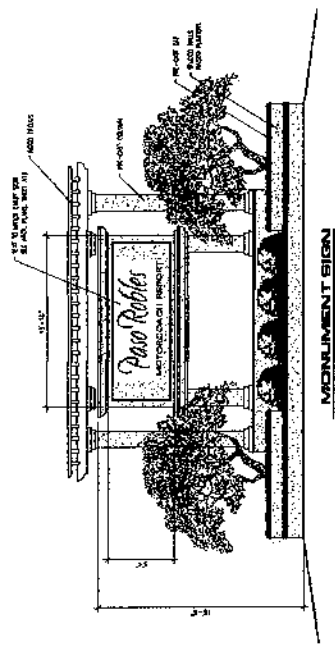
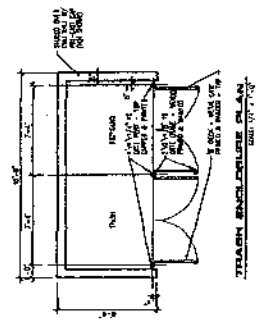
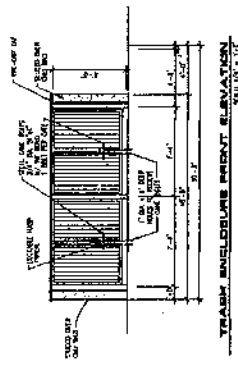
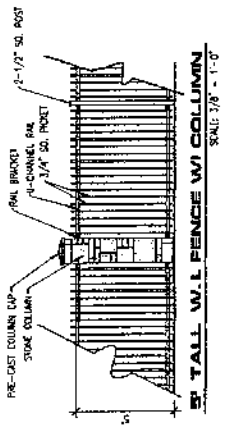
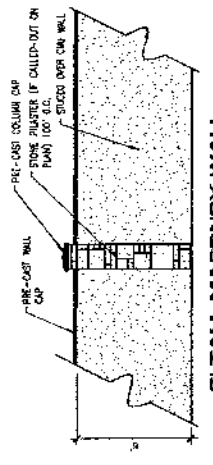
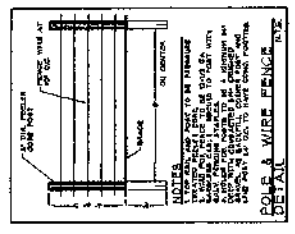
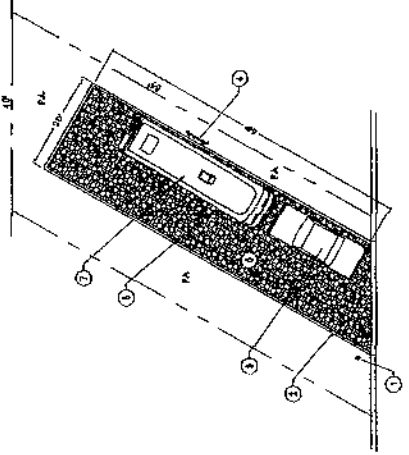


Exhibit S6
 Landscape Plans
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)



CJP PRODUCTIONS INC.
LANDSCAPE ARCHITECTS
205 438 1928

LANDSCAPE PLAN FOR GRADING CONCEPT #1
PASO ROBLES MOTORCOACH RESORT
PASO ROBLES, CA

SCALE	1" = 10'
DATE	2007
BY	RL
SHEET NO.	1

SYMBOL LEGEND

PAVED AREA
UNPAVED BITUMINOUS CONCRETE PAVING
HOSKALE PLAYING AREA
TRANSFORMER ENCLOSURE, 800-1100, 1000V, AND GROUNDING
LANDING AREA - SEE PLANT LIST
TYPE OF WALL
TYPE OF CONCRETE FOUNDATION
TYPE OF FLOORING
TYPE OF ROOFING
TYPE OF PAINT

- PLANTING LIST**
- THE FOLLOWING IS A LIST OF PLANTS WITH A LIST OF SPECIFICATIONS FOR PLANTING. THE PLANTING LIST IS SUBJECT TO CHANGE BASED ON THE RESULTS OF THE VISIT TO THE PROJECT.
- 1. **SPRING BLOSSOM** - 10' HIGHER THAN SURROUNDING TERRAIN
 - 2. **SPRING BLOSSOM** - 10' HIGHER THAN SURROUNDING TERRAIN
 - 3. **SPRING BLOSSOM** - 10' HIGHER THAN SURROUNDING TERRAIN
 - 4. **SPRING BLOSSOM** - 10' HIGHER THAN SURROUNDING TERRAIN
 - 5. **SPRING BLOSSOM** - 10' HIGHER THAN SURROUNDING TERRAIN
 - 6. **SPRING BLOSSOM** - 10' HIGHER THAN SURROUNDING TERRAIN
 - 7. **SPRING BLOSSOM** - 10' HIGHER THAN SURROUNDING TERRAIN
 - 8. **SPRING BLOSSOM** - 10' HIGHER THAN SURROUNDING TERRAIN
 - 9. **SPRING BLOSSOM** - 10' HIGHER THAN SURROUNDING TERRAIN
 - 10. **SPRING BLOSSOM** - 10' HIGHER THAN SURROUNDING TERRAIN

IRRIGATION NOTES

1. ALL PLANTS TO BE IRRIGATED BY AUTOMATIC SYSTEM.

2. ALL PLANTS TO BE IRRIGATED BY AUTOMATIC SYSTEM.

3. ALL PLANTS TO BE IRRIGATED BY AUTOMATIC SYSTEM.

4. ALL PLANTS TO BE IRRIGATED BY AUTOMATIC SYSTEM.

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8. ALL PLANTS TO BE IRRIGATED BY AUTOMATIC SYSTEM.

9. ALL PLANTS TO BE IRRIGATED BY AUTOMATIC SYSTEM.

10. ALL PLANTS TO BE IRRIGATED BY AUTOMATIC SYSTEM.

CALL-OUT NOTES

1. SEE PLANT LIST FOR SPECIFICATIONS.

2. SEE PLANT LIST FOR SPECIFICATIONS.

3. SEE PLANT LIST FOR SPECIFICATIONS.

4. SEE PLANT LIST FOR SPECIFICATIONS.

5. SEE PLANT LIST FOR SPECIFICATIONS.

6. SEE PLANT LIST FOR SPECIFICATIONS.

7. SEE PLANT LIST FOR SPECIFICATIONS.

8. SEE PLANT LIST FOR SPECIFICATIONS.

9. SEE PLANT LIST FOR SPECIFICATIONS.

10. SEE PLANT LIST FOR SPECIFICATIONS.



LANDSCAPE PLAN for GRADING CONCEPT #1

Exhibit S7
Landscape Plans
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)



CUP PRODUCTIONS INC.
 405 488 7828
 405 488 7828

PROJECT: LANDSCAPE PLAN FOR GRADING CONCEPT #2 PASO ROBLES MOTORCOACH RESORT, PASO ROBLES, CA.
 DRAWN BY: R. J. GARDNER
 CHECKED BY: R. J. GARDNER
 DATE: 08/18/2011

DATE: 08/18/2011
 DRAWN BY: R. J. GARDNER
 CHECKED BY: R. J. GARDNER
 SHEET NO. 02

SYMBOL LEGEND

- PROPOSED IRRIGATION CANALS - DOTTED LINE
- PROPPOSED PLANTING AREA - DOTTED LINE
- PROPOSED PLANTING AREA - DOTTED LINE
- PROPOSED PLANTING AREA - DOTTED LINE
- PROPOSED PLANTING AREA - DOTTED LINE



1. SPECIES: GOLF COURSE PINE
 2. SPECIES: PALM TREE
 3. SPECIES: PALM TREE
 4. SPECIES: PALM TREE
 5. SPECIES: PALM TREE

PLANTING LIST

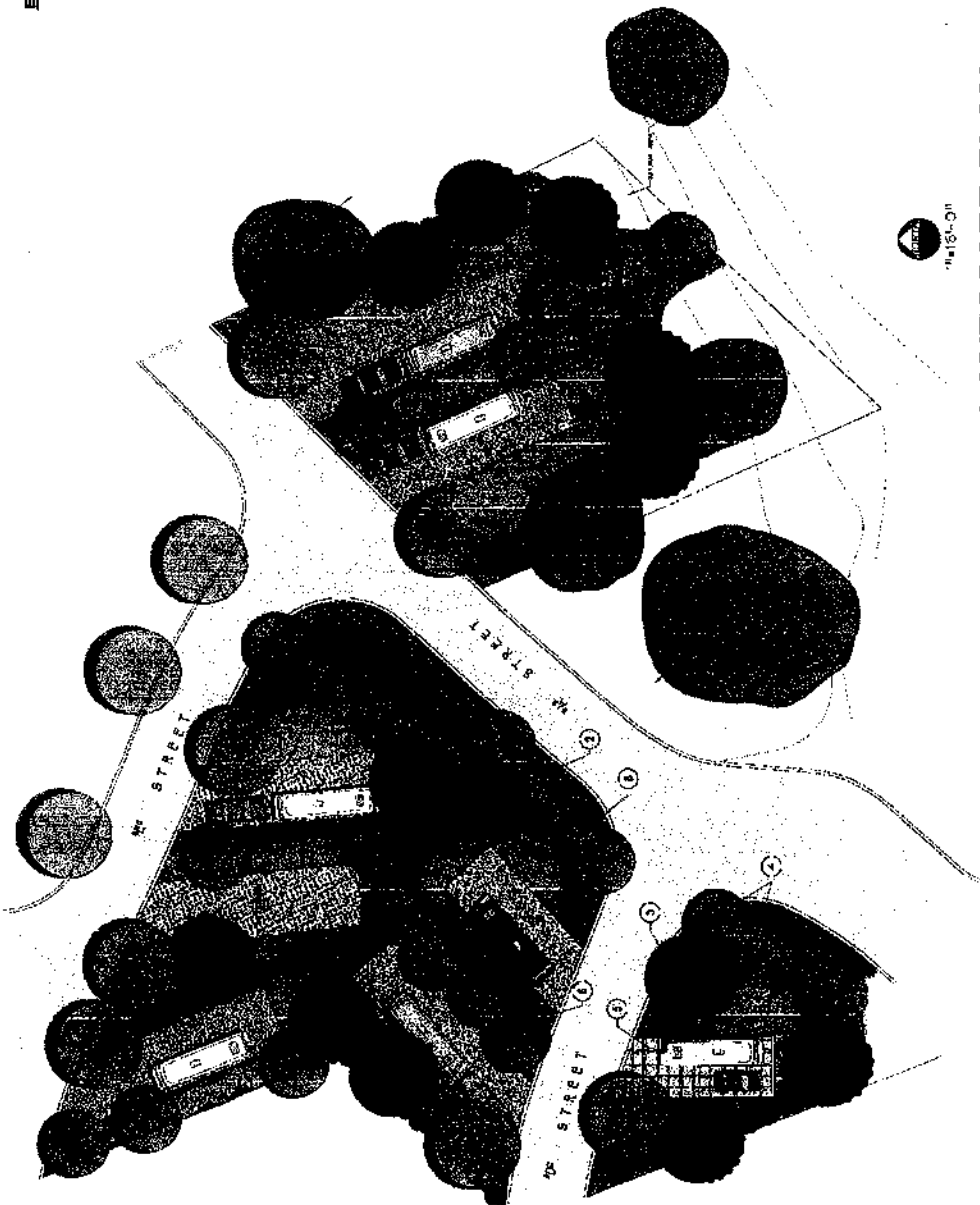
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 2. SPECIES: PALM TREE
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IRRIGATION NOTES

1. IRRIGATION CANALS TO BE INSTALLED PER PLAN
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CALL-OUT NOTES

1. IRRIGATION CANALS TO BE INSTALLED PER PLAN
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LANDSCAPE PLAN FOR GRADING CONCEPT #2

Exhibit S8
 Landscape Plans
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

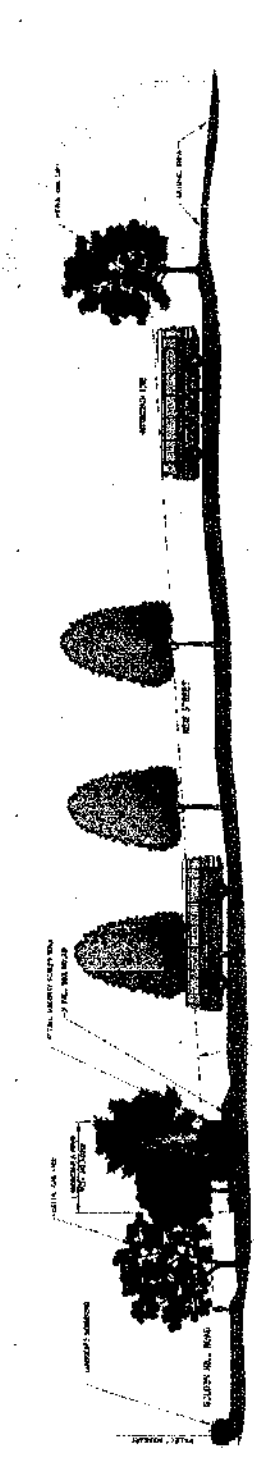
DATE	
BY	
CHK	



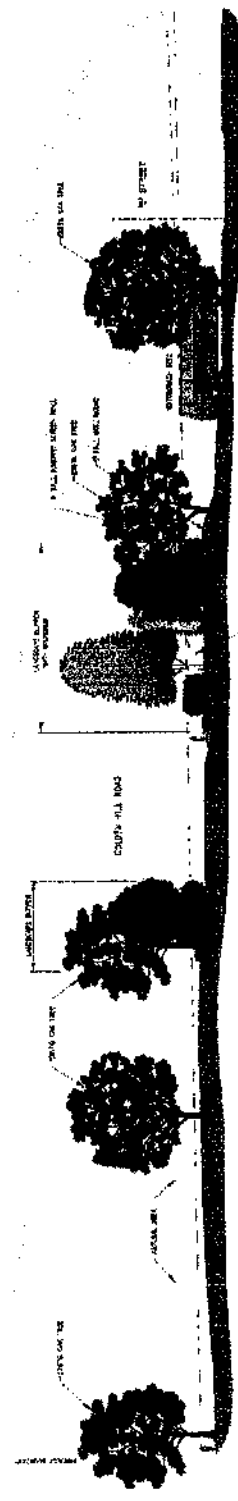
CUP PRODUCTIONS INC.
LANDSCAPE ARCHITECTS
800 444 7838

SITE SECTIONS
PROJECT: PASO ROBLES MOTORCOACH RESORT
GOLDEN HILL RD.
PASO ROBLES, CA.

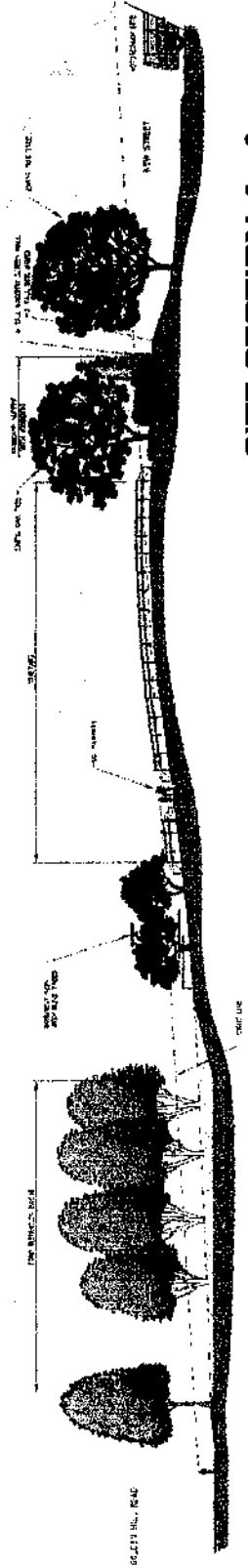
SCALE	1" = 10'
DATE	07/20/09
BY	JK
CHK	JK



SITE SECTION C-C
11/16/09



SITE SECTION B-B
11/16/09



SITE SECTION A-A
11/16/09

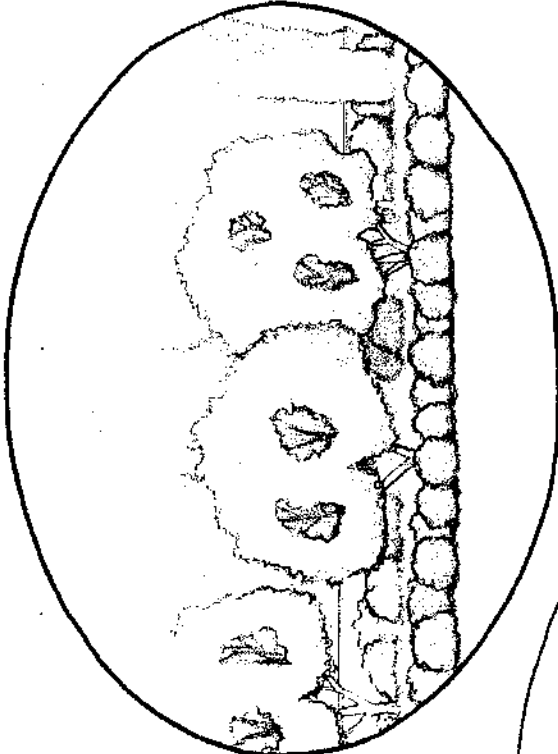
Exhibit S9
Landscape Plans
GPA 09-001, RZ 09-001, PD 08-001,
CUP 08-001 & LLA 07-0293
(Paso Robles Motorcoach)



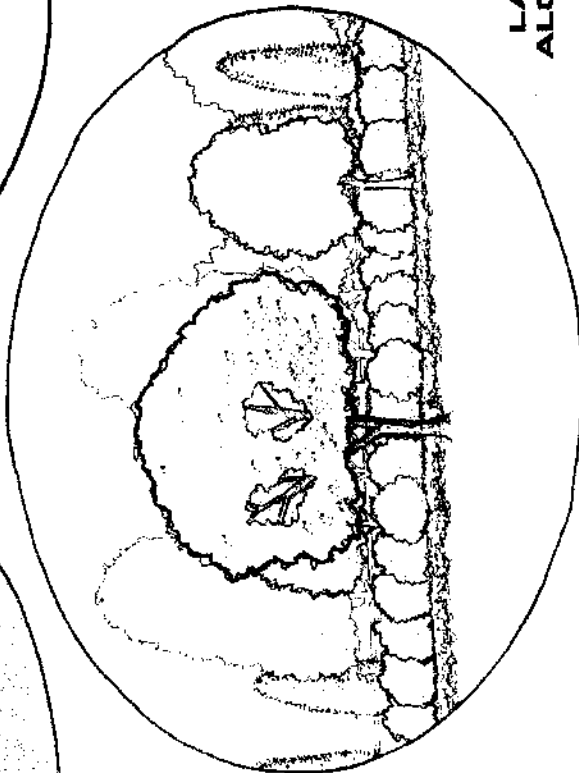
CJP PRODUCTIONS INC.
 LANDSCAPE ARCHITECTS
 4024 E. 15th Street, Suite 100
 Golden Hill, MD 21743
 410-326-1500

LANDSCAPE VIEWS
 TITLE
 PASO ROBLES MOTORCOACH RESORT
 GOLDEN HILL, MD
 PASO ROBLES, CA
 PROJECT NO. 09-001

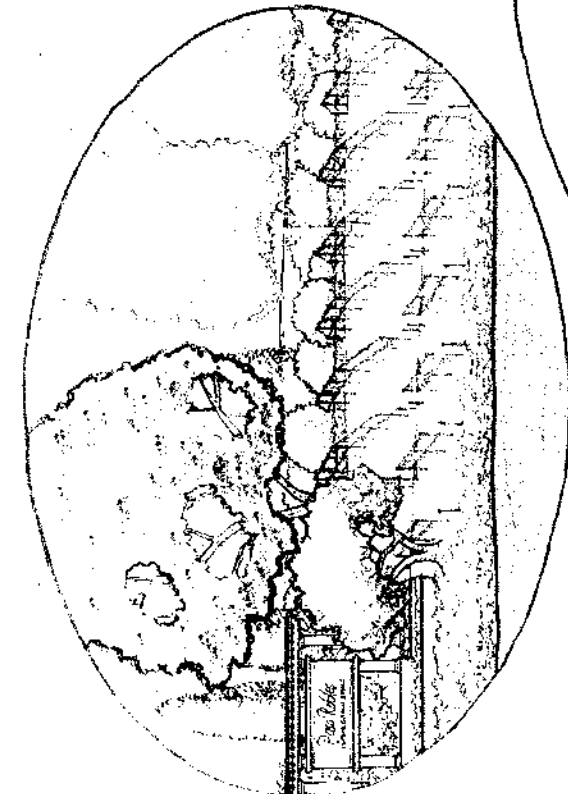
DATE	
BY	



A



B



C

**LANDSCAPE VIEWS
 ALONG LINES A, B & C**

Exhibit S10
 Landscape Plans
 GPA 09-001, RZ 09-001, PD 08-001,
 CUP 08-001 & LLA 07-0293
 (Paso Robles Motorcoach)

PROOF OF PUBLICATION

LEGAL NEWSPAPER NOTICES

PLANNING COMMISSION/CITY COUNCIL
PROJECT NOTICING


Newspaper: Tribune

Date of
Publication: December 29, 2011

Hearing
Date: January 10, 2012
(Planning Commission)

Project: Planned Development 08-001 and
Conditional Use Permit 08-001 Amendment
(Paso Robles Motorcoach Resort)

I, Theresa Variano, employee of the Community
Development Department, Planning Division, of the City
of El Paso de Robles, do hereby certify that this notice is
a true copy of a published legal newspaper notice for the
above named project.

Signed: 
Theresa Variano

forms\newsaffi.691

CITY OF EL PASO DE ROBLES
NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of El Paso de Robles will hold a Public Hearing on Tuesday, January 10, 2012, at 7:30 p.m. at the City of El Paso de Robles, 1000 Spring Street, Paso Robles, California, in the City Council Chambers, to consider the following project:

PD 08-001 & CUP 08-001 Amendment: The Paso Robles RV Park project was approved in March of 2009 (Previously Paso Robles Motorcoach Resort) to construct an RV Park on the approximate 76-acre site located at the northern end of Golden Hill Road. The Applicants are proposing to amend the project as follows:

- Consider a new design that would reduce the disturbed area (grading) from 73 acres to 50;
- Reduce the number of paved roads;
- Reduce the RV space size and reduce the use of permeable materials;
- Relocate reception building to the northeast, further away from Golden Hill Road;
- Replace the masonry wall with an open fence with screening landscaping;
- Reduce the number of retaining walls;
- Eliminate the RV sites at the south east corner of the site, which reduces views of RVs from Golden Hill Road;
- Request to review various conditions of approval related to road improvements and fees;
- Addendum to the Mitigated Negative Declaration related to Kit Fox mitigation.

Since the project was previously approved along with a Mitigated Negative Declaration (MND), and since the proposed project amendments will reduce the projects disturbed area from approximately 73 acres down to 50 acres, changes to the MND would consist of minor technical changes related to Kit Fox mitigation. The California Environmental Quality Act (CEQA) Section 15164, allows an agency to prepare an "Addendum to a Negative Declaration" to be considered by the Planning Commission and need not be circulated for public review.

Questions about this application may be directed to the Community Development Department at (805) 237-3970 or via email at planning@prcity.com. Comments on the proposed amendment to Planned Development and Conditional Use Permit, and corresponding Addendum to the Negative Declaration may be mailed to the Community Development Department, 1000 Spring Street, Paso Robles, CA 93446 or emailed to planning@prcity.com provided that such comments are received prior to the time of the hearing.

If you challenge this application in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at or prior to the public hearing.


Darren Nash
Associate Planner
December 29, 2011

6970466

AFFIDAVIT
OF MAIL NOTICES
PLANNING COMMISSION/CITY COUNCIL PROJECT NOTICING

I, Theresa Variano, employee of the City of El Paso de Robles, California, do hereby
certify that the mail notices have been processed as required for Planned Development 08-001/
CUP 08-001 Amendment (Paso Robles RV Park) on this 28th day of December 2011.

City of El Paso de Robles
Community Development Department
Planning Division

Signed: 
Theresa Variano

forms\mailaffi.691