

# City of El Paso de Robles

## RESOLUTION NO: 90-135

### A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF EL PASO DE ROBLES APPROVING DEVELOPMENT PLAN DETAILS FOR PLANNED DEVELOPMENT 90009 (SCRIPPS NEWSPAPER/TELEGRAM TRIBUNE)

WHEREAS, Scripps Newspaper/Telegram Tribune, has filed an application to construct an approximate 64,000 square foot industrial building in two development phases (the first phase consisting of 32,000 square feet for use as offices, warehouse and printing/manufacturing area), located on the east side of Ramada Drive, south of Vendels Circle and north of Highway 46, West, and

WHEREAS, a the Environmental Coordinator has conducted an initial study in accordance with the California Environmental Quality Act, and finds no substantial evidence that the project would have a significant effect on the environment if the mitigation measures mentioned in the initial study are required as conditions of the project development and a Negative Declaration will be prepared for the project, and

WHEREAS, a public hearing was conducted by the Planning Commission on July 10, 1990 and by the City Council on August 7, 1990 to consider facts as presented in the staff report prepared for this project, and to accept public testimony regarding this proposed development plan, and

WHEREAS, based upon the facts and analysis presented in the staff reports, public testimony received and subject to the conditions of approval listed below, the City Council makes the following findings:

1. The proposed development plan is consistent with the policies established by the General Plan;
2. The proposed development plan is consistent with the purpose, intent and regulations set forth in Chapter 21.16A (Planned Development Overlay District regulations);
3. The proposed development plan will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the persons residing or working in the neighborhood, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of El Paso De Robles does hereby approve Planned Development 90009 subject to the following conditions:

# City of El Paso de Robles

## CONDITIONS TO BE IN COMPLIANCE AT ALL TIMES:

1. This Planned Development authorizes the construction and establishment of a 62,000 square foot industrial building which shall consist of warehouse, office and printing/manufacturing areas and be developed in two development phases. The first phase shall consist of 32,000 square feet of building with a minimum of 82 parking stalls provided and the second phase shall approximately double the square footage of the printing and office facility.

2. Any amendments to the approved detailed development plans shall be subject to subsequent recommendations of the Architectural Review Committee and Planning Commission to the City Council for final approval.

3. The site shall be kept in a neat manner; landscaping, including street trees, shall be maintained in viable condition.

## STANDARD CONDITIONS TO BE COMPLETED PRIOR TO OCCUPANCY:

NOTE: Standard conditions shall apply unless superseded by a site specific condition.

## PUBLIC WORKS DEPARTMENT

4. The applicant shall pay the following fees prior to certificate of occupancy issuance: engineering plan checking, construction inspection any outstanding annexation fees for public safety impact and bridge development.

5. All improvement plans shall be prepared by a Registered Civil Engineer and shall be submitted to the City Engineer for approval. The improvements shall be designed and placed to City of Paso Robles standards and specifications.

6. A Preliminary Soils Report shall be prepared for the property to determine the presence of expansive soils or other soil problems and shall make recommendations regarding grading of the proposed site. A final soils report shall be made prior to the final inspection and shall certify that all grading was inspected and approved and that all work was done according to the plans, preliminary report, and Chapter 70 of the Uniform Building Code.

7. The applicant shall submit a composite utility plan signed and approved by a representative for each public utility, together with the improvement plans.

8. The applicant shall install all utilities (sewer, water, gas, electricity, cable TV, and telephone) underground. Street lights shall be installed at locations as required by the City Engineer. All existing overhead utilities adjacent to or within the project shall be relocated underground, unless the Planning Commission

# City of El Paso de Robles

and the City Council determine such undergrounding is not economically feasible.

9. All utilities shall be extended to the boundaries of the project, unless the City Engineer determines that no need for future extension exists.

10. Any cost reimbursement for oversizing and extension of water and sewer mains shall be included in the subdivision agreement prior to any work being undertaken.

11. All underground construction shall be completed and approved by the City and the public utility companies, and the subgrade shall be scarified and compacted, before paving the streets.

12. Prior to paving any street the water and sewer systems shall successfully pass a pressure test. The sewer system shall also be tested by means of a mandrel and televised inspection with a copy of the video tape provided to the City.

13. Building permits shall not be issued until the water system, including hydrants, has been completed and approved, and a based access road installed sufficient to support the City's fire trucks (HS-20 truck loading). Fire access roads shall be kept clear to minimum width of 24 feet.

14. Any existing Oak Trees located on the project site shall be protected and preserved as required in Municipal Code Chapter 10.01 ("Oak Tree Preservation"), unless specifically shown on the approved tentative map to be removed. An Oak tree inventory shall be prepared listing the Oak trees, their disposition, and the proposed location of any replacement trees required.

15. All property corners shall be staked for construction control, and shall be promptly replaced if destroyed. A benchmark shall be placed for vertical control on the U.S.G.S. Datum as required by the City Engineer.

16. A complete Grading and Drainage Plan shall be included with the improvement plans. Drainage calculations shall be submitted with provisions made for on-site retention if adequate disposal facilities are not available.

17. The proposed structures and grading shall not encroach into the 100-year floodway as specified in Municipal Code Chapter 21.14 ("Flood Damage Prevention Regulations").

18. All top soil removed shall be stockpiled and evenly distributed over any sloped landscaped areas upon completion of rough grading as required. All graded areas shall be protected by hydroseeding as directed. Soil conservation measures shall be

# City of El Paso de Robles

maintained during construction to prevent drainage, erosion, or other damage to adjacent properties.

19. Any grading during the rainy season will require the approval of a construction zone drainage and erosion control plan to prevent damage to adjacent property.

20. When retaining walls are shown on the Grading Plan, all such walls shall be completed before approval of the rough grade, and prior to issuance of any building permits, unless waived by the Building Official and the City Engineer.

21. No buildings will be occupied until all public improvements are completed and accepted by the City Engineer and accepted by the City Council for maintenance..

22. The applicant shall plant approved street trees, according to the landscaping plan approved by the Architectural Review Committee, throughout the project as required.

23. When the project fronts on an existing street, the applicant shall pave-out from the proposed curb to the edge of pavement if the existing pavement section is adequate, and shall feather the new paving out to the centerline for a smooth transition. If the existing pavement is inadequate, the roadway shall be replaced to centerline and the remaining pavement shall be overlaid.

24. Any utility trenching in existing streets shall be overlaid to restore a smooth riding surface as required by the City Engineer. Boring rather than trenching may be required on newly constructed or heavily traveled City streets.

25. If the adjoining existing City street is completely inadequate for the traffic generated by the project, or will be severely damaged by the construction, the applicant shall remove the entire roadway along the tract frontage and replace it with a full half-width street plus a 12' wide travel lane and 8' graded shoulder adequate to provide for two-way traffic.

26. If the development includes a phased street construction along the project boundary for future completion by the adjacent property owner, the applicant shall provide a half-width street plus a 12' travel lane and 4' graded shoulder adequate for two-way traffic.

27. Any construction within an existing street shall require a traffic control plan. The plan shall include any necessary detours, flagging, signing, or road closures requested.

28. The applicant shall install all necessary street name and traffic signs, and traffic striping as required by the City Engineer.

# City of El Paso de Robles

29. A blackline clear Mylar (0.4 MIL) copy and a blueline print of as-built improvement plans, signed by the registered engineer who prepared said plans, shall be provided to the City Engineer prior to the final inspection.

30. The applicant shall construct curbs, gutters, sidewalks and paving (to make a smooth transition from the lip of the gutter to the centerline of the street) along all public street frontages as required by Municipal Code Sections 11.12.031 and 11.20.040.

31. Prior to issuance of a certificate of occupancy, a computer-aided-drafting (CAD) drawing file, containing the digitized information for the public improvements, in AutoCAD or compatible (DXF) format shall be submitted on a 5-1/4-inch disk to the Engineering Division.

32. The street monuments and property corners for the project shall be tied into the California Coordinate System.

33. The applicant/property owner shall record an agreement with the City, in a manner subject to the approval of the City Attorney, to participate in any future Master Plan for the undergrounding of utilities, of which this parcel may be a part.

## COMMUNITY DEVELOPMENT DEPARTMENT

34. Prior to issuance of building permits, the Architectural Review Committee shall approve plans for the following items:

- a. Elevations of all structures including materials, color and architectural treatment;
- b. Landscaping plan including street trees and irrigation systems;
- c. Wall and fencing location, height and materials;
- d. HVAC screening methods;
- e. Outdoor lighting and method of shielding;
- f. Trash enclosure and electrical transformer locations and details;
- g. Parking and circulation.

35. All improvements, including landscaping and irrigation systems, approved by the Architectural Review Committee, shall be installed prior to occupancy.

36. The applicant shall provide a 6 inch curb around landscaping adjacent to parking lots.

37. On Commercial or Industrial zoned properties, outdoor storage of equipment or materials is not permitted unless a conditional use permit is obtained for such storage.

# City of El Paso de Robles

38. Construction, alteration and occupancy of all structures shall conform to the Uniform Building, Fire and related Codes (1988 Edition) and National Electric Code (1987 Edition) as adopted by Ordinance 581 N.S..

39. The applicant shall obtain a Certification of Occupancy for all structures prior to their occupancy (Ordinance 525 and 538 N.S.).

40. The applicant shall construct a trash enclosure out of decorative masonry block in a manner subject to the approval of the Architectural Review Committee.

## POLICE DEPARTMENT

41. The applicant shall meet with the City's Crime Prevention Officer prior to building permit issuance, for recommendations on security measures to be incorporated into the design of the structures to be built.

## FIRE DEPARTMENT

42. Fire hydrants, both off-site and on-site, shall be installed as required by the Fire Chief.

43. If the development includes phased street construction, then temporary turnarounds shall be provided at the end of these streets or access drives. The temporary turnaround shall meet the city's requirements as set forth in the Engineering Department's standards.

44. All open space areas that are to be dedicated to the city will be inspected by the Fire Department prior to acceptance and a report will be submitted recommending action needed regarding debris and weed removal, tree trimming and brush removal.

## SITE SPECIFIC CONDITIONS TO BE COMPLETED PRIOR TO OCCUPANCY:

45. The applicant shall construct the project in conformance with the site plan, landscaping plans, and building elevations, colors and materials attached as Exhibits A through G and listed below:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Master Site and Development Plan (phase I and II)
B	Preliminary Grading and Drainage Plan*
C	Site Plan for Phase I

# City of El Paso de Robles

D1-D2	Floor Plans
E1-E2	Elevations
F	Color Board *
G	Landscaping Plan for Phase I

\* Copies are on file in the Community Development Department.

46. Phase two of the project shall substantially comply with the Master Site and Development Plan (Exhibit A as noted above).

Detailed plans for phase two construction shall be subject to review and approval by the City's Architectural Review Committee (ARC) prior to issuance of building permits for that phase. The detailed plans for landscaping and elevations shall substantially comply with the quality and character of the phase one construction. When reviewing the phase two details, the ARC shall have the ability to require additional project detail or upgrade, as may be necessary, to meet the quality and character of phase one development.

47. All project lighting shall be designed in such a manner so as not to create off-site glare (this is to include street lighting as well as on-site project lighting).

48. All shrubs called out within the approved landscaping plan shall be a minimum of 5 gallon in size and all trees planted shall be a minimum of 1-1/2 trunk caliper in size.

49. The applicant shall provide a detail landscape and irrigation plan to provide screening along the western side of the phase one detention basin in a manner subject to the review and approval of the Architectural Review Committee.

50. The applicant shall submit detailed plans for the container storage area located at the southeastern portion of the site to the Architectural Review Committee for their review and approval. This storage area shall be compatible in design with the main structure.

51. Prior to issuance of grading or building permits, the applicant shall conduct an Archaeological Survey of the project site to determine whether any significant archaeological resources exist. In the event this survey determines that there are such significant resources, the report shall address mitigation measures which shall then be implemented by the applicant in a manner as directed by the Public Works and Community Development Departments.

# City of El Paso de Robles

52. The applicant shall offer to dedicate and improve Ramada Drive to one half Industrial Street Standard A-5 along its entire property frontage including return radius for the future road along its northerly property boundary. This shall include the extension of the box culvert and the RCP (reinforced concrete pipe), and drainage inlets as necessary. The improvement of Ramada Drive shall be accomplished with the construction of phase one development and shall include landscape screen planting as shown on the landscape plan exhibits.

53. The property owner shall petition City Council to be included in a benefit maintenance district for street lighting which is required by this approval. The applicant shall be responsible for maintenance of all project landscape, both on-site as well as within the parkways.

54. The property owner shall offer to dedicate a 1/2 industrial street width (34 feet) along its northerly property line, including a 1/2 cul-de-sac bulb at the terminus/easterly property line.

55. The property owner shall offer to dedicate to the City a 20 foot wide sanitary sewer easement, the location of this easement shall be centered on existing sanitary sewer main.

56. The property owner shall offer to dedicate a drainage easement, of which the exact location of the easement shall be determined with the review of the improvement plans (grading and drainage).

PASSED AND ADOPTED THIS 7th day of August, 1990 by the following roll call vote:

AYES: Russell, Reneau, Picanco and Iversen

NOES: None

ABSENT: Martin

ABSTAIN: None

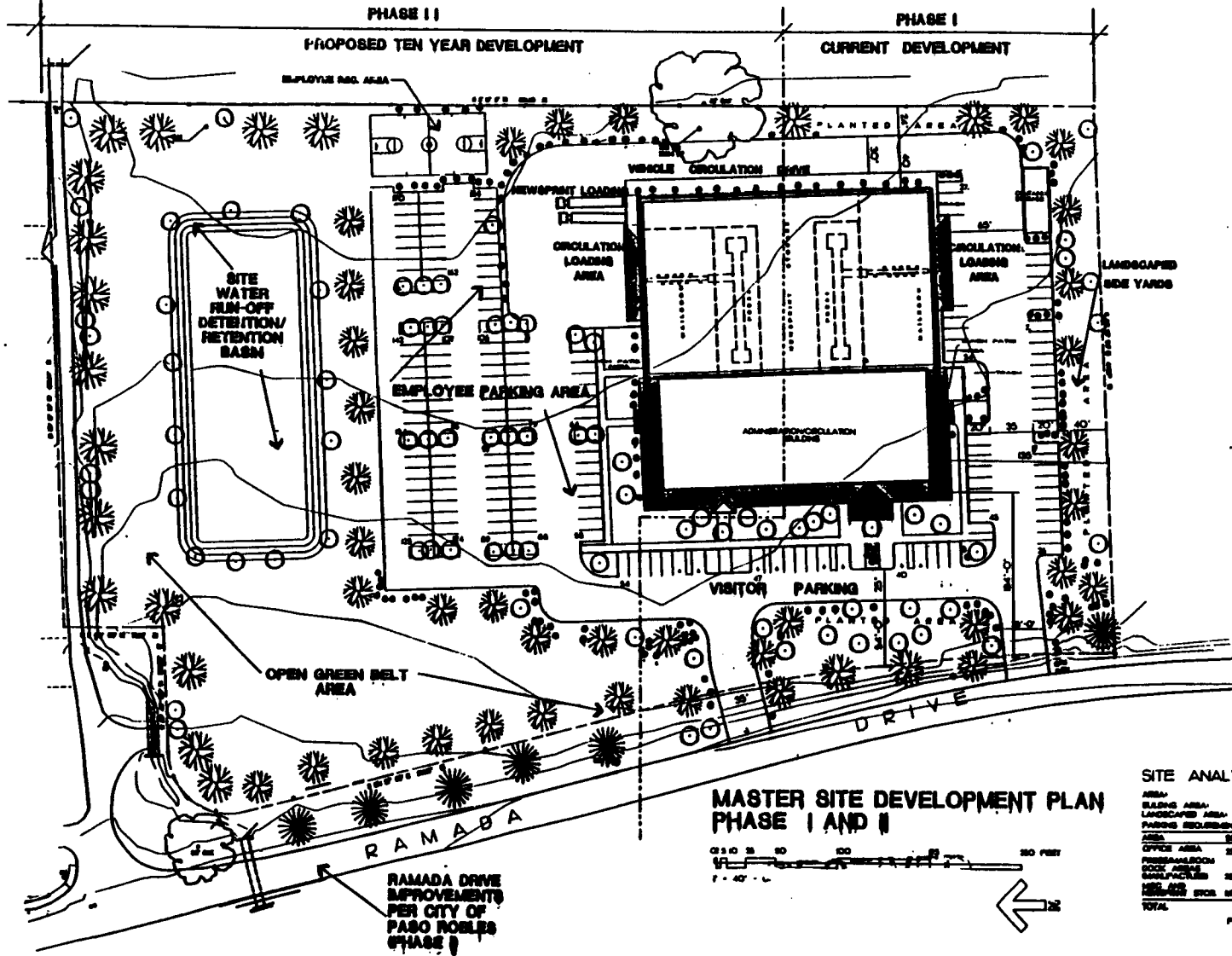
  
MAYOR CHRISTIAN E. IVERSEN

ATTEST:

  
JERRY BANKSTON, CITY CLERK

NOTE: Any judicial review of this decision must be made within the time set forth in Code of Civil Procedure Section 1094.6.





### MASTER SITE DEVELOPMENT PLAN PHASE I AND II

#### SITE ANALYSIS

AREA:	84 ACRES
BUILDING AREA:	44,026 SQ. FT.
LANDSCAPED AREA:	24,748 SQ. FT.
PARKING REQUIREMENTS	
OFFICE AREA:	24,000
PROGRAM ROOM:	2,800
BOOK AREA:	1,000
RECREATION:	1,000
VEHICLE:	4,000
TOTAL:	34,800

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**A-1**  
 OF 8-SHETS

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20

EXHIBIT B (PRELIMINARY GRADING AND DRAINAGE PLAN)  
IS ON FILE IN THE COMMUNITY DEVELOPMENT DEPARTMENT

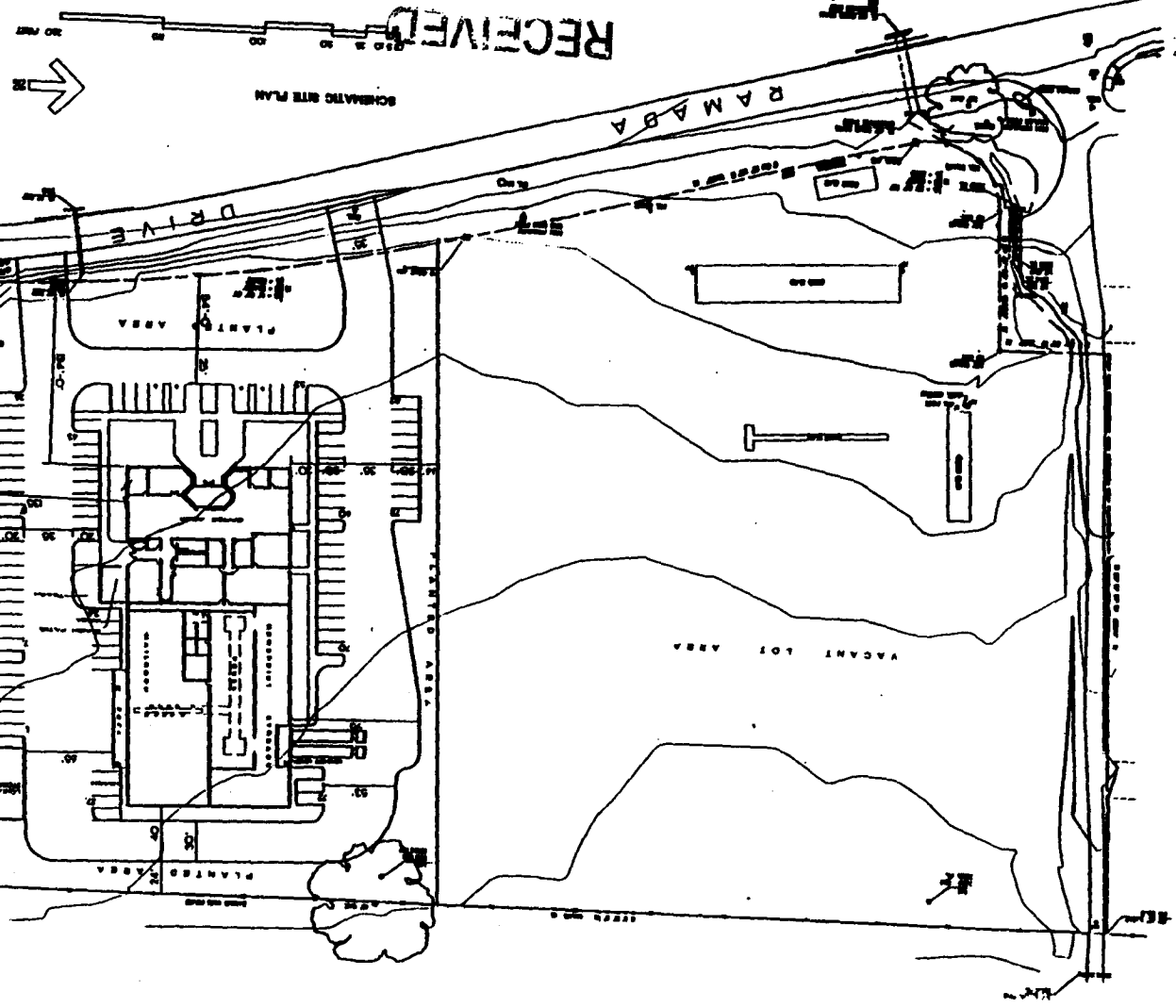
PLANNED DEVELOPMENT SUDS - EXHIBIT "C"

22

COMMUNITY DEVELOPMENT

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DATE	DESCRIPTION	BY
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12/1/89	REVISED	...
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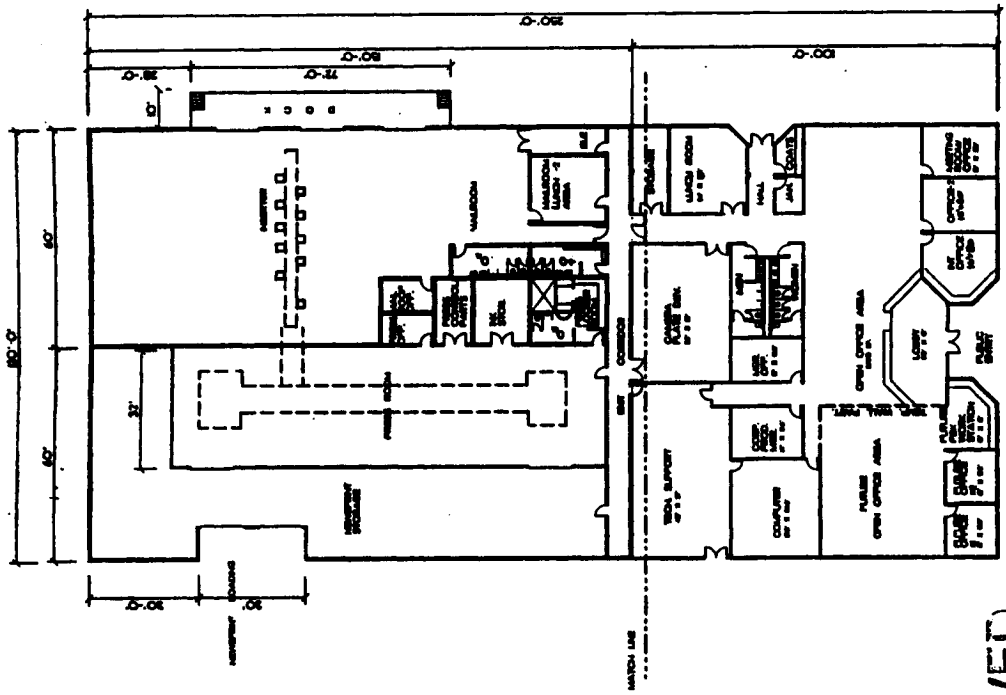
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# PLANNED DEVELOPMENT, 90009 - EXHIBIT "21"

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MASTER BUILDING FLOOR PLAN  
 1/8" = 1'-0"  
 3888 SQ. FT. TOTAL AREA



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COMMUNITY DEVELOPMENT

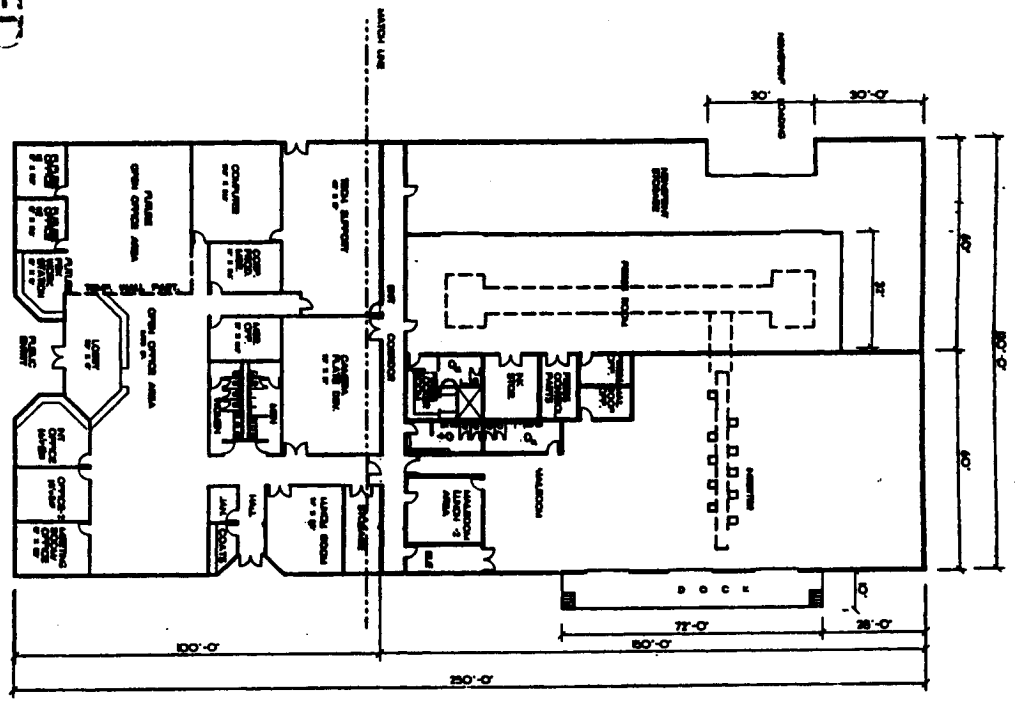
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PLANNED DEVELOPMENT 90009 - EXHIBIT "L-2"

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MASTER BUILDING FLOOR PLAN  
84,000 SQ. FT. TOTAL AREA

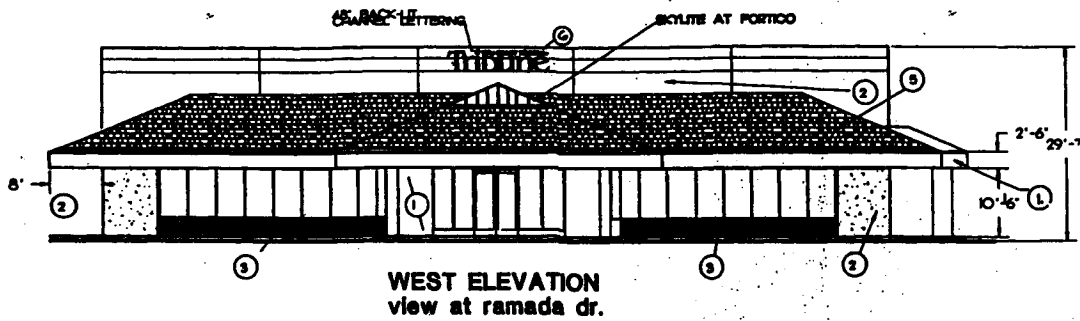


This design, plan, and drawings are the property of CRAIG J. LOPEZ, ARCHITECTS, A.I.A. They shall not be used on any other project without the approval of the Architect. All design are contained in volume one and two for structure and

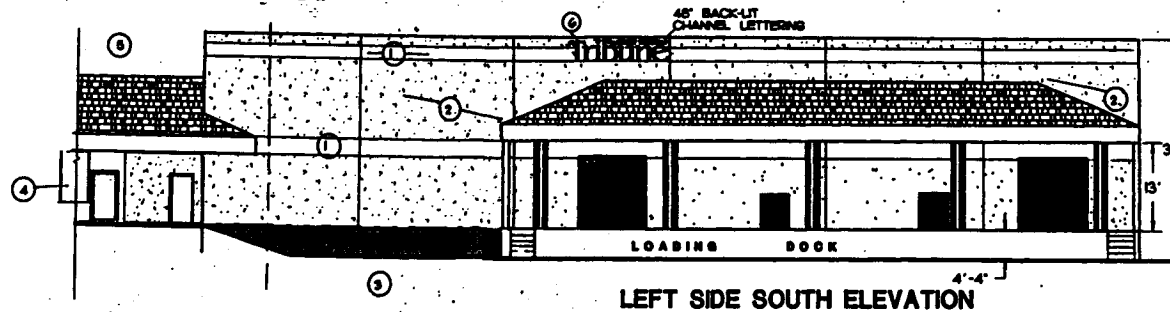
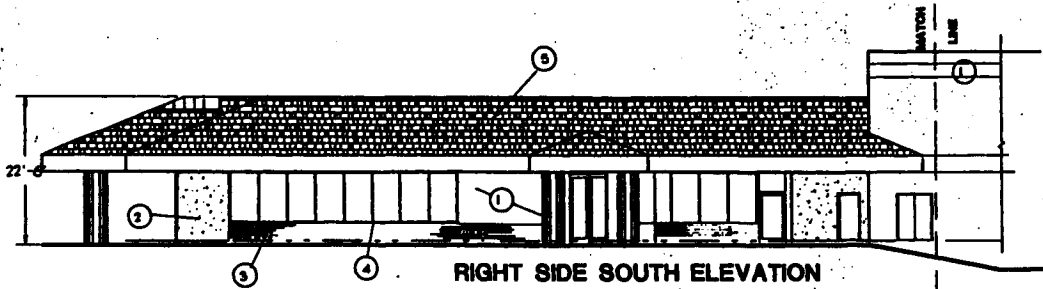
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EXTERIOR MATERIALS	
WALLS:	
STUCCO	1 LA MERBY STUCCO COLOR CRISTAL WHITE SMOOTH TROMPE L'OEIL
CONCRETE COLUMN WALL & COLLARS	2 EXPOSED NAT AGGREGATE BY HORIZONTAL BANDS TO MATCH STUCCO COLOR
MASONRY	3 7/8" SUEB VENEER LAPPING BRICK COLOR CHARLE BROWN
GLASS ROOFING AT OFFICE	4 PPG POLYMER SOLAR GREY 5 ONE SANE TEMPLATE COLOR WEATHERED SAGE
WALL ISOLATED SPRINGS	6 1/2" ONLY TYPICAL IF USED CHANGE TO 1/2" HEIGHT OF ALL LETTERS BE SMOOTH COLOR TO BLACK N. MARQUETTE



1/8"=1'-0" SCALE

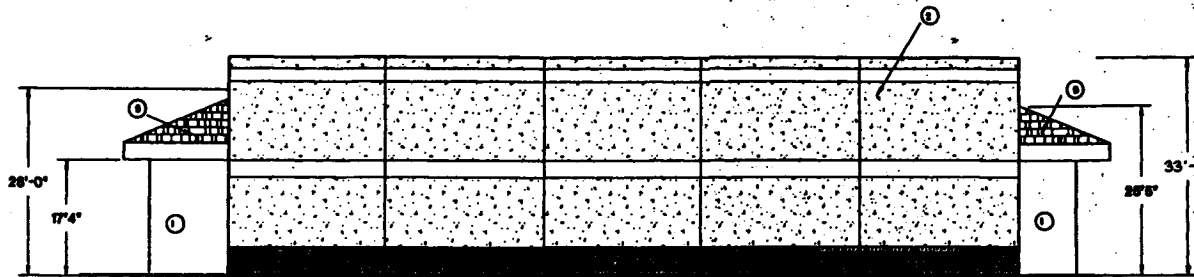
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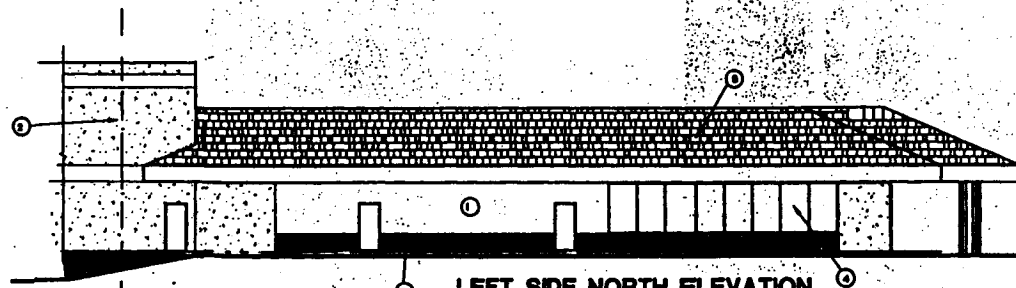
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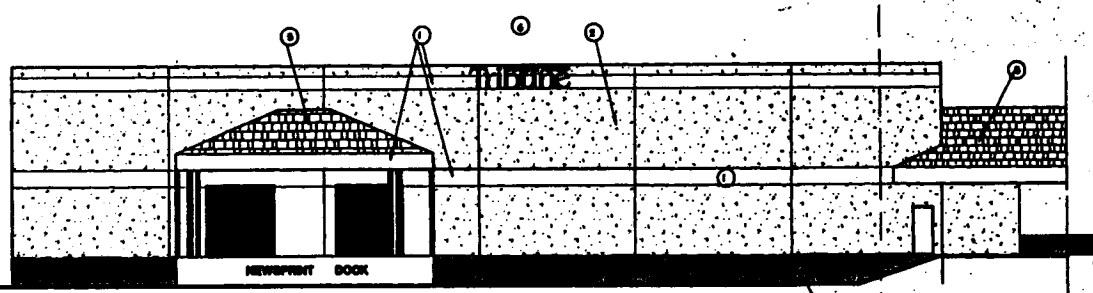


EAST ELEVATION

EXTERIOR MATERIALS	
WALLS:	
STUCCO	1 1/2 INCHES STUCCO COLOR: CRISTAL BLUE FINISH: RENE PAIN
CONCRETE-UP JOINT WALL & COLLARS	2 SPINNING MAT ASSEMBLY BY MICROVAL, MADE TO MATCH STUCCO COLOR
MASONRY	3 1/2 IN BRICK VENEER COLOR: BROWN 4 "CHARLE BROWN"
GLAZING	5 1/2 IN POLYURETHANE SOLAR GREY 6 1/2 IN POLYURETHANE SOLAR GREY
ROOFING MAT OFFICE	7 1/2 IN POLYURETHANE SOLAR GREY 8 1/2 IN POLYURETHANE SOLAR GREY
WALL ADJACENT TO ROOF	9 1/2 IN POLYURETHANE SOLAR GREY 10 1/2 IN POLYURETHANE SOLAR GREY



LEFT SIDE NORTH ELEVATION



RIGHT SIDE NORTH ELEVATION

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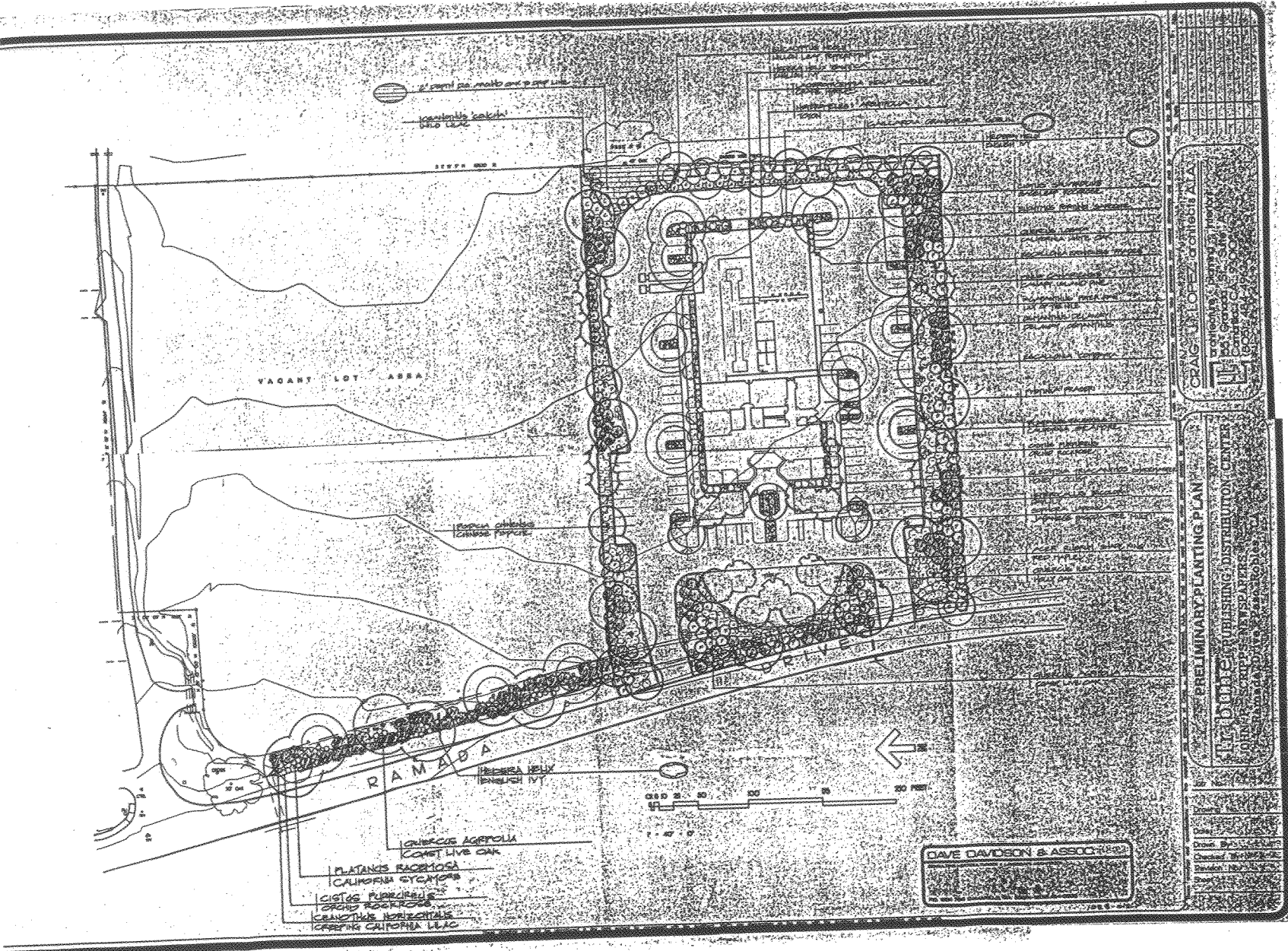
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26 PLANNED DEVELOPMENT 90009 - EXHIBIT "E-2"

EXHIBIT F: COLOR AND MATERIALS BOARD  
IS ON FILE IN THE COMMUNITY DEVELOPMENT  
DEPARTMENT





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80

PLANNED DEVELOPMENT 90009 - EXHIBIT "G"