

City of El Paso de Robles

RESOLUTION NO. 90-208
A RESOLUTION OF THE CITY COUNCIL
OF THE CITY OF EL PASO DE ROBLES
TO GRANT TENTATIVE MAP APPROVAL FOR
TRACT 2022 (CHET SIMON)

WHEREAS, Tract 2022 has been filed by Chet Simon for the division of approximately 2,500 square feet of commercial space into five condominium units, located on the northwest corner of 21st and Park Streets; and

WHEREAS, public hearings were conducted by the Planning Commission on November 13, 1990, and by the City Council on December 4, 1990, to consider facts as presented in the staff report prepared for this subdivision map application, and to accept public testimony regarding the proposed subdivision; and

WHEREAS, based upon the facts and analysis presented in the staff report, public testimony received and subject to the conditions listed below, the City Council makes the following findings as required by Government Code Sections 66474:

1. The proposed tentative subdivision map is consistent with the adopted General Plan for the City of El Paso De Robles;
2. The design of lots, streets, open space, drainage, sewers, water and other improvements would be consistent with the General Plan and Zoning Ordinance;
3. The site would be physically suitable for the type of development proposed;
4. The site would be physically suitable for the proposed density of development;
5. The design of the subdivision is not likely to cause substantial environmental damage or substantially and unavoidably injure fish or wildlife or their habitat;
6. The design of the subdivision and types of improvements proposed are not likely to cause serious public health problems when and if the required facilities are provided;
7. The design of the subdivision and the type of improvements proposed will not conflict with easements acquired by the public at large, for access through or use of, property within the proposed subdivision;

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of El Paso De Robles, does hereby grant tentative map approval to Tract 2022 subject to the following conditions:

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STANDARD CONDITIONS OF APPROVAL:

PUBLIC WORKS DEPARTMENT

1. The applicant shall pay for the following fees prior to final map approval: drainage, recreation, subdivision map and improvement plan checking.

2. All existing overhead utilities adjacent to or within the subdivision shall be relocated underground. Street lights shall be installed at locations as required by the City Engineer. Fire hydrants shall be installed at locations as required by the City Engineer and Fire Chief.

The existing overhead utility line shall be placed underground in the right-of-way for 21st Street between the site and the two nearest poles (i.e., at the southwest corner of 21st and Park Street and in 21st Street adjacent to the alley between Spring and Park Streets).

As an alternative to undergrounding existing overhead lines, the subdivider may provide the City with a recordable document waiving, on his behalf, and on behalf of all future owners, heirs and their assigns, the right to protest any future undergrounding assessment district that may be formed. Said agreement shall be prepared to the satisfaction of the City Attorney.

3. All property corners shall be monumented for construction control and shall be promptly replaced if disturbed. All final property corners and street monument shall be installed before acceptance of the public improvements. Benchmarks shall be placed for vertical at approximately 1000' intervals on U.S.G.S. datum as required by the City Engineer.

4. A blackline clear Mylar (0.4 MIL) copy or a blue line print of the Final Map shall be provided to the City Engineer upon recordation.

5. A Mylar copy and a blue line print of as-built improvement plans, signed by the registered engineer who prepared said plans, shall be provided to the City Engineer prior to the Final Inspection. A certification shall be included that all survey monuments have been set as shown on the tract map.

6. The applicant's engineer shall furnish a reproducible Mylar of the Tentative Map stamped with the date of approval by the City Council to the City Engineer.

7. The subdivider shall pay any outstanding assessment or provide evidence that the assessment has been reapportioned.

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8. The street monuments and property corners listed in the closure calculations for the tract map shall be tied into the California Coordinate System.

9. The Final Subdivision Map shall be in substantial compliance with the tentative subdivision map (Attached as exhibit A).

SITE SPECIFIC CONDITIONS:

NOTE: In the event of conflict or duplication between standard and site specific conditions, the site specific condition shall supersede the standard condition.

10. Conditions, Covenants, and Restrictions (CC&R's) or equivalent constructive notice shall be prepared and shall be subject to review by Planning staff and the City Attorney prior to their recordation.

11. The subdivision map shall maintain the existing common access easement with the parcel immediately to the west.

12. The subdivider shall waive protest to formation of a drainage assessment district under which the applicant shall pay his fair share of drainage improvements. Said waiver shall be in a form to be approved by the City Attorney.

PASSED AND ADOPTED THIS 4th day of December, 1990 by the following Roll Call Vote:

AYES: Reneau, Martin, Picanco and Iversen

NOES: None

ABSENT: Russell


MAYOR CHRISTIAN E. IVERSEN

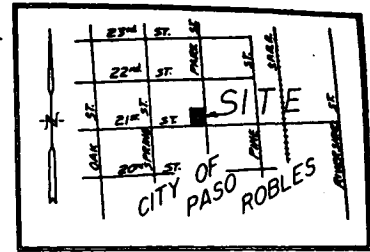
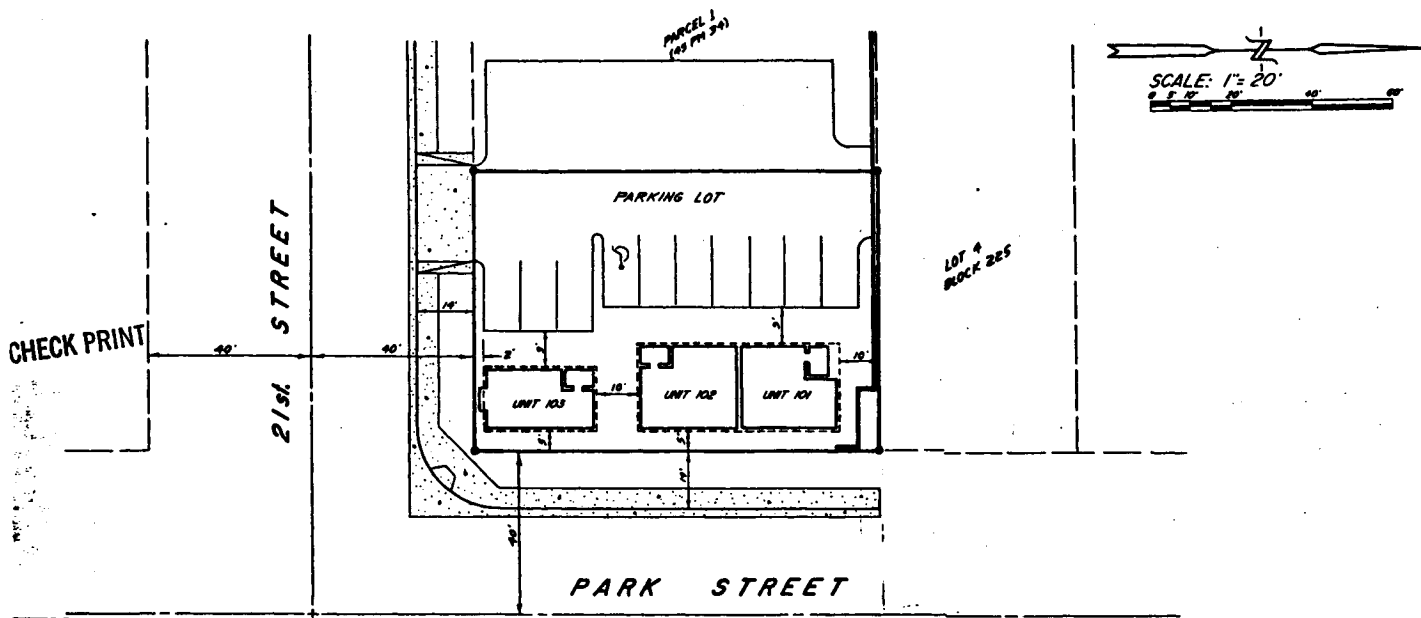
ATTEST:

JERRY BANKSTON, CITY CLERK

NOTE: Any judicial review of this decision must be made within the time set forth in Code of Civil Procedure Section 1094.6.

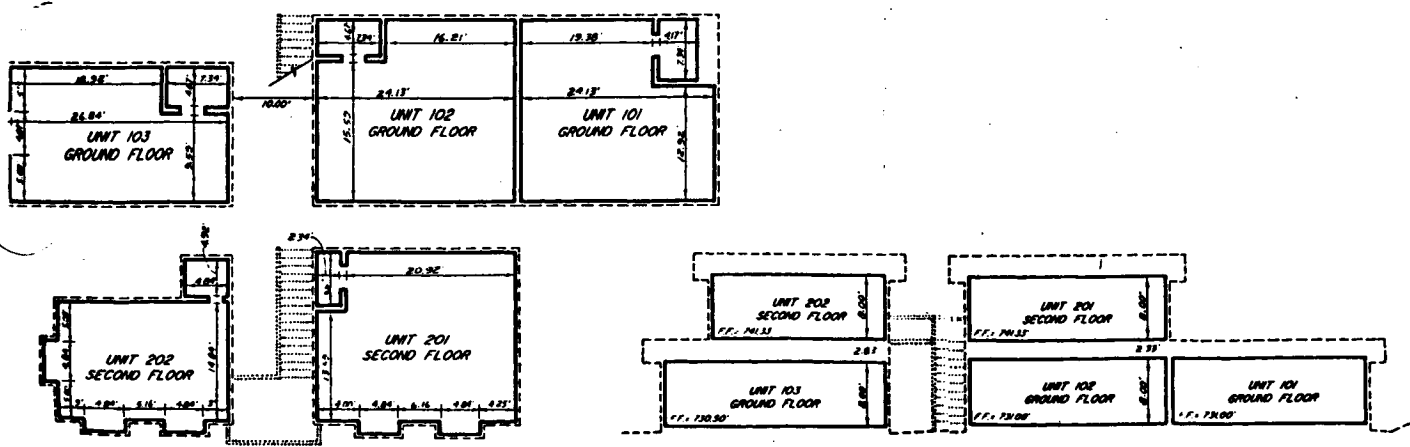
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EXHIBIT "A" RESOLUTION 90-208



VICINITY MAP N.T.S.
A.P.N. 8-225-09

OWNER, APPLICANT:
CHET SIMON
P.O. BOX 2882
PASO ROBLES, CA 93446 PH: (805) 238-3705



PLAN VIEW
SCALE: 1/4" = 10' HORIZ. & VERT.

ELEVATION VIEW
SCALE: 1/4" = 10' HORIZ. & VERT.

RECEIVED
UN 20 1990
COMMUNITY
DEVELOPMENT

CHECK PRINT

JUN 20 1990

TENTATIVE
TRACT NO. 2022

BEING A FIVE (5) UNIT CONDOMINIUM SUBDIVISION
OF PARCEL 2 OF PARCEL MAP 89-018, IN
BLOCK 172 IN THE CITY OF PASO ROBLES, AS
RECORDED IN BOOK 45 OF PARCEL MAPS AT
PAGE 34, IN THE COUNTY OF SAN LUIS OBISPO,
STATE OF CALIFORNIA.

ASSOCIATED PROFESSIONS, INC.
1005 RAILROAD STREET
PASO ROBLES, CA 93446 (805) 238-5427
JOB NUMBER 90-501 SHEET ONE OF ONE

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