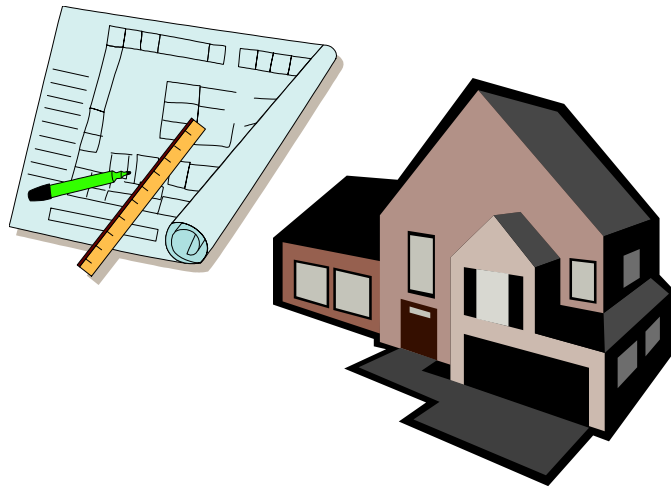


# Application Packet for

## Residential Remodel/Addition



City of Paso Robles  
**BUILDING DIVISION**  
1000 Spring Street  
Paso Robles, CA 93446

Phone: (805) 237-3850

Fax: (805) 238-4704



# CITY OF EL PASO DE ROBLES

*"The Pass of the Oaks"*

**Effective immediately** a submittal fee will be required on all Building and Engineering permit applications submitted to the Community Development Department:

<b>Construction Type</b>	<b>Amount</b>
Com/Ind/Hotel New	Based on Sq. Ft.
Com/Ind/Hotel Remodel, Addition, Sign	\$220.00
Demolition	\$110.00
Grading	\$148.00
Mechanical/Plumbing/Electrical	\$110.00
Residential New	\$2,000.00
Residential Remodel, Addition, Patio Covers	\$220.00
Swimming Pool, Spa	\$220.00

TO: CONTRACTORS, INDIVIDUALS SUBMITTING FOR BUILDING PERMIT FOR RESIDENTIAL ADDITION OR REMODEL

FROM: CITY OF PASO ROBLES BUILDING DIVISION

Effective January 2008 building plan check submittals for residential addition or remodel construction shall not be accepted or processed unless the following items are provided at the time of submittal:

- Two** (2) sets of building plans. **(FOLDED)**
- One** (1) additional copy of the floor plan, with dimensions (for County Assessors)
- Three** (2) Plot/Grading Plans, if applicable
- Two** (2) sets of energy calcs, if applicable
- Two** (2) sets of truss calcs, if applicable
- Two** (2) sets of structural calculations by a licensed Architect or Engineer, if applicable.
- Submit** a complete building application with consent of landowner form.
- A non-refundable application submittal fee is required at the time of package submittal.***

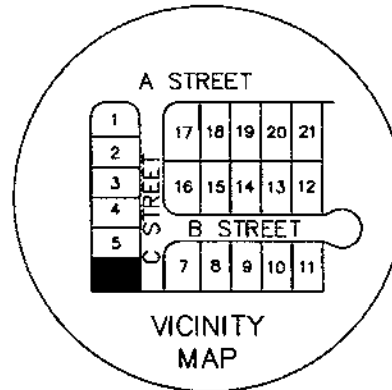
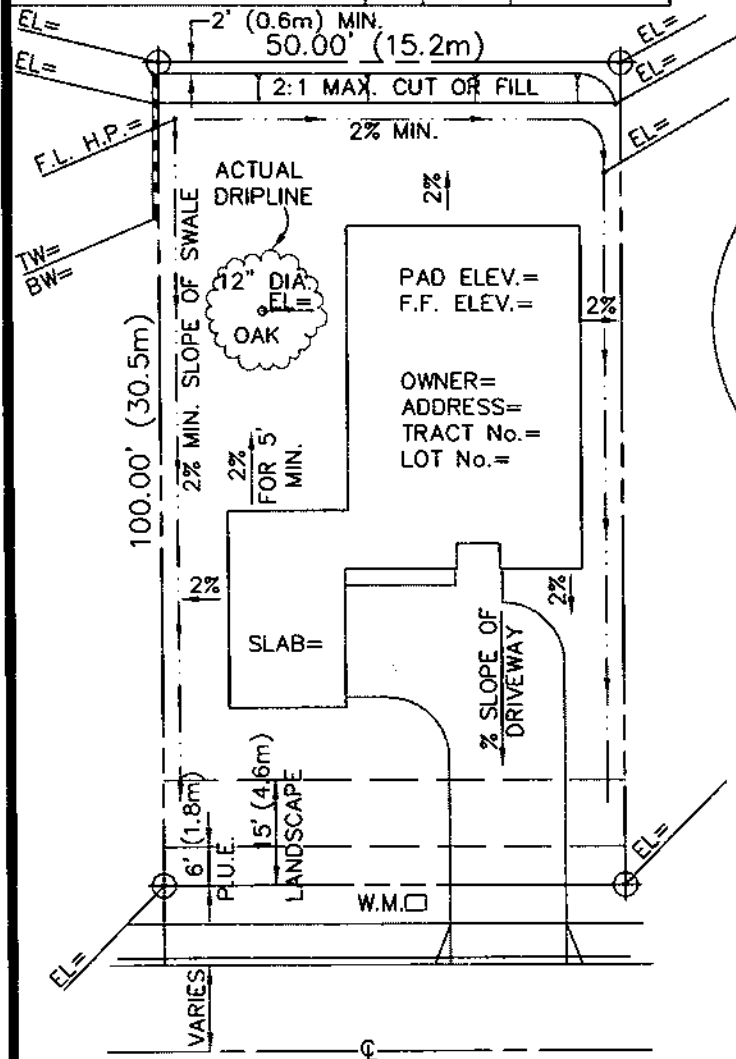
**INCOMPLETE SUBMITTAL WILL NOT BE ACCEPTED. ALL APPLICABLE INFORMATION MUST BE INCLUDED AT TIME OF PLAN REVIEW SUBMITTAL.**

Please make sure that your contractor has a copy of his current workers' compensation insurance filed with the Building Division. If owner/builder, complete the owner/builder verification form with a complete list of all sub-contractors and their state license number. A Building permit **cannot** be issued until all this information is submitted. All general contractors and/or sub-contractors are required to have a current city license to work in the City of Paso Robles.

***Note! The installation of curb, gutter, sidewalk, street and alley paving will be required for any project for which the valuation exceeds \$25,000.00. The amount of improvements required shall be equal to 25% of the project value as determined using Building Standards Publications. Should you have any questions if this applies to your project, please contact the City Engineer at (805) 237-3860. (Update April 2007)***

REVISIONS			
DESCRIPTIONS	BY	DATE	APPROVED

NOTE: SETBACKS PER PLANNING DIVISION



NO SCALE

STANDARD NOTES

1. DRAINAGE SHALL BE 2% AWAY FROM FOUNDATION FOR A MINIMUM OF 5'
2. CU YD CUT \_\_\_\_\_  
CU YD FILL \_\_\_\_\_
3. ALL GRADING AND DRAINAGE SHALL CONFORM TO CHAPTER 70 OF THE U.B.C.
4. WORK IN THE PUBLIC R/W REQUIRES AN "ENCROACHMENT PERMIT" FROM FROM THE ENGINEERING DIVISION.
5. SIDEYARD IMPROVEMENTS SHALL NOT OBSTRUCT DRAINAGE.
6. OVERALL DRAINAGE SHALL BE AT 2% SLOPE, 1% WITH PRIOR APPROVAL FROM THE CITY ENGINEER.
7. 2' MIN. SETBACK FROM P/L TO TOP OR TOE OF SLOPE.

PLOT PLAN REQUIREMENTS

1. THIS STANDARD IS TO BE USED FOR PAD GRADED LOTS OR LOTS WITH MINIMAL GRADING (THOSE EXEMPT FROM A GRADING PERMIT PER U.B.C. SEC. 7003, AND NOT CONSIDERED A "HILLSIDE LOT") ONLY. HILLSIDE LOTS (10% OR MORE) MUST BE 24"x36" FORMAT AND SIGNED BY A REGISTERED ENGINEER OR ARCHITECT.
2. FOR OTHER THAN PAD GRADED LOTS, EXISTING AND PROPOSED CONTOURS ARE REQUIRED.
3. SHOW ALL EASEMENTS.
4. INDICATE THE FOLLOWING: SCALE, NORTH ARROW, VICINITY MAP, CORNER ELEVATIONS, LOCATION OF C.G & S IN RELATION TO P/L AND C/L OF STREET, ALL SETBACKS (SEE R-1 ORD. FOR SETBACK REQUIREMENTS), SLOPE OF DRIVEWAY, PAD OR F.G. ELEVATION AT FOUNDATION, F.F. ELEVATION, HIGH POINT ELEVATION OF DRAINAGE SWALE, ELEVATION AT TOP AND BOTTOM OF SLOPES, DIMENSIONS OF THE LOT, DRAINAGE PATTERN AND SLOPE OF DRAINAGE, EXISTING CUT OR FILL SLOPES, AND TRACT, LOT NUMBERS, ADDRESS AND OWNER.
5. SHOW LOCATION AND DETAIL OF ALL PROPOSED RETAINING WALLS WITH ELEVATION AT TOP AND BOTTOM OF WALLS. WALLS OVER 4' IN HEIGHT MEASURED FROM THE BOTTOM OF THE FOOTING, AND WALLS SUPPORTING A SURCHARGE, ARE REQUIRED TO BE ENGINEERED.
6. ANY TWO STORY PORTION OF A STRUCTURE MUST BE A MIN. OF 10' FROM SIDE P/L.
7. SHOW EXACT LOCATION, DIAMETER, DRIPLINE, AND EXISTING ELEVATION AT BASE OF ALL OAK TREES. PLANS SHALL BE ACCOMPANIED BY A CERTIFICATE BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR ATTESTING TO THE ACCURACY OF THE TREE TRUNK AND DRIPLINE LOCATIONS WHEN EXISTING OAK TREES ARE IMPACTED IN ANY WAY BY CONSTRUCTION.
8. OFF-SITE PUBLIC IMPROVEMENTS (CURB, GUTTER, SIDEWALK, PAVING) MAY BE REQUIRED BY THE CITY ENGINEER.

DRAWN BY:  
C.A.C.  
DESIGNED BY:  
DATE:  
4/18/94  
FILE NAME:  
PR-M-31.DWG

CITY OF PASO ROBLES  
ENGINEERING DIVISION  
STANDARD PLOT PLAN  
FOR  
SINGLE FAMILY PROJECTS

DRAWING NO.  
M-3.1



## Time Frame for Completion of the Plan Review Process

City of Paso Robles Building Division Phone (805) 237-3850 Fax (805) 238-4704

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### ATTENTION CONTRACTORS AND DEVELOPERS:

Effective December 14, 2000, quoted time frames for completion of the plan review process for Single Family Residence and Commercial/Industrial projects (excluding that time consumed by the contractor or developer for correction and/or amendment) shall be as follows:

#### Initial plan review (first plan check):

*Forty-five (45)* working days (this excludes weekends and holidays) will be required to complete the initial plan review process.

#### Second plan review (plans recheck):

*Forty-five (45)* working days (this excludes weekends and holidays) will be required to complete the second plan review (recheck).

#### Plan review for small permits:

*Thirty (30)* working days for initial plan review for all small permits which include; addition, remodel, tenant improvements, patio covers. Allow *twenty (20)* days to complete the second plan review (recheck).

- \*\* Please note that the time frames quoted above do not include that time period when plans are in the possession of the contractor, developer, drafts person, or architect for correction and/or amendment.
- \*\* Requests from individuals for priority plan review on initial submissions or rechecks will not be acknowledged. Plans shall be reviewed on a first come, first serve basis.
- \*\* The Building Division will neither quote nor be responsible for that time frame required by the City Engineering Division to process site drainage plans, or grading plans. Those time frames must be discussed with the City Engineer.

## BUILDERS

Effective January 1, 1992, Senate Bill 493, codified as Revenue and Taxation Code Section 72(c), became effective. This law requires a copy of the floor plan, for use by the Tax Assessor, to be filed with the Building Division when the approved set of building plans are filed.

THE SAN LUIS OBISPO COUNTY ASSESSOR requires:

1. A legible copy of the floor plans of all new construction with all dimensions and angles, legible and clearly delineated.
2. The drawings may be any size from 8½" x 11" (smallest) to "E" size drawings (largest).
3. On plans for additions and remodels, the drawing should include where the additions attach to the existing building and any interior alterations that are being made.
4. The correct Assessor's Parcel Number or Situs Address shall be noted on the plans.

Your cooperation will allow the Assessor to do his job while reducing disturbances to you at the job site.

If you have any questions, contact the Building Division of the Community Development Department.



**CITY OF EL P a s DE ROBLES**  
*"The Pass of the Oaks"*

February 26,2008

**SUBJECT: Penalties for Work Performed Without Required Permits / Approvals**

The City has recently experienced a growing number of instances where developers, contractors and/or property owners have undertaken grading, construction and related work without first obtaining the necessary City permits or approvals. The number and extent of these problems have made it necessary to discuss the penalties for work occurring without City permits I approvals.

At its February 20,2001 meeting, the Paso Robles City Council reviewed a report on the problem of work occurring without permits I approvals and directed City staff and the City Attorney to take steps to address these code violations through the use of criminal prosecution, as authorized by the City's Municipal Code.

Please note that under criminal prosecution, the maximum penalties for work being done without the required permits / approvals are fines of \$1,000 per day and/or 6 months imprisonment. These penalties have long been a part of the City's Municipal Code, and the purpose of this notice is to advise you that the City will be actively enforcing its provisions.

The City wishes to avoid criminally prosecuting any person doing work occurring without a required permit or approval. Therefore, your cooperation and understanding would be sincerely appreciated. In that context, you are encouraged to contact this office any time you have a question regarding whether or not a particular project or activity would require a City permit or City approval.

Please feel free to contact me should you have any questions or other information needs.

Sincerely,



**Ronald Whisenand**

Community Development Director

**INFORMATION PERTAINING TO APPLICATION FOR BUILDING PERMIT,  
CITY OF PASO ROBLES**

*The following information should be filled out as completely as possible. Failure to do so may impede the permit process*

**PLEASE PRINT:**

OWNER (S): \_\_\_\_\_ PHONE: (\_\_\_\_) \_\_\_\_\_

OWNER (S) ADDRESS: \_\_\_\_\_ E-MAIL: \_\_\_\_\_

TENANT (S): \_\_\_\_\_ PHONE: (\_\_\_\_) \_\_\_\_\_

TENANT (S) ADDRESS: \_\_\_\_\_ E-MAIL: \_\_\_\_\_

AGENT FOR OWNER: \_\_\_\_\_ PHONE: (\_\_\_\_) \_\_\_\_\_

AGENTS' ADDRESS: \_\_\_\_\_ E-MAIL: \_\_\_\_\_

PROJECT ADDRESS: # \_\_\_\_\_ STREET \_\_\_\_\_ LOT \_\_\_\_\_ TRACT \_\_\_\_\_

ARCH./DRAFTSMAN: \_\_\_\_\_ PHONE: (\_\_\_\_) \_\_\_\_\_

ARCH./DRAFTSMAN ADDRESS: \_\_\_\_\_ E-MAIL: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ PHONE: (\_\_\_\_) \_\_\_\_\_

ADDRESS: \_\_\_\_\_ E-MAIL: \_\_\_\_\_

CONTRACTORS' LICENSE NUMBER: \_\_\_\_\_ LICENSE CLASS: \_\_\_\_\_ EXPIRATION DATE: \_\_\_\_\_

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**PROJECT INFORMATION: SCOPE OF WORK:** \_\_\_\_\_

**VALUE OF PROJECT:** \$ \_\_\_\_\_

**PERMIT REQUESTED:** BUILDING \_\_\_\_\_ DEMOLITION \_\_\_\_\_ MECHANICAL/PLUMBING/ELECTRICAL \_\_\_\_\_

SWIMMING POOL/SPA \_\_\_\_\_ SIGN \_\_\_\_\_

**TOTAL SQUARE FEET OF BUILDING:** \_\_\_\_\_ **GARAGE:** \_\_\_\_\_ **PATIO/DECK:** \_\_\_\_\_

**SETBACKS:** FRONT: \_\_\_\_\_ FT. SIDES: \_\_\_\_\_ FT. REAR: \_\_\_\_\_ FT.

**NUMBER BEDROOMS:** \_\_\_\_\_ **NUMBER BATHROOMS:** \_\_\_\_\_ **NUMBER OF STORIES:** \_\_\_\_\_

**OCCUPANCY GROUP:** \_\_\_\_\_

**CONSTRUCTION TYPE:** \_\_\_\_\_ I A, II A \_\_\_\_\_ IIIA, VA \_\_\_\_\_ II B, III B, IV, V B

**APPLICATION #** \_\_\_\_\_

**PLEASE COMPLETE THE REVERSE SIDE**

**CONSTRUCTION MATERIALS:**

FRAME:            FOUNDATION:            ROOF:            HEATING:            EXTERIOR WALL:

- |                                  |                                       |                                      |                                    |   |
|----------------------------------|---------------------------------------|--------------------------------------|------------------------------------|---|
| <input type="checkbox"/> WOOD    | <input type="checkbox"/> WOOD         | <input type="checkbox"/> BUILT-UP    | <input type="checkbox"/> ELEC      | <input type="checkbox"/> WOOD SIDING    |
| <input type="checkbox"/> METAL   | <input type="checkbox"/> CONCRETE     | <input type="checkbox"/> METAL       | <input type="checkbox"/> GAS FURN. | <input type="checkbox"/> STUCCO         |
| <input type="checkbox"/> TIMBER  | <input type="checkbox"/> SLAB         | <input type="checkbox"/> COMP SHING. | <input type="checkbox"/> GAS WALL  | <input type="checkbox"/> MASONRY VENEER |
| <input type="checkbox"/> MASONRY | <input type="checkbox"/> PIERS.CAISS. | <input type="checkbox"/> TILE        | <input type="checkbox"/> SOLAR     | <input type="checkbox"/> CONCRETE BLOCK |
|                                  |                                       | <input type="checkbox"/> OTHER       |                                    | <input type="checkbox"/> METAL          |

**UTILITIES:**

TYPE WATER HEATING: \_\_\_\_\_ FIREPLACE TYPE: \_\_\_\_\_

HVAC: \_\_\_\_\_ TYPE:  GAS  LPG  ELEC.  OTHER: \_\_\_\_\_

SIZE: \_\_\_\_\_ BTU

SEWERAGE DISPOSAL:  CITY SEWER  PRIVATE

**RETAINING WALL INFORMATION:**

LENGTH: \_\_\_\_\_ HEIGHT: \_\_\_\_\_ MATERIAL: \_\_\_\_\_

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**INDUSTRIAL WASTE:**

Will your business have any wastewater discharge from any fixture or equipment other than a hand sink or bathroom fixtures? Yes or No

If Yes, what are they? \_\_\_\_\_

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# CITY OF EL PASO DE ROBLES

1000 Spring Street  
Paso Robles, CA 93446

## Notice to Property Owner

### *Dear Property Owner:*

An application for a building permit has been submitted in your name listing yourself as the builder of the property improvements specified at \_\_\_\_\_

We are providing you with an Owner-Builder Acknowledgment and Information Verification Form to make you aware of your responsibilities and possible risk you may incur by having this permit issued in your name as the Owner-Builder.

We will not issue a building permit until you have read, initialed your understanding of each provision, signed, and returned this form to us at our official address indicated. An agent of the owner cannot execute this notice unless you, the property owner, obtain the prior approval of the permitting authority.

### **OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION**

**DIRECTIONS:** Read and initial each statement below to signify you understand or verify this information.

\_\_\_\_1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "'Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

\_\_\_\_2. I understand building permits are not required to be signed by property owners unless they are responsible for the construction and are not hiring a licensed Contractor to assume this responsibility.

\_\_\_\_3. I understand as an "'Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.

\_\_\_\_4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.

\_\_\_\_5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "'employer" under state and federal law.

\_\_\_\_6. I understand if I am considered an "'employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "'employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

\_\_\_\_7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless all work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.

\_\_\_\_8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.

\_\_\_\_9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or www.cslb.ca.gov for more information about licensed contractors.

\_\_\_\_10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the address listed above.

\_\_\_\_11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

\_\_\_\_12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form.

Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage.

Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

\_\_\_\_\_  
Signature of property owner

\_\_\_\_\_  
Date:

The following person(s) have been contracted (hired) to provide the work indicated:

Name	Address	Phone	Type of Work	License/Class No.



# CITY OF EL PASO DE ROBLES

*"The Pass of the Oaks"*

## CONSENT OF LANDOWNER FORM

Consent for Building Permit Type: \_\_\_\_\_

Project Address: \_\_\_\_\_

Property Owner: \_\_\_\_\_ Day Phone: \_\_\_\_\_

Mailing address: \_\_\_\_\_

City: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Person authorized to act as Agent/Applicant: \_\_\_\_\_

Applicant/Agent Day Phone: \_\_\_\_\_

Mailing address: \_\_\_\_\_

City: \_\_\_\_\_ Zip Code: \_\_\_\_\_

I/We, the undersigned owner(s) of record of the fee interest in the above noted land for which an application for a building permit is being requested, do certify that:

- I. Such application may be filed and processed with my/our full consent. The applicant is authorized to act as my agent in all contacts with the City in connection with this matter. I/We hereby grant the City of Paso Robles or any of its authorized agents the right to enter upon the land described herein at any time during normal business hours for the purposes of site inspection

I certify under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

\_\_\_\_\_  
Property owner signature Date

BUILDING DIVISION APPLICATION NUMBER: \_\_\_\_\_

## Grading Permit Information

### When is a grading permit required?

No person shall perform any grading, or shall import or export any earth materials to or from any grading site, without first having obtained a permit from the city engineer. No person shall construct hard pavement surfacing in excess of two hundred square feet, on natural or existing grade for the purpose of a private road or commercial, industrial or multi-residential parking lot or travelway without a valid grading permit.

#### Exceptions:

- A. Resurfacing or maintenance of paved surfaces;
- B. Grave sites within a cemetery;
- C. Excavation for public utility installation or repair, with a trench width of twenty-four inches or less and controlled by a city encroachment permit or other permit issued by the city;
- D. Refuse disposal within a public sanitary landfill site controlled by other regulations;
- E. An excavation or fill conducted by the city for emergency work as deemed necessary by the city engineer;
- F. Exploratory borings and excavations under the direction of soils engineers or engineering geologists; provided, that the site is restored to its original condition;
- G. A fill not intended to support structures which does not exceed fifty cubic yards; provided that:
  - 1. An excavation which is less than two feet in depth, or which does not create a cut slope greater than five feet in height and steeper than two horizontal to one vertical,
  - 2. A fill which is less than one foot in depth and placed on natural terrain with a slope flatter than five horizontal to one vertical and not intended to support a structure,
  - 3. The grading does not obstruct or divert a drainage course,
  - 4. The disturbed area due to grading operations is less than three thousand square feet;
- H. Farming and agricultural grading operations on parcels which are zoned and used primarily for agriculture under the control of the United States Department of Agriculture Soil Conservation Service.
- I. Grading which does not violate the provisions of the Hillside Ordinance sedimentation.

## How Do I obtain a Grading Permit?

Grading permit applications are available at City Hall from the Engineering Division or for download on the web site.

A. Application. To obtain a grading permit the applicant shall first file an application therefore in writing on a form furnished for that purpose by the city. Each such application shall:

1. Identify and describe the work to be covered by the permit for which application is made;
2. Describe the land on which the proposed work is to be done, by lot, block, tract, and house and street address, or similar description that will readily identify and definitely locate the proposed building or work;
3. Indicate the estimated volume quantities, in cubic yards, of grading work proposed;
4. Be accompanied by plans as required in subsection (B) of this section;
5. Be signed by the property owner, or his authorized agent, who is required to submit evidence to indicate such authority;
6. Provide a schedule with the starting date, estimated number of working days and date of completion;
7. Give such other information as reasonably may be required by the public works director.

B. Plans.

1. Each application for a grading permit shall be accompanied by three sets of plans and as specified herein, a soil engineering report and/or engineering geology report. The grading plan shall be prepared with a "wet signature" and sealed by a civil engineer or architect if a building is involved.
2. A soils engineering report shall be required with all applications unless otherwise approved by the city engineer. In areas of moderate, high and very high landslide risks, and in areas of high liquefaction potential and subsidence potential as noted in the general plan, additional soils engineering reports may be required. If a previous soils engineering report has been prepared, the city engineer may waive the required report.
3. A geology report may be required in areas of moderate, high landslide risks, and in areas of high liquefaction potential and subsidence potential as noted in the general plan, (a) if the topography of the site is modified or (b) if the slope of the entire site (not just proposed building pads) is greater than five percent.
4. The engineering geological report shall include an adequate description of the site and conclusions and recommendations regarding the effect of geologic conditions on the proposed development.

C. Information on Plans. Plans shall be drawn to scale upon substantial paper or Mylar and shall be of sufficient clarity to indicate the nature and extent of the work proposed and show in detail that they will conform to the provisions of this title and all relevant laws, ordinances, rules and regulations. The first sheet of each set of plans shall give the location of the work and the name and address of the owner and the person for whom they were prepared.

The plans shall include the following information:

1. General vicinity of the proposed site;
2. Property limits and accurate contours of existing and proposed ground and details of terrain and area drainage. Contour intervals and scale shall be as approved by the city engineer;
3. Description of existing ground cover including the location and dimensions of all Oak trees on the site which are three inches in diameter or larger at the trunk, measured at four and one-half feet above ground level. Trees shall be accurately located by a survey and the drip line of all oak trees shall be accurately shown;
4. Cross sections of the existing and finished contours indicating a typical section and a section depicting the most severe grades proposed. All cut and fill-slopes shall be illustrated and slope ratios noted;
5. Limiting dimensions, elevations or finished contours to be achieved by the grading, existing and proposed drainage channels and related construction;
6. Detailed plans and calculations as may be required by the city engineer of all surface and subsurface drainage devices, existing or to be constructed with, or as a part of, the proposed work together with a map showing the drainage area and the estimated runoff of the area served by any drains;
7. Location of any buildings or structures on the property where the work is to be performed and the location of any buildings or structures on land of adjacent owners which are within fifteen feet of the property which may be affected by the proposed grading operations;
8. Elevations, location of the top and toe of all cuts and fills and all "daylight" lines, extent and slope of all proposed grading shown by contours, cross sections or other means and location of any rock disposal proposed to be included in the work;
9. A statement signed by the owner acknowledging that a civil engineer, soils engineer and/or engineering geologist will be employed to give technical supervision or make inspections and testing of the work, whenever approval of the plans and issuance of the permit are to be based on the condition that such professional persons be so employed;
10. A drainage plan including elevations of floors with respect to finished site grade and locations of proposed stoops, slabs and fences that may affect drainage;
11. For plans involving the removal of excess material, rocks or rubble, the applicant shall submit a signed statement indicating where, if within the city limits, it is intended to dispose of the material;
12. Specifications, when required, shall contain information covering construction and material requirements.

D. Soils Engineering Report. The soils engineering report required by subsection (B) of this section shall include data regarding the nature, distribution and strength of existing soils, conclusions and recommendations for grading procedures and design criteria for corrective measures when necessary, and opinions and recommendations covering adequacy of sites to be developed by the proposed grading, including the stability of slopes and erosion control measures.

Recommendations included in the report and approved by the city engineer shall be incorporated in the grading plans or specifications.

E. Engineering Geology Report. The engineering geology report required by subsection (B) of this section shall include an adequate description of the geology of the site, conclusions and recommendations regarding the effect of geologic conditions on the proposed development, and opinions and recommendations covering the adequacy of sites to be developed by the proposed grading and as it relates to adjacent or contiguous property.

Recommendations included in the report and approved by the city engineer shall be incorporated in the grading plans or specifications. (Ord. 702 N.S. (part), 1995)

## **What are the limitations and conditions of a grading permit?**

A. General. The issuance of a grading permit shall constitute an authorization to do only that work which is described or illustrated on the application for the permit or on the grading plans and specifications approved by the city engineer.

B. Responsibility of Permittee. The permittee and his agents shall carry out the proposed grading in accordance with approved plans and specifications, the conditions of the permit and with the requirements of this title and all other applicable laws. The permittee and his agents shall maintain all required protective devices and temporary drainage during the progress of the grading work, dust control and methods of hauling. The permittee or his agents shall be responsible for maintenance of the site until such time as a notice of completion has been issued by the city engineer. The permittee, his agents and each or all of them shall become subject to the penalties set forth herein in the event of failure to comply with this title and other applicable laws of the city. No approval shall exonerate the permittee or his agents from the responsibility of complying with the provisions and intent of this title.

C. Jurisdiction of Other Agencies. Permits issued under the requirements of this title shall not relieve the owner of responsibility for securing required permits for work to be accomplished which is regulated by any other code, department or division of the other governing agencies.

D. Hillside Plan Review Required. A hillside plan shall be submitted for approval for all property located in any "hillside area" as defined by city Code, prior to the issuance of a grading permit. The plan must have community development approval prior to submittal for plan check. All plans in hillside areas are to be prepared by a licensed civil engineer.

E. Grading in Advance of Final Plan Approvals. Grading will not be approved on a site prior to entitlement approval by the city. Final plan approval shall mean: (1) A final tentative parcel or tentative tract map, use permit, development review committee project approval or similar authorization has been granted; and (2) related street and utility grades have been established; and (3) a cash deposit or cash bond is deposited to guarantee restoration of the site to a natural condition as required by the city engineer should the project not proceed to completion.

F. Regulation of Access or Haul Routes. The city engineer may impose conditions to the permit with respect to access or haul routes to and from grading sites, the hours of work, methods of controlling dust, and safety precautions involving pedestrian or vehicular traffic as he or she shall determine are required in the interests of the public health, safety, and welfare.

G. Conformance With Zoning Regulations Required. No permit shall be issued for any grading, export, or import of earth materials to or from any grading site except in compliance with the zoning and land use regulations of the city.

H. Time Limitations.

1. The permittee shall fully perform and complete all of the work contemplated to be accomplished pursuant to the grading permit within the time limit specified in the permit. If no time limit is specified, the permit shall expire six months from the date of issuance.

2. If the permittee is unable to complete the work within the specified time, he may, prior to the expiration of the permit, submit a written request for an extension of time in which to complete the work. If, in the opinion of the city engineer, sufficient justification is shown, the time specified on the permit may be extended for a period of not more

than one hundred eighty days, but no such extension shall release any surety upon the bond.

#### I. Entry Upon Premises.

1. The city engineer, the surety company or the duly authorized representative of either shall have access to the premises described in the permit for the purpose of inspecting the progress of the work.
2. In the event of default in the performance of any term or condition of the permit, the surety or any person employed or engaged on behalf of the surety shall have the right to go upon the premises to complete the required work.
3. It is unlawful for the owner or any other person to interfere with the ingress or egress from such premises of any authorized representative or agent of any surety company or the city engaged in the work ordered by the city engineer.
9. Consent of Adjacent Property Owners. Whenever any excavation or fill requires entry onto adjacent property for any reason, the permit applicant shall obtain the written consent of the adjacent property owner or their authorized representative, and shall file a copy of the consent with the city engineer before a permit for such grading work may be issued.

#### K. Restrictions During the Rainy Season.

1. That period between October 15th and March 15th is determined to be the period in which rainfall normally occurs in the city. During this period no grading work in excess of two hundred fifty cubic yards shall be authorized to start in any single grading site under a permit where the city engineer determines that such work will endanger the public health, safety or welfare. Grading work could be approved if the plan includes adequate erosion control to be installed as approved by the city engineer.

Whenever it appears that any grading project previously commenced pursuant to a permit issued by the city engineer will not be completed prior to the commencement of the rainy season, the city engineer may order the installation of temporary erosion control devices to protect any property adjacent to such project.

2. Previously authorized grading work which extends into the rainy season shall be protected by incorporating temporary erosion control devices.
3. Plans for erosion control devices shall be submitted to the city engineer and design approval obtained no later than September 1st of the coming rainy season. The design of desilting basins which discharge into city streets or natural watercourses shall be subject to the approval of the city engineer.
4. All persons performing any grading operations during that period designated as the rainy season shall put into effect all safety precautions which are necessary in accordance with good engineering practices. All loose dirt shall be removed from the grading site, and adequate anti-erosion or drainage devices, debris basins, or other safety devices to protect the life, limb, health, and welfare of private and public property or others from damage of any kind shall be installed. All temporary erosion control devices, including desilting basins, shall be installed no later than October 1st of each year and shall be maintained throughout the rainy season. The removal of temporary erosion control devices during different phases of construction shall have the prior- approval of the city engineer.

5. No person shall excavate or fill so as to cause falling rocks, soil, or debris in any form to fall, slide, or flow onto adjoining properties.

6. All constructed desilting basins which are a part of the grading plan shall be maintained by the applicant.

7. Any costs incurred by the city for emergency repair or cleanup work shall be reimbursed, in a timely manner, by the applicant.

L. Conditions of Approval. In granting any permit under this title, the city engineer or his authorized representative may attach such conditions as may be reasonably necessary to prevent creation of a nuisance or hazard to public or private property. Such conditions may include, but shall not be limited to:

1. Designations of the hours of operation or the period of the year during which the work under the grading permit may be performed;

2. Restrictions as to the size and type of equipment; in no event shall any equipment use the public streets unless it is in full compliance with the state Vehicle Code;

3. Designation of routes upon which materials may be transported, and other regulations pertaining to the use of public streets, such as traffic control and temporary no-parking signs;

4. The manner of disposing of excavated material;

5. Secured Loads. All loads shall be properly trimmed and watered, or otherwise secured so as to prevent spillage from the equipment;

6. Destinations of Routes. The city engineer may designate the routes of ingress and egress for a grading site when it is determined that such is necessary in the interest of public health, safety and welfare;

7. Requirements as to the Laying of Dust. Permittee shall be required to prevent noises and other such situations which are or might be offensive or injurious to the neighborhood, the general public or any portion thereof;

8. Designation of maximum or minimum slopes to be used if the same vary from those prescribed in this chapter;

9. Regulations as to the degree of compaction of fill material;

10. Requirements as to improvements of private driveways and roads for drainage purposes;

11. Requirements for safe and adequate drainage of the site;

12. A requirement that approval of the city engineer be secured before any work which has been commenced may be continued;

13. No blasting plan shall be employed or used in any grading work unless such devices have been specifically approved by the city engineer, the fire marshal and the city council;

14. The permittee shall provide sufficient supervisory control as determined by the city engineer during the grading operation to insure compliance with approved plans and with the Municipal Code. When found necessary by the city engineer, the

permittee shall employ a qualified geologist and a soils engineer to assist in supervising and inspecting and testing of the grading operation;

15. No person shall conduct any grading, excavation or filling, including the export or import of earth material, between the hours of seven p.m. and seven a.m. on any day nor on Sunday at any time, except in emergencies. Any deviations during the summer months may be allowed on a limited basis upon written request to the city engineer for consideration. Work on Saturdays may be approved by the city engineer upon written request, twenty-four hours in advance;

16. No person shall excavate or fill so as to cause falling rocks, soil or debris in any form to fall, slide or flow onto adjoining or adjacent properties;

17. Improvements to enhance the appearance of the final project by blending the project into the adjacent terrain;

18. Improvement of any existing grading to bring it up to the standards of this Code;

19. Requirements for fencing of excavations or fills which would otherwise be hazardous.

M. Modification of Approved Plans. Any modifications of or changes in the approved grading plans must be approved by the city engineer. Modifications which affect basic tract design or land use must also have the approval of the appropriate official or body which has jurisdiction over such tract design or land use. (Ord. 702 N.S. (part), 1995)

## **How much does a grading permit cost? When are grading bonds required?**

A. Plan Checking Fees. The fee shall be based on the actual staff time utilized to check the plan. Before accepting a set of plans for checking, the city engineer shall collect an estimated plan checking fee. Applicant shall enter into a city plan check and inspection agreement in a form acceptable to the city attorney. Applicant shall be sent progress billings as the checking process proceeds and will get a refund or be required to pay additional fees as appropriate.

B. Grading Permit Fees. A fee for administration and inspection of the work authorized by each grading permit shall be paid to the public works department as set forth by council resolution. Such fees shall be collected at the time of issuance of the grading permit.

C. Grading Bonds.

1. Requirements. A permit will not be issued for excavation or fill of more than five hundred cubic yards in "hillside" areas and one thousand cubic yards or more in other areas until the permittee shall post with the public works department, a bond for the benefit of the city. The bond shall be executed by the owner and a corporate surety authorized to do business in this state as surety in an amount sufficient to cover the cost of the project, including corrective work necessary to remove and eliminate geological hazards. All bonds shall be executed on forms which can be obtained from the public works department.

2. Cash Bond. In lieu of a surety bond, the applicant may file a cash bond upon the same terms and conditions and in an amount equal to that which would be required in the surety bond. The deposit submitted with the cash bond may be in the form of cash or negotiable United States securities.

3. Application of Bond to Adjacent Property. Where grading is required on property adjacent to the grading site under permit, to complete a project satisfactorily, the applicant shall include such work into the bond required as part of the grading permit.

4. Conditions of the Bond. Every bond shall be conditioned that the permittee shall:

- a. Comply with all of the provisions of this chapter and all other applicable laws and ordinances;
- b. Comply with all of the terms and conditions of the permit for excavation and fill to the satisfaction of the city engineer.

5. Period and Termination of Bond. The term of each bond shall begin upon the date of filing with and shall remain in effect until the completion of the work to the satisfaction of the city engineer. Such completion shall be evidenced by the city's acceptance of the work and notifying the permittee in writing. In the event of failure to complete the work and failure to comply with all of the conditions and terms of the permit, the city engineer may order the work to be completed as required by the permit and to the satisfaction of his office. The surety executing such bond or such deposit, shall continue to be firmly bound under a continuing obligation for the payment of all necessary costs and expenses that may be incurred or expended by the city in causing any and all of such required work to be accomplished and that said surety or the depositor assents to any lawful extensions of time within which to construct and complete such work. In the case of a cash deposit, said deposit, or any unused portion shall be refunded to the permittee.

The city engineer may release or exonerate the bond under appropriate conditions upon completion of the work and when the work/construction is to the satisfaction of the city engineer when the public health and welfare is not jeopardized.

6. Amount of Bond. The amount of the bond shall be based upon the estimated cost plus twenty-five percent, as determined by the number of cubic yards of material in either excavation or fill, whichever is the greater amount, and shall include the cost of all drainage, landscaping or other protective devices as may lawfully be required.

Also, the city engineer may, at his or her discretion, require that bonds be posted to recover the full costs of any damage to or cleaning of the public right-of-way which may occur because of the peculiar nature or large scope of the project (i.e., transportation of fill or heavy equipment on local streets not designed to accommodate said traffic).

7. Maintenance Bond. In addition to any other bond required by this chapter, or as a part of the grading bond, the property owner if required shall file with the city a maintenance bond securing the maintenance of the grading and any required slope landscaping in good condition for a period of one year unless a longer period is required from the date of approval by the city. Upon recommendation by the city engineer, the city may release the maintenance bond; provided, that it appears that all landscaping or replacement plants or materials are established and in good condition and that any erosion has been corrected. (Ord. 702 N.S. (part), 1995)

## **Who issues the grading permit?**

A. Environmental Review. The city engineer or designee shall review each grading permit application to determine whether environmental assessment is required to comply with CEQA. If the city engineer determines that it is appropriate to seek an independent environmental assessment, the city engineer shall refer the grading permit application to the community development director for environmental assessment pursuant to CEQA.

### **B. Issuance.**

1. When the city engineer is satisfied with the work described in an application for permit and the plans filed therewith conform to the requirements of this chapter and other pertinent laws and ordinances, and that the fee has been paid, a grading permit shall be issued to the applicant.

2. When the city engineer issues the permit, he or she shall endorse in writing or stamp on both sets of plans specifications "APPROVED." Such approved plans shall not be changed, modified, or altered without authorization from the city engineer, and all work shall be done in accordance with the approved plans.

3. The city engineer may require that the grading operations and project designs be modified if delays occur which incur weather generated problems not considered at the time the permit was issued.

C. Retention of Plans. One set of approved plans and computations shall be retained by the city engineer and one set of approved plans shall be returned to the applicant. The applicant's set shall be kept in a conspicuous place on the subject site during all grading operations.

### **D. Validity.**

1. The issuance or granting of a permit or approval of plans and specifications shall not be construed to be a permit for, or an approval of, any violation of any of the provisions of this chapter. No permit presuming to give authority to violate or cancel the provisions of this chapter shall be valid, except insofar as the work or use which it authorizes is lawful.

2. The issuance of a permit based upon plans and specifications shall not prevent the city engineer from thereafter requiring the correction of errors in the plans and specifications or from preventing grading operations being carried on thereunder when in violation of this chapter or any other ordinance of the city.

E. Expiration. Every permit issued by the city engineer under the provisions of this chapter shall expire by limitation and become null and void, if the grading or work authorized by such permit is not commenced within sixty days from the date of such permit, or if the grading or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of one hundred twenty days. Before such work can be recommenced, a new permit shall be first obtained, and the fee therefor shall be one-half the amount required for a new permit for such work; provided, no changes have been made or will be made in the original plans for such work and provided, further, that such suspension or abandonment has not exceeded one year.

F. Suspension or Revocation. The public works director may, in writing, suspend or revoke a permit issued under provisions of this chapter whenever the permit is issued in error or on the basis of incorrect inflation supplied, or in violation of any ordinance or regulation or any of the provisions of this chapter. (Ord. 702 N.S. (part), 1995)



# CITY OF EL PASO DE ROBLES

"The Pass of the Oaks"

## GRADING/SITE PLAN PERMIT APPLICATION

Date: \_\_\_\_\_ Permit No. (City Use) \_\_\_\_\_

Enclosed is a: \_\_\_\_\_ A. Plot Plan \_\_\_\_\_ B. Grading Plan \_\_\_\_\_ C. Grading Plan (Sub-Division)

AUTHORIZED REPRESENTATIVE: \_\_\_\_\_

PHONE: \_\_\_\_\_ CELL: \_\_\_\_\_ FAX: \_\_\_\_\_

PROPERTY OWNER (Mandatory): \_\_\_\_\_

PHONE: \_\_\_\_\_ CELL: \_\_\_\_\_ FAX: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PROJECT ADDRESS: \_\_\_\_\_

LOT (S): \_\_\_\_\_ BLOCK: \_\_\_\_\_ TRACT: \_\_\_\_\_ A.P.N. \_\_\_\_\_

CIVIL ENGINEER: \_\_\_\_\_ LICENSE NO.: \_\_\_\_\_

SOILS ENGINEER: \_\_\_\_\_ LICENSE NO.: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ LICENSE NO.: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

TOTAL AREA OF SITE DISTURBANCE: \_\_\_\_\_

EXCAVATION: DEPTH OF CUT: \_\_\_\_\_ (EST. CU. YARDS): \_\_\_\_\_

FILL: DEPTH OF FILL: \_\_\_\_\_ (EST. CU. YARDS): \_\_\_\_\_

If surplus material exists (unbalanced site), where will it be disposed of? \_\_\_\_\_

Is there any diversion of water to adjoining property? \_\_\_\_\_ Yes \_\_\_\_\_ No

If yes, please note nature and type: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Will a fence be required for public safety? \_\_\_\_\_ Yes \_\_\_\_\_ No

Any known archeological sites? \_\_\_\_\_ Yes \_\_\_\_\_ No

Give a brief description as to how work may relate to adjoining property; regarding drainage, erosion, spill, seepage, retaining walls, public health and safety. Is any grading proposed under the drip line of any oak trees? \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

When will work commence? \_\_\_\_\_ Estimated completion date \_\_\_\_\_

Will a Pre-job meeting be required? \_\_\_\_\_ Yes \_\_\_\_\_ No

**NOTE: All work shall comply with the Municipal Code**

**TABLE NO. 3-H-GRADING PERMIT FEES**

50 cubic yards or less	\$ 64.00
51 to 500 cubic yards	\$ 96.00
501 to 1,000 cubic yards	\$128.00
1,001 to 5,000 cubic yards	\$192.00
5,001 to 10,000 cubic yards	\$257.00
10,001 cubic yards or more	\$257.00 for the first 10,000 cubic yards, plus \$128.00 for each additional 5,000 cubic yards or fraction thereof

**Other Inspection Charges and Fees:**

1. Inspections outside of normal business hours \$257.00/hr<sup>1</sup> (minimum charge - 2 hours)
2. Re-inspection fees assessed under provisions of City of Paso Robles, City Council Resolution 05-192 - \$153.00/hr<sup>2</sup>
3. Inspections for which no fee is specifically indicated \$153.00/hr<sup>2</sup> (minimum charge - 1 hour)

<sup>1</sup> The application for a grading permit also authorizes additional work if required.  
<sup>2</sup> Or the total hourly cost to the jurisdiction, whichever is greatest. This cost or fraction thereof includes supervision, overhead, equipment, hourly wages and fringe benefits of the employees involved.

**AFFIDAVIT**

I hereby agree to develop, implement and enforce a program to ensure controls are in place that will prevent or minimize water quality impacts from storm water runoff from the construction site subject to this permit.

I hereby agree to save, indemnify and hold harmless the City of El Paso de Robles and it's officers, employees and agents against all liability, judgments, costs and expenses which may in any way accrue against the City of El Paso de Robles in consideration of this application, and will in all things strictly comply with the conditions of this permit, regulations and ordinances of the City of El Paso de Robles and the laws of the State of California.

**SIGNED:** \_\_\_\_\_  
 Applicant

**DATE:** \_\_\_\_\_

**APPROVED:** \_\_\_\_\_  
 John R. Falkenstien, PE                      City Engineer

**DATE:** \_\_\_\_\_

----- **Area below for City use only** -----

**MAP SUBMITTED:**

\_\_\_\_\_ 50 cubic yards to 5,000 cubic yards requires a map showing existing and proposed elevations, drainage structures, trees or other topographic features.

\_\_\_\_\_ Over 5,000 cubic yards or within hillside development requires preparation by a licensed Civil Engineer, and a soils and/or geology report.

Soils Engineering Report:	_____ Required	_____ Not Required
Engineering Geology Report:	_____ Required	_____ Not Required
Environmental Impact Assessment:	_____ Required	_____ Not Required
Final Soils Report:	_____ Required	_____ Not Required
Final Compaction Test Required:	_____ Required	_____ Not Required

<b>FEES DUE:</b>	A.	Engineering Plan Check Fee	\$ _____ 153.00
	B.	Additional Plan Check required by corrections, changes, additions, or revisions (\$153/ per hour)	\$ _____
	C.	Grading Permit Fee	\$ _____

**TABLE NO. 3-H-GRADING PERMIT FEES**

50 cubic yards or less	\$ 58.00
51 to 500 cubic yards	\$ 88.00
501 to 1,000 cubic yards	\$117.00
1,001 to 5,000 cubic yards	\$175.00
5,001 to 10,000 cubic yards	\$234.00
10,001 cubic yards or more	\$234.00 for the first 10,000 cubic yards, plus \$117.00 for each additional 5,000 cubic yards or fraction thereof

**Other Inspection Charges and Fees:**

1. Inspections outside of normal business hours \$234.00/hr<sup>1</sup> (minimum charge - 2 hours)
2. Re-inspection fees assessed under provisions of City of Paso Robles, City Council Resolution 05-192 - \$140.00/hr<sup>2</sup>
3. Inspections for which no fee is specifically indicated \$140.00/hr<sup>2</sup> (minimum charge - 1 hour)

<sup>1</sup> The application for a grading permit also authorizes additional work if required.  
<sup>2</sup> Or the total hourly cost to the jurisdiction, whichever is greatest. This cost or fraction thereof includes supervision, overhead, equipment, hourly wages and fringe benefits of the employees involved.

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I hereby agree to develop, implement and enforce a program to ensure controls are in place that will prevent or minimize water quality impacts from storm water runoff from the construction site subject to this permit.

I hereby agree to save, indemnify and hold harmless the City of El Paso de Robles and it's officers, employees and agents against all liability, judgments, costs and expenses which may in any way accrue against the City of El Paso de Robles in consideration of this application, and will in all things strictly comply with the conditions of this permit, regulations and ordinances of the City of El Paso de Robles and the laws of the State of California.

**SIGNED:** \_\_\_\_\_  
 Applicant

**DATE:** \_\_\_\_\_

**APPROVED:** \_\_\_\_\_  
 John R. Falkenstien, PE                      City Engineer

**DATE:** \_\_\_\_\_

----- **Area below for City use only** -----

**MAP SUBMITTED:**

\_\_\_\_\_ 50 cubic yards to 5,000 cubic yards requires a map showing existing and proposed elevations, drainage structures, trees or other topographic features.

\_\_\_\_\_ Over 5,000 cubic yards or within hillside development requires preparation by a licensed Civil Engineer, and a soils and/or geology report.

Soils Engineering Report:	_____ Required	_____ Not Required
Engineering Geology Report:	_____ Required	_____ Not Required
Environmental Impact Assessment:	_____ Required	_____ Not Required
Final Soils Report:	_____ Required	_____ Not Required
Final Compaction Test Required:	_____ Required	_____ Not Required

<b>FEES DUE:</b>	A.	Engineering Plan Check Fee	\$ _____ 140.00
	B.	Additional Plan Check required by corrections, changes, additions, or revisions (\$140/ per hour)	\$ _____
	C.	Grading Permit Fee	\$ _____



# Post Construction Storm Water Management

## Project Information

(This form is to be completed by the Civil Engineer and submitted with the City's grading permit application.)

Applicant Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Applicant Address: \_\_\_\_\_

Responsible Party for Post Construction Devices: \_\_\_\_\_

Project Contact: \_\_\_\_\_ Phone: \_\_\_\_\_

Project Address: \_\_\_\_\_

Grading Permit No.: \_\_\_\_\_ Parcel Number(s): \_\_\_\_\_

Disturbed Area (Acres): \_\_\_\_\_ Total Project Size: \_\_\_\_\_

Proposed Impervious Area: \_\_\_\_\_ Receiving Water: \_\_\_\_\_

- Residential (Single-Family)
- Residential (Multi-Family)
- Commercial
- Automotive
- Retail Gasoline Outlet

- Restaurant
- Hillside Development
- Parking Lot
- Streets/Roads
- Industrial

## Planned BMP's/Controls (Check Applicable Controls)

- |   |   |
|---|---|
| <input type="checkbox"/> Disconnect Impervious Surfaces | <input type="checkbox"/> Filters and Drainage Inlet Inserts |
| <input type="checkbox"/> Pervious Paving                | <input type="checkbox"/> Constructed Wetland                |
| <input type="checkbox"/> Infiltration Trench            | <input type="checkbox"/> Oil and Water Separator            |
| <input type="checkbox"/> Retention Basin                | <input type="checkbox"/> Media Filter                       |
| <input type="checkbox"/> Vegetated Swale                | <input type="checkbox"/> Other (Describe below)             |

## Hydromodification (If Applicable)

Please describe hydromodification techniques: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Quantify hydromodification effectiveness (Attach calculations if provided):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
Civil Engineer

\_\_\_\_\_  
PE#

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date