

RESOLUTION NO. 91-83

A RESOLUTION OF THE CITY COUNCIL  
OF THE CITY OF EL PASO DE ROBLES  
TO GRANT A 1 YEAR TIME EXTENSION  
FOR TENTATIVE TRACT 1463 (HRL/NORTH COAST ENGINEERING)

WHEREAS, on May 17, 1988, the City Council adopted Resolution 88-32 granting tentative tract map approval to Tract 1463, a 90 lot residential subdivision located on the north side of Union Road east of North River Road, and

WHEREAS, on July 3, 1990, the City Council granted a one year time extension for tentative tract 1463, and

WHEREAS, a second request for a one year time extension has been filed by HRL and North Coast Engineering to extend the life of the last phase (previously phases three through five) of the residential subdivision, and

WHEREAS, a public hearing was conducted by the City Council on July 2, 1991, to consider facts as presented in the staff report prepared for this time extension request, and to accept public testimony regarding the extension, and

WHEREAS, the subject properties are located within the Union/46 Specific Plan Area, the for which was adopted in 1988, and

WHEREAS, the basis for adoption of the Union/46 Specific Plan has changed since its adoption, including but not limited to considerations of traffic and public safety impacts on streets, highways, and bridges, and adequacy of other public facilities and services necessary to serve development within the subject area; specific examples of impacts being generated from the subject tract and specific plan area include but are not limited to the need for a traffic interchange at the intersection of Highway 46 East and Golden Hill Road to service the plan area, inadequate capacities on the 13th Street Bridge which cause that bridge to need to be expanded to a four traffic lane configuration to serve this tract and other development from the plan area, more detailed studies of the costs of providing adequate street improvements along Union Road, and drainage improvement to Union and North River Roads, and

WHEREAS, the City has commissioned with a private consultant to review the aforementioned unmitigated impacts within the Union/46 Specific Plan Area which will be considered under separate public hearings by both the Planning Commission and City Council, and

WHEREAS, the outcome of future hearings on revisions to the Union/46 Specific Plan may result in the levying of additional mitigation fees and/or measures for projects which are within the Union/46 Specific Plan Area, and

WHEREAS, a Draft EIR for the General Plan update has identified certain health and safety related unmitigated environmental impacts for which adequate finding to mitigate impacts is not available, and

WHEREAS, pending Development Impact Fees are under consideration to adequately address said unmitigated impacts;

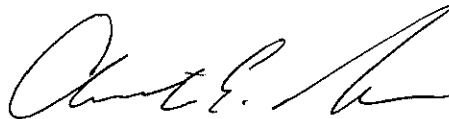
NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of El Paso De Robles, does hereby grant a one year time extension (as measured from the most current expiration date of May 17, 1991) to tentative tract map 1463, subject to the following conditions:

1. All conditions adopted within resolution 88-32 shall remain in full force and effect (on file in the Community Development Department).

2. The applicant shall agree in a manner acceptable to the City Attorney to pay impact mitigation fees and comply with adjustments in timing of installation of improvements, as may be established through a resolution adopted by the City Council for the Union/46 Specific Plan Area and General Plan update, which are in effect at the time of issuance of building permits for units within the subject four phases. The agreement shall be entered into before recordation of the final map.

PASSED AND ADOPTED THIS 2nd Day of July, 1991 by the following Roll Call Vote:

AYES: Russell, Reneau, Martin, Picanco and Iversen  
NOES: None  
ABSENT: None



MAYOR CHRISTIAN E. IVERSEN

ATTEST:

  
DEPUTY CITY CLERK

G:\MEG\TRACTS\HRL.RES

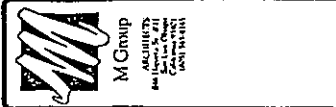


EXHIBIT B - GRADING AND DRAINAGE PLAN  
IS ON FILE IN THE COMMUNITY DEVELOPMENT DEPARTMENT

# PD 81004 / CUP 91001

## EXHIBIT "C"

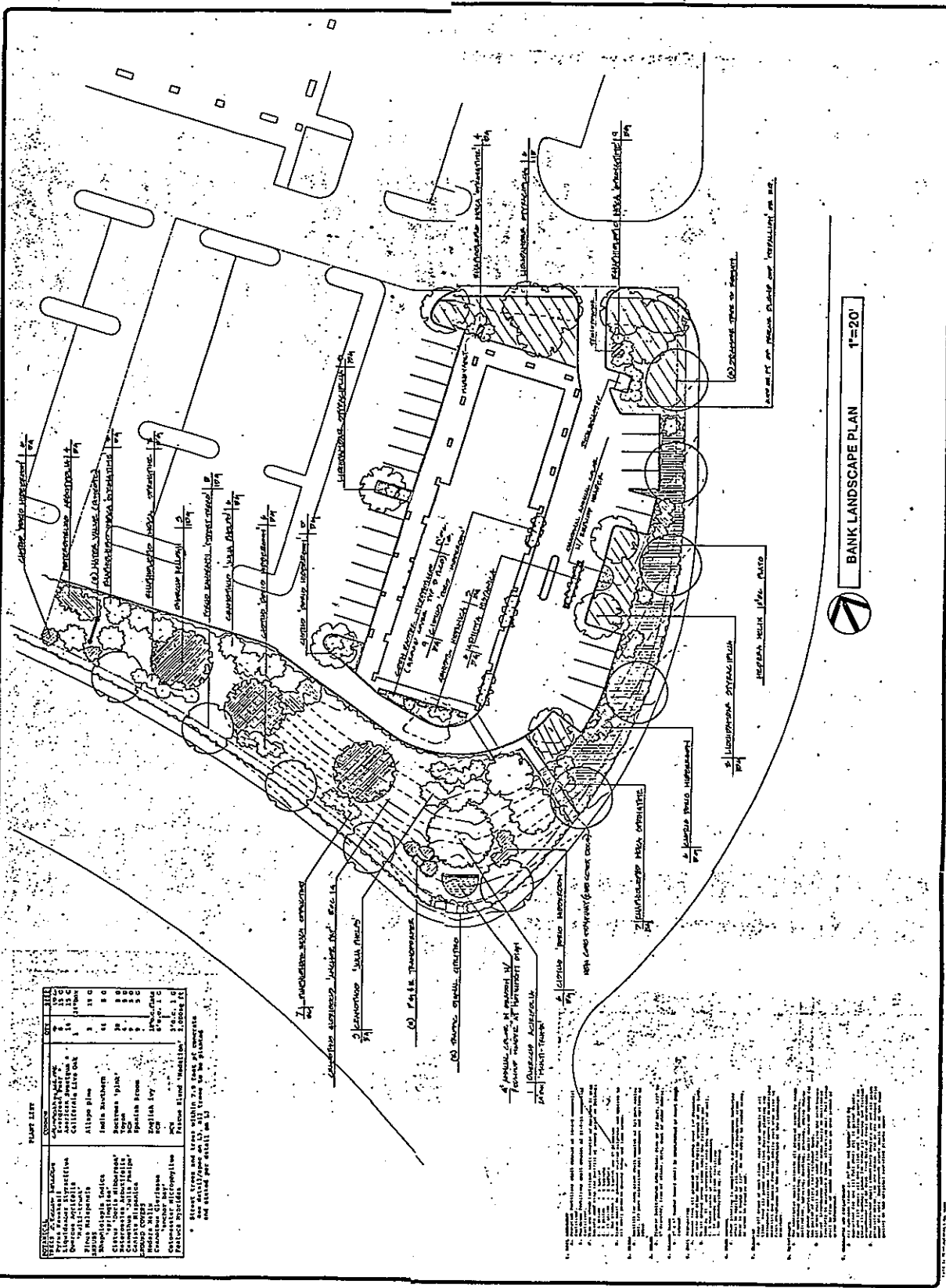
**BANK BUILDING LEASE SPACE**  
 PASSO ROBLES CALIFORNIA  
 10016 AND / CUP 91001



**M Group**  
 ARCHITECTS  
 1400 VANNESS AVENUE  
 SAN FRANCISCO, CA 94133  
 415.774.5400

DATE	1-11-2012
PROJECT	BANK LANDSCAPE PLAN
DRAWN BY	...
CHECKED BY	...
APPROVED BY	...

NO.	REVISION
1	...
2	...
3	...
4	...
5	...
6	...
7	...
8	...
9	...
10	...



**BANK LANDSCAPE PLAN** 1"=20'

**PLANT LIST**

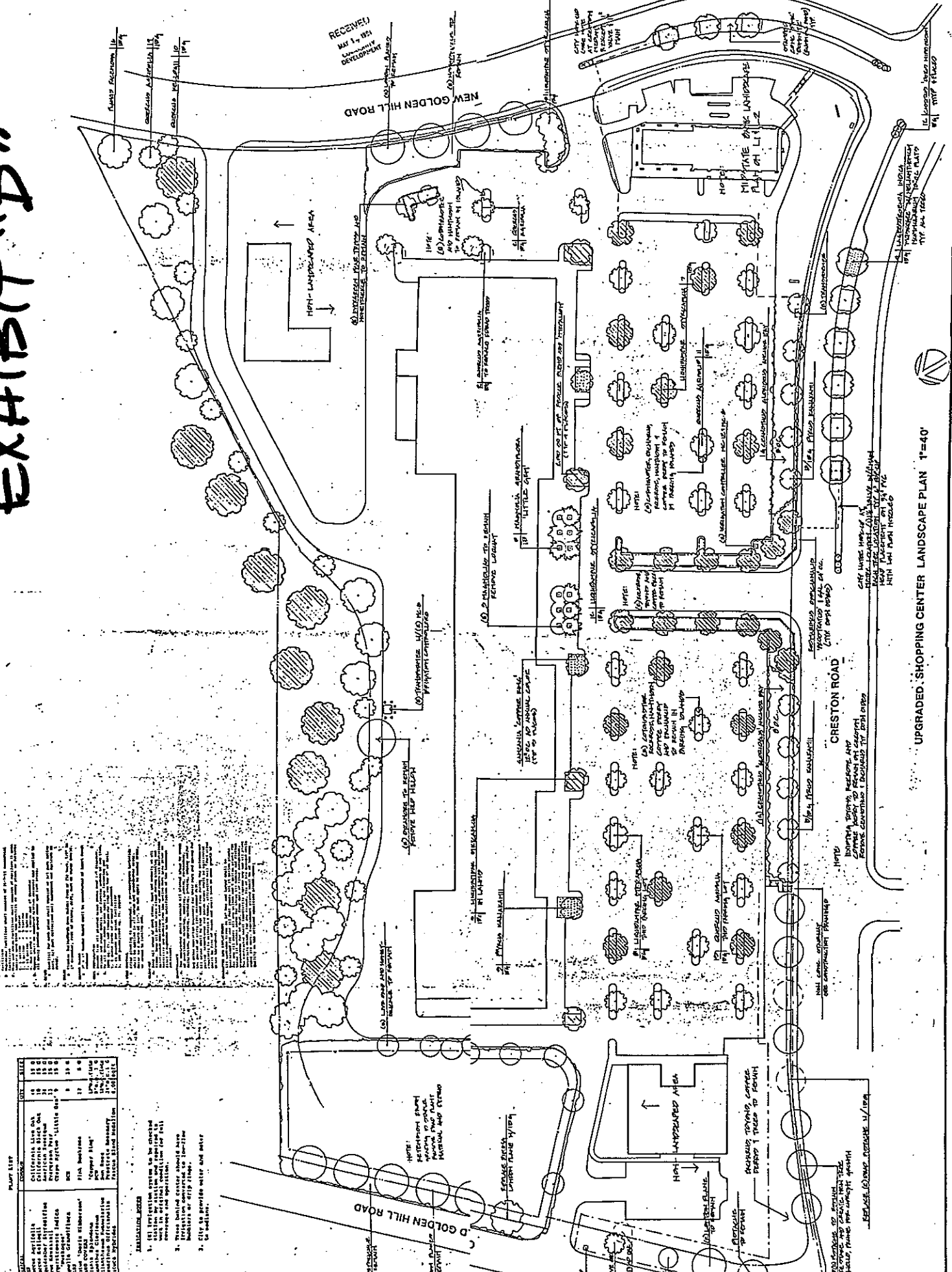
COMMON NAME	SYMBOL	QTY	NOTES
Redwood	RDW	10	...
Western Red Cedar	WRC	...	...
California Live Oak	CLO	...	...
Aliso pine	ALP	...	...
India bushclover	IBS	...	...
Sagebrush 'pink'	SPP	...	...
Yucca	YUC	...	...
Spina branch	SPB	...	...
Bush clover	BCV	...	...
...	...	...	...

Plant trees and shrubs within 2' of peak of concrete and within 5' of walls per ULI.

Plant trees and shrubs within 2' of peak of concrete and within 5' of walls per ULI.

Plant trees and shrubs within 2' of peak of concrete and within 5' of walls per ULI.

# PD 81004 / CUP 91001 EXHIBIT "D"



**PLANT LIST**

NO.	SYMBOL	PLANT NAME	HT.	DB.
1	○	CHILDRAS LIVE OAK	10'	10"
2	○	WILLOW BIRCH	10'	10"
3	○	CALIFORNIA SLICK OAK	10'	10"
4	○	WILLOW BIRCH	10'	10"
5	○	CHILDRAS LIVE OAK	10'	10"
6	○	WILLOW BIRCH	10'	10"
7	○	CHILDRAS LIVE OAK	10'	10"
8	○	WILLOW BIRCH	10'	10"
9	○	CHILDRAS LIVE OAK	10'	10"
10	○	WILLOW BIRCH	10'	10"
11	○	CHILDRAS LIVE OAK	10'	10"
12	○	WILLOW BIRCH	10'	10"
13	○	CHILDRAS LIVE OAK	10'	10"
14	○	WILLOW BIRCH	10'	10"
15	○	CHILDRAS LIVE OAK	10'	10"
16	○	WILLOW BIRCH	10'	10"
17	○	CHILDRAS LIVE OAK	10'	10"
18	○	WILLOW BIRCH	10'	10"
19	○	CHILDRAS LIVE OAK	10'	10"
20	○	WILLOW BIRCH	10'	10"
21	○	CHILDRAS LIVE OAK	10'	10"
22	○	WILLOW BIRCH	10'	10"
23	○	CHILDRAS LIVE OAK	10'	10"
24	○	WILLOW BIRCH	10'	10"
25	○	CHILDRAS LIVE OAK	10'	10"
26	○	WILLOW BIRCH	10'	10"
27	○	CHILDRAS LIVE OAK	10'	10"
28	○	WILLOW BIRCH	10'	10"
29	○	CHILDRAS LIVE OAK	10'	10"
30	○	WILLOW BIRCH	10'	10"
31	○	CHILDRAS LIVE OAK	10'	10"
32	○	WILLOW BIRCH	10'	10"
33	○	CHILDRAS LIVE OAK	10'	10"
34	○	WILLOW BIRCH	10'	10"
35	○	CHILDRAS LIVE OAK	10'	10"
36	○	WILLOW BIRCH	10'	10"
37	○	CHILDRAS LIVE OAK	10'	10"
38	○	WILLOW BIRCH	10'	10"
39	○	CHILDRAS LIVE OAK	10'	10"
40	○	WILLOW BIRCH	10'	10"
41	○	CHILDRAS LIVE OAK	10'	10"
42	○	WILLOW BIRCH	10'	10"
43	○	CHILDRAS LIVE OAK	10'	10"
44	○	WILLOW BIRCH	10'	10"
45	○	CHILDRAS LIVE OAK	10'	10"
46	○	WILLOW BIRCH	10'	10"
47	○	CHILDRAS LIVE OAK	10'	10"
48	○	WILLOW BIRCH	10'	10"
49	○	CHILDRAS LIVE OAK	10'	10"
50	○	WILLOW BIRCH	10'	10"

**INSTALLATION NOTES:**

1. ALL PLANTS TO BE INSTALLED within 60 days of permit to install. All plants to be installed in accordance with the above specifications.
2. All plants should be installed in accordance with the above specifications.
3. All plants should be installed in accordance with the above specifications.

**NOTES:**

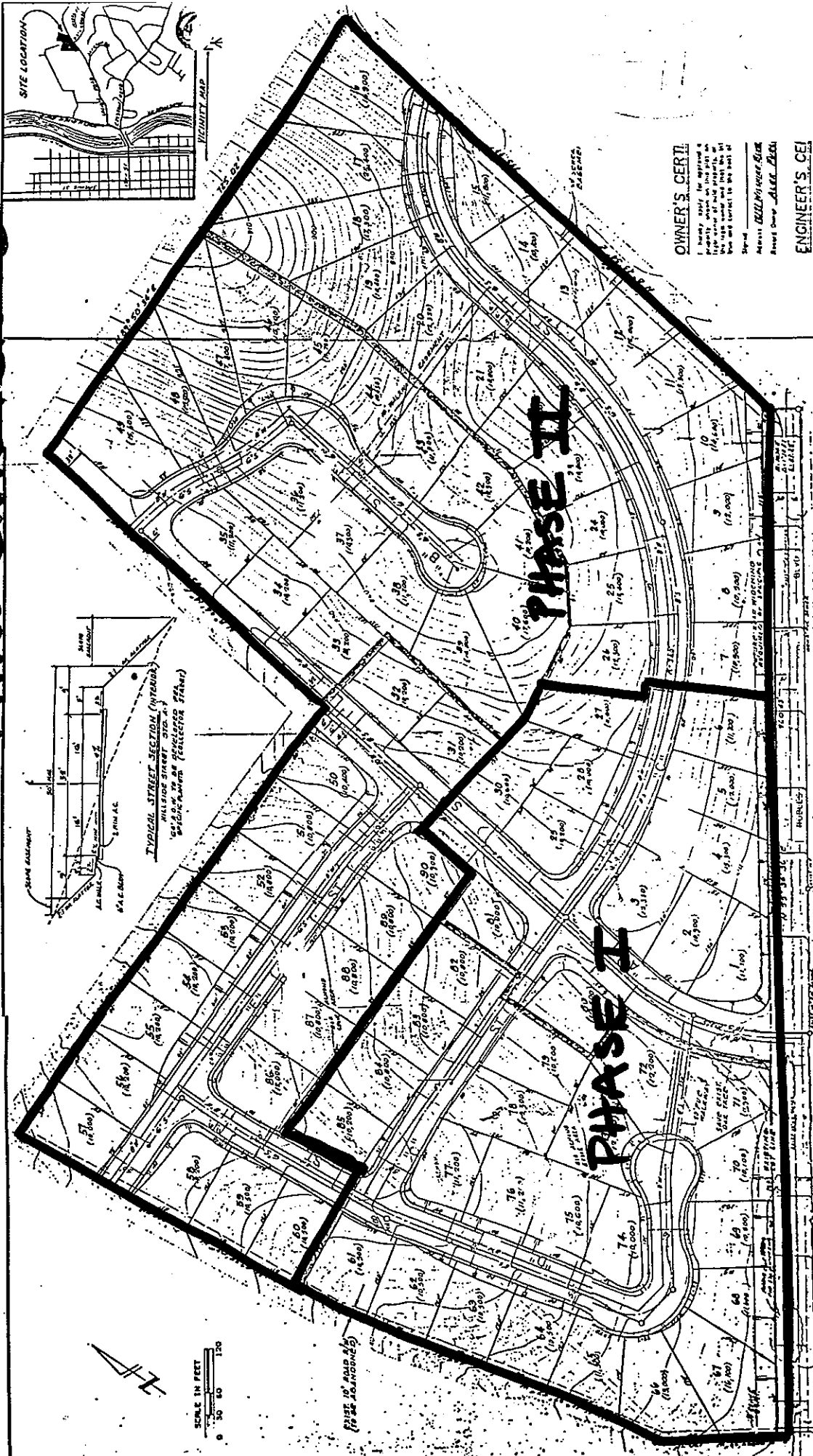
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EXHIBIT G - COLOR BOARD  
IS ON FILE IN THE COMMUNITY DEVELOPMENT DEPARTMENT



# TRACT 1463, Phase II Time Extension



EXISTING ZONING--R1PDS 10,000 SF MIN  
 EXISTING ACREAGE = 93  
 TOTAL UNITS ALLOWED = 99  
 UNITS PROPOSED = 80  
 UNITS PER ACRE = 2.17

SUNSET RIDGE

TENTATIVE TRACT MAP 1463

BEING A SUBDIVISION OF LOT 6 MOOREPARK TRACT AND LOT 2 ADOBIE HILL TRACT  
 IN THE CITY OF EL PASO DE ROBLES, COUNTY OF SAN LUIS OBISPO, CALIFORNIA

**OWNER'S CERT.**  
 I hereby certify that the property shown on this plan is the same as the property in the above title and that the same has not been altered in any way since the last subdivision.

**ENGINEER'S CEI**  
 I hereby certify that the same is in accordance with the laws of the State of California.

Surveyor **ALEX ZECH**

