

City of El Paso de Robles

RESOLUTION NO: 91-20
A RESOLUTION OF THE CITY COUNCIL
OF THE CITY OF EL PASO DE ROBLES
APPROVING PLANNED DEVELOPMENT 90029
(DENNIS MCKIBBEN/BP)

WHEREAS, Dennis McKibben has filed an application for a Planned Development to authorize the following:

1. The remodeling of an existing gas station to include a new fuel dispensing island and a new canopy covering the island; and
2. Installation of a canopy on an existing non-conforming pump island;

The site is located on the northwest corner of Spring and 14th Streets; and

WHEREAS, the site is located in a Planned Development Overlay Zoning District, and Section 21.16A.050 of the Municipal Code requires adoption of a development plan in conjunction with the development of any property within a Planned Development Overlay District; and

WHEREAS, public hearings were conducted by the Planning Commission on January 22, 1991 and by the City Council on February 19, 1991 to consider facts as presented in the staff report prepared for this project, and to accept public testimony regarding this proposed planned development; and

WHEREAS, based upon the facts and analysis presented in the staff reports, public testimony received and subject to the conditions of approval listed below, the City Council makes the following findings:

1. The proposed development plan is consistent with the policies established by the General Plan;
2. The proposed development plan is consistent with the purpose, intent and regulations set forth in Chapter 21.16A (Planned Development Overlay District regulations);
3. The proposed development plan will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the persons residing or working in the neighborhood, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City;

City of El Paso de Robles

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of El Paso De Robles does hereby approve Planned Development 90029 subject to the following conditions:

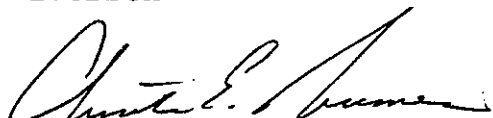
1. This Planned Development authorizes the following:
 - a. The remodeling of an existing gas station to include a new fuel dispensing island and a new canopy covering the island; and
 - b. Installation of a canopy on an existing non-conforming pump island;
2. Any amendments to the approved detailed development plans shall be subject to subsequent recommendations of the Architectural Review Committee and Planning Commission to the City Council for final approval, unless otherwise specified within these conditions of approval.
3. The site shall be kept in a neat manner; landscaping, including street trees, shall be maintained in a viable condition at all times.
4. The project shall be constructed so as to substantially conform with the site plan and elevations attached as Exhibit A and Exhibit B.

NOTE: Attached Exhibits are reduced copies of larger scale plans on file in the Community Development Department.

5. All conditions of approval for CUP 83015, as amended by the Planning Commission on January 22, 1991 shall be completed.

PASSED AND ADOPTED THIS 5 th Day of March , 1991 by the following Roll Call Vote:

AYES:	Russell, Picanco and Iversen
NOES:	None
ABSTAIN:	None
ABSENT:	Reneau and Martin


MAYOR CHRISTIAN E. IVERSEN

ATTEST:


JERRY BANKSTON, CITY CLERK

NOTE: Any judicial review of this decision must be made within the time set forth in Code of Civil Procedure Section 1094.6