

# City of El Paso de Robles

RESOLUTION NO: 90-152  
A RESOLUTION OF THE CITY COUNCIL  
OF THE CITY OF EL PASO DE ROBLES  
APPROVING DEVELOPMENT PLAN DETAILS  
FOR PLANNED DEVELOPMENT 89014  
(HARRY REED)

WHEREAS, Harry Reed has filed an application to construct an approximate 5,000 square foot industrial building, for use as offices, warehouse and manufacturing area, located on the east side of Vendels Circle, east of Ramada Drive and north of Highway 46, West, and

WHEREAS, a public hearing was conducted by the Planning Commission on August 28, 1990 and by the City Council on September 18, 1990 to consider facts as presented in the staff report prepared for this project, and to accept public testimony regarding this proposed development plan, and

WHEREAS, based upon the facts and analysis presented in the staff reports, public testimony received and subject to the conditions of approval listed below, the City Council makes the following findings:

1. The proposed development plan is consistent with the policies established by the General Plan;
2. The proposed development plan is consistent with the purpose, intent and regulations set forth in Chapter 21.16A (Planned Development Overlay District regulations);
3. The proposed development plan will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the persons residing or working in the neighborhood, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of El Paso De Robles does hereby approve Planned Development 89014 subject to the following conditions:

CONDITIONS TO BE IN COMPLIANCE AT ALL TIMES:

1. This Planned Development authorizes the construction and establishment of a 5,000 square foot industrial building which shall consist of warehouse, office and manufacturing areas.
2. Any amendments to the approved detailed development plans shall be subject to subsequent recommendations of the Architectural Review Committee and Planning Commission to the City Council for final approval.

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3. The site shall be kept in a neat manner; landscaping, including street trees, shall be maintained in viable condition.

## STANDARD CONDITIONS TO BE COMPLETED PRIOR TO OCCUPANCY:

NOTE: Standard conditions shall apply unless superseded by a site specific condition.

## PUBLIC WORKS DEPARTMENT

4. The applicant shall pay the following fees prior to certificate of occupancy issuance: engineering plan checking, construction inspection any outstanding annexation fees for public safety impact and bridge development.

5. All improvement plans shall be prepared by a Registered Civil Engineer and shall be submitted to the City Engineer for approval. The improvements shall be designed and placed to City of Paso Robles standards and specifications.

6. A Preliminary Soils Report shall be prepared for the property to determine the presence of expansive soils or other soil problems and shall make recommendations regarding grading of the proposed site. A final soils report shall be made prior to the final inspection and shall certify that all grading was inspected and approved and that all work was done according to the plans, preliminary report, and Chapter 70 of the Uniform Building Code.

7. The applicant shall submit a composite utility plan signed and approved by a representative for each public utility, together with the improvement plans.

8. The applicant shall install all utilities (sewer, water, gas, electricity, cable TV, and telephone) underground. Street lights shall be installed at locations as required by the City Engineer. All existing overhead utilities adjacent to or within the project shall be relocated underground, unless the Planning Commission and the City Council determine such undergrounding is not economically feasible.

9. All utilities shall be extended to the boundaries of the project, unless the City Engineer determines that no need for future extension exists.

10. Any cost reimbursement for oversizing and extension of water and sewer mains shall be included in the subdivision agreement prior to any work being undertaken.

11. All underground construction shall be completed and approved by the City and the public utility companies, and the subgrade shall be scarified and compacted, before paving the streets.

12. Prior to paving any street the water and sewer systems shall successfully pass a pressure test. The sewer system shall also

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be tested by means of a mandrel and televised inspection with a copy of the video tape provided to the City.

13. Building permits shall not be issued until the water system, including hydrants, has been completed and approved, and a based access road installed sufficient to support the City's fire trucks (HS-20 truck loading). Fire access roads shall be kept clear to minimum width of 24 feet.

14. Any existing Oak Trees located on the project site shall be protected and preserved as required in Municipal Code Chapter 10.01 ("Oak Tree Preservation"), unless specifically shown on the approved tentative map to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required.

15. All property corners shall be staked for construction control, and shall be promptly replaced if destroyed. A benchmark shall be placed for vertical control on the U.S.G.S. Datum as required by the City Engineer.

16. A complete Grading and Drainage Plan shall be included with the improvement plans. Drainage calculations shall be submitted with provisions made for on-site retention if adequate disposal facilities are not available.

17. The proposed structures and grading shall not encroach into the 100-year floodway as specified in Municipal Code Chapter 21.14 ("Flood Damage Prevention Regulations").

18. All top soil removed shall be stockpiled and evenly distributed over any sloped landscaped areas upon completion of rough grading as required. All graded areas shall be protected by hydroseeding as directed. Soil conservation measures shall be maintained during construction to prevent drainage, erosion, or other damage to adjacent properties.

19. Any grading during the rainy season will require the approval of a construction zone drainage and erosion control plan to prevent damage to adjacent property.

20. When retaining walls are shown on the Grading Plan, all such walls shall be completed before approval of the rough grade, and prior to issuance of any building permits, unless waived by the Building Official and the City Engineer.

21. No buildings will be occupied until all public improvements are completed and accepted by the City Engineer and accepted by the City Council for maintenance..

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22. The applicant shall plant approved street trees, according to the landscaping plan approved by the Architectural Review Committee, throughout the project as required.

23. When the project fronts on an existing street, the applicant shall pave-out from the proposed curb to the edge of pavement if the existing pavement section is adequate, and shall feather the new paving out to the centerline for a smooth transition. If the existing pavement is inadequate, the roadway shall be replaced to centerline and the remaining pavement shall be overlaid.

24. Any utility trenching in existing streets shall be overlaid to restore a smooth riding surface as required by the City Engineer. Boring rather than trenching may be required on newly constructed or heavily traveled City streets.

25. If the adjoining existing City street is completely inadequate for the traffic generated by the project, or will be severely damaged by the construction, the applicant shall remove the entire roadway along the tract frontage and replace it with a full half-width street plus a 12' wide travel lane and 8' graded shoulder adequate to provide for two-way traffic.

26. If the development includes a phased street construction along the project boundary for future completion by the adjacent property owner, the applicant shall provide a half-width street plus a 12' travel lane and 4' graded shoulder adequate for two-way traffic.

27. Any construction within an existing street shall require a traffic control plan. The plan shall include any necessary detours, flagging, signing, or road closures requested.

28. The applicant shall install all necessary street name and traffic signs, and traffic striping as required by the City Engineer.

29. A blackline clear Mylar (0.4 MIL) copy and a blueline print of as-built improvement plans, signed by the registered engineer who prepared said plans, shall be provided to the City Engineer prior to the final inspection.

30. The applicant shall construct curbs, gutters, sidewalks and paving (to make a smooth transition from the lip of the gutter to the centerline of the street) along all public street frontages as required by Municipal Code Sections 11.12.031 and 11.20.040.

31. Prior to issuance of a certificate of occupancy, a computer-aided-drafting (CAD) drawing file, containing the digitized information for the public improvements, in AutoCAD or compatible (DXF) format shall be submitted on a 5-1/4-inch disk to the Engineering Division.

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32. The street monuments and property corners for the project shall be tied into the California Coordinate System.

33. The applicant/property owner shall record an agreement with the City, in a manner subject to the approval of the City Attorney, to participate in any future Master Plan for the undergrounding of utilities, of which this parcel may be a part.

## COMMUNITY DEVELOPMENT DEPARTMENT

34. All improvements, including landscaping and irrigation systems, approved by the Architectural Review Committee, shall be installed prior to occupancy.

35. On Commercial or Industrial zoned properties, outdoor storage of equipment or materials is not permitted unless a conditional use permit is obtained for such storage.

36. Construction, alteration and occupancy of all structures shall conform to the Uniform Building, Fire and related Codes (1988 Edition) and National Electric Code (1987 Edition) as adopted by Ordinance 581 N.S..

37. The applicant shall obtain a Certification of Occupancy for all structures prior to their occupancy (Ordinance 525 and 538 N.S.).

## POLICE DEPARTMENT

38. The applicant shall meet with the City's Crime Prevention Officer prior to building permit issuance, for recommendations on security measures to be incorporated into the design of the structures to be built.

## FIRE DEPARTMENT

39. Fire hydrants, both off-site and on-site, shall be installed as required by the Fire Chief.

40. If the development includes phased street construction, then temporary turnarounds shall be provided at the end of these streets or access drives. The temporary turnaround shall meet the city's requirements as set forth in the Engineering Department's standards.

41. All open space areas that are to be dedicated to the city will be inspected by the Fire Department prior to acceptance and a report will be submitted recommending action needed regarding debris and weed removal, tree trimming and brush removal.

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## SITE SPECIFIC CONDITIONS TO BE COMPLETED PRIOR TO OCCUPANCY:

42. The applicant shall construct the project in conformance with the site plan, landscaping plans, and building elevations, colors and materials attached as Exhibits A through F and listed below:

| <u>EXHIBIT</u> | <u>DESCRIPTION</u>                     |
|----------------|--|
| A              | Site Plan                              |
| B              | Preliminary Grading and Drainage Plan* |
| C              | Floor Plan                             |
| D              | Elevations                             |
| E              | Landscaping                            |
| F              | Color Board *                          |

\* Copies are on file in the Community Development Department.

43. Future development to the north of the project (Phase two) shall require an amendment to this development plan. Detailed plans for phase two construction shall be subject to review and approval by the City's Architectural Review Committee (ARC), Planning Commission and City Council.

44. All project lighting shall be designed in such a manner so as not to create off-site glare (this is to include street lighting as well as on-site project lighting).

45. The applicant shall provide a detail landscape and irrigation plan for review and approval by the Architectural Review Committee which shall address and include the following:

- o Plans shall indicate the exact placement and spacing of specific shrub species. Sizing of plant stock should be increased for more effectual results at the time of initial planting.

- o Additional shrub species should be introduced into the plans in order to accomplish proper growth proportions between shrubs and groundcover and at the foundation of the building.

- o The sizing of Broadmoor Juniper and India Hawthorn shall be increased to 5 gallon minimums. The 1 gallon Lily of the Nile would be acceptable.

- o All trees within the project shall be a minimum of 1-1/2 caliper in size.

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o Evergreen tree species shall be introduced and concentrated at the front portion of the building (visible from Ramada Drive).

46. The applicant shall relocate the trash enclosure outside of the recorded easement areas. The specific construction materials and the location shall be subject to review and approval by the Architectural Review Committee.

47. Sign details shall be submitted to the Architectural Review Committee for review and approval. The sign base shall be constructed of split face concrete block.

48. The chain link fencing shall be vinyl coated with solid slat materials to provide visual screening.

49. The developer shall install a City Standard street light at a location acceptable to the City Engineer prior to issuance of Certificate of Occupancy.

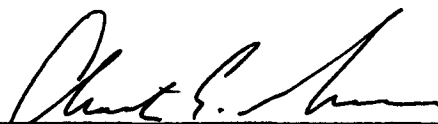
PASSED AND ADOPTED THIS 18th day of September, 1990 by the following roll call vote:

AYES: Picanco, Martin and Iversen

NOES: Russell

ABSENT: Reneau

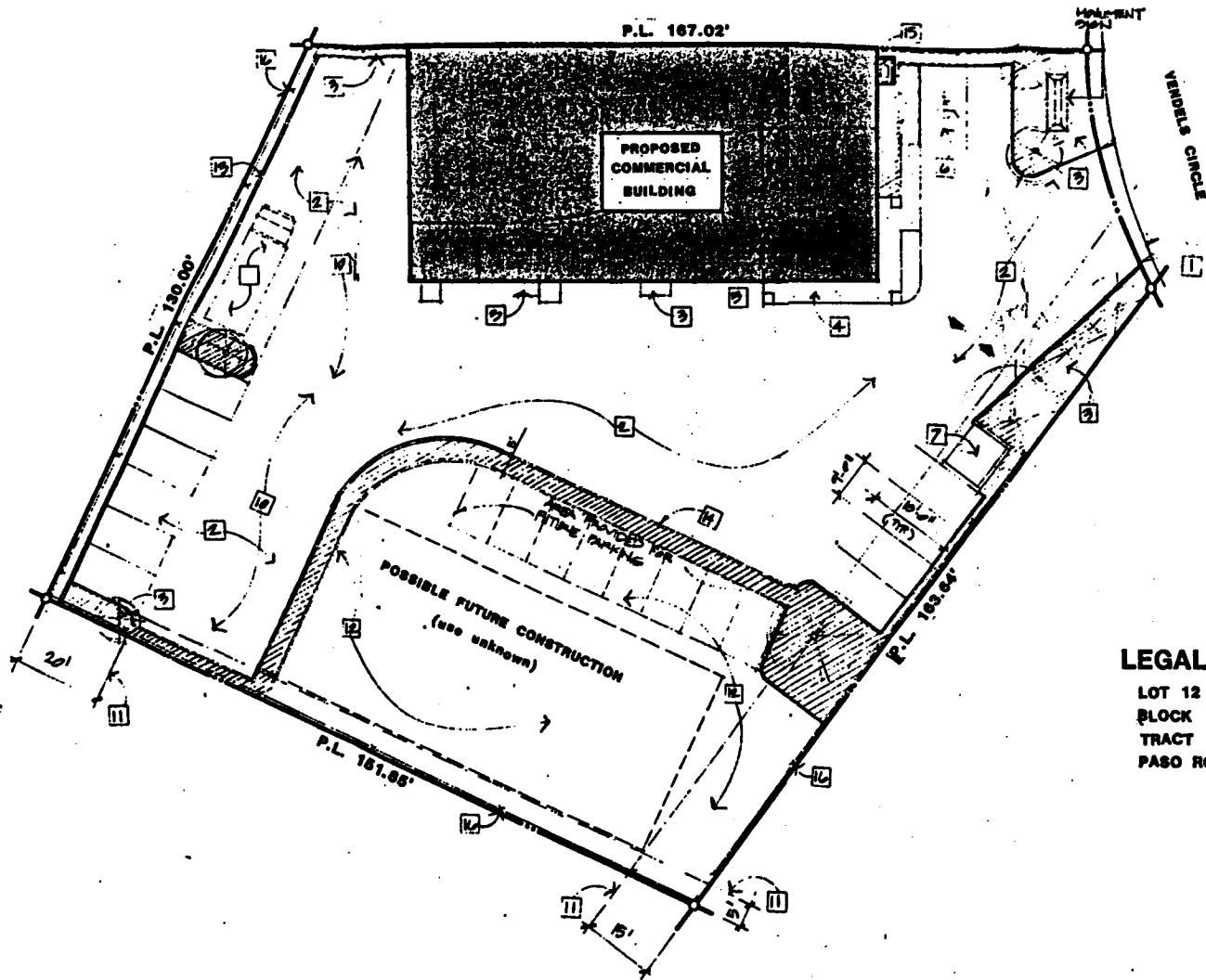
ABSTAIN: None

  
MAYOR CHRISTIAN E. IVERSEN

ATTEST:

  
JERRY BANKSTON, CITY CLERK

NOTE: Any judicial review of this decision must be made within the time set forth in Code of Civil Procedure Section 1094.6.



**SITE PLAN REFERENCE NOTES**

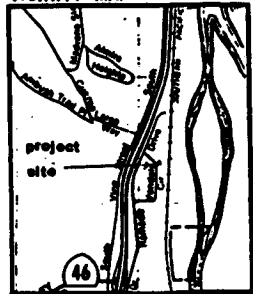
1. Edge of street
2. Asphalt driveway & parking area
3. Landscaped areas
4. Covered entry walk
5. Line of office/sales area
6. Handicapped parking space
7. Trash enclosure
8. Edge of paving
9. TRASH BUNKER
10. TRUCK MANEUVERING LANE
11. LINE OF EXISTING EASEMENTS
12. DEVELOPED AREA
13. CONC. CURB & DRAINAGE GUTTER
14. 6" ASPHALT CURB
15. SPLIT FACE BLOCK SCREENING ENCLOSURE FOR AIR CONDENSATE UNIT
16. FENCE



**LEGAL DESCRIPTION**

LOT 12  
 BLOCK  
 TRACT 600  
 PASO ROBLES, CALIF.

**VICINITY MAP**



**SITE PLAN**  
 1" = 16' - 0"

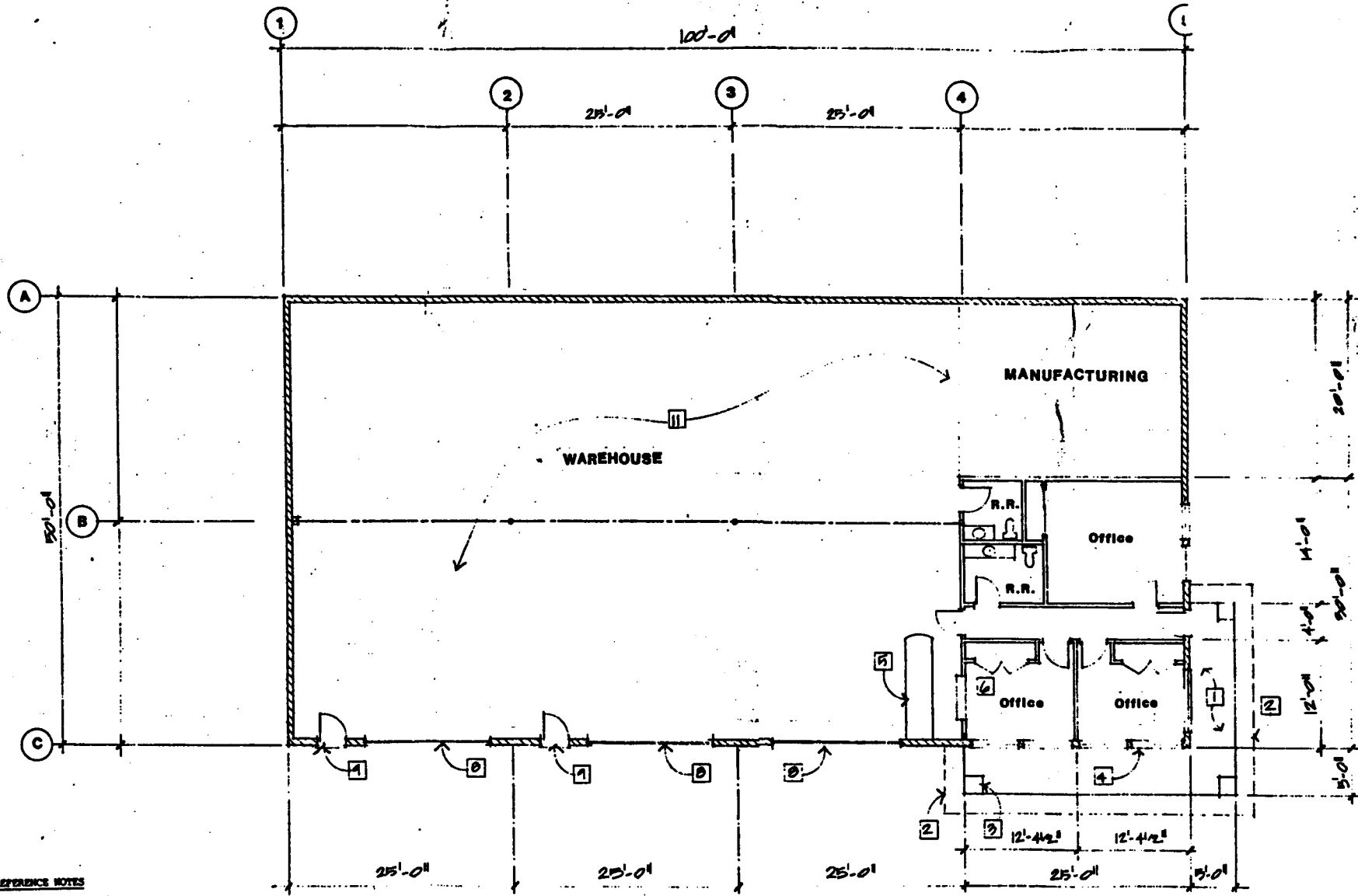
**PD 89014  
 EXHIBIT "A"**



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**EXHIBIT "B": Preliminary Grading and Drainage Plan  
is on file in the Community Development Department**

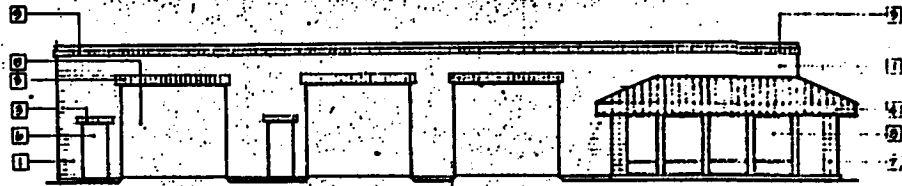


**FLOOR PLAN REFERENCE NOTES**

- 1. Covered entry
- 2. Line of overhang
- 3. Architectural columns
- 4. ~~TINTED GLASS~~
- 5. Sales counter
- 6. Book-keeping area
- 7. Handicap accessible restrooms
- 8. 14' x 12' metal roll-up door
- 9. 3' x 7' metal exterior door
- 10. 10' x 12' metal roll-up door
- 11. Warehouse area

**PD 89014  
EXHIBIT "C"**

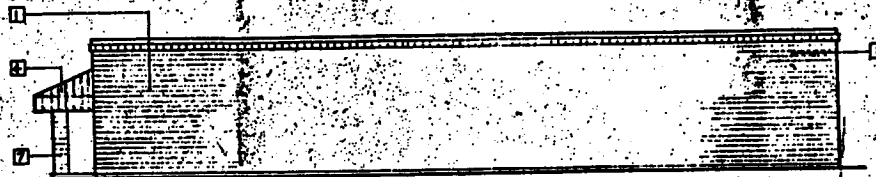
**FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



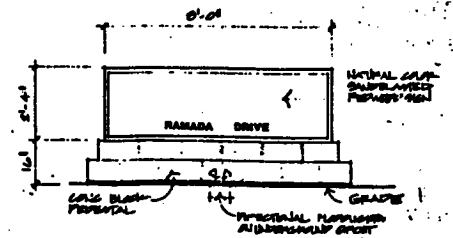
**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

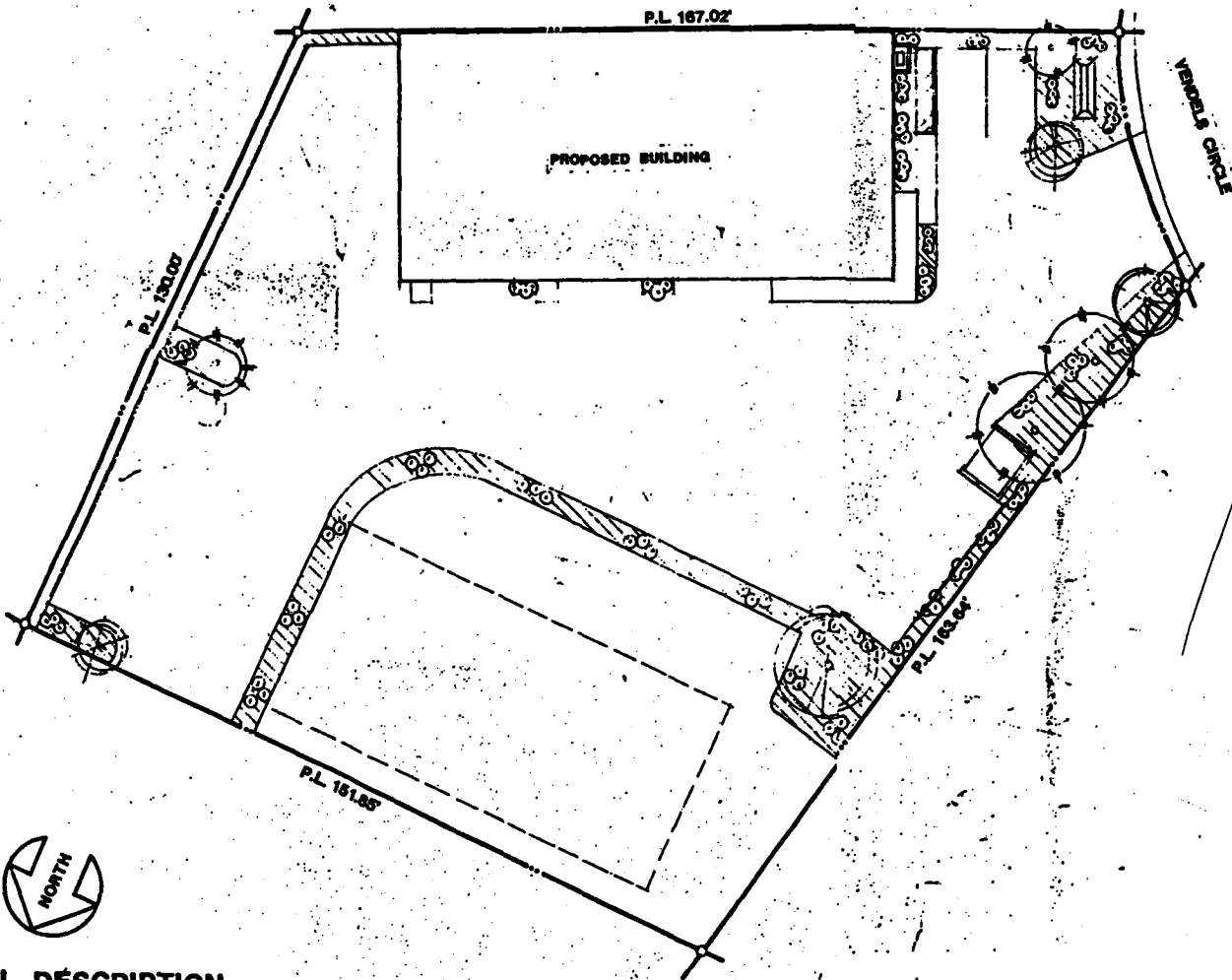
**EXPLANATION OF SYMBOLS**

1. 6" split-face conc. block
- 2.
3. 12" x 6" corrug. galv. split-face conc. block
4. Standing seam metal roofing
5. 14' x 12' roll-up metal door
6. 3' x 7' metal door
7. 6" split-face conc. block columns
8. Tinted glass



**1 MONUMENT SIGN**  
1/2" = 1'-0"

PD 89014  
EXHIBIT "D"



**LEGAL DESCRIPTION**

LOT 12  
 BLOCK  
 TRACT 9D  
 PASO ROBLES, CALIF.

**LANDSCAPING PLAN**

1" = 16'-0"

**PLANTING LEGEND**

| SYMBOL                   | NAME                 | SIZE     |
|--------------------------|----------------------|----------|
| <b>TREES</b>             |                      |          |
|                          | EUROPEAN WHITE BIRCH | 15 GAL.  |
|                          | CALIFORNIA SYCAMORE  | 15 GAL.  |
| <b>SHRUBS</b>            |                      |          |
| <b>FOUNDATION SHRUBS</b> |                      |          |
|                          | BROADLEAF JUNIPER    | 1 GAL.   |
|                          | LILY-OF-THE-VALLEY   | 1 GAL.   |
|                          | INDIA HAWTHORN       | 1 GAL.   |
| <b>GROUND COVER</b>      |                      |          |
|                          | STAR JASMINE         | 18" O.C. |

NOTE: ALL LANDSCAPED AREAS TO BE IRRIGATED

PD 890014  
 EXHIBIT "E"