

City of El Paso de Robles

RESOLUTION NO: 90-07

A RESOLUTION OF THE CITY COUNCIL
OF THE CITY OF EL PASO DE ROBLES
APPROVING PLANNED DEVELOPMENT 89013

(HALFERTY DEVELOPMENT COMPANY - NEIGHBORHOOD COMMERCIAL CENTER)

WHEREAS, Halferty Development Company has filed an application to construct and establish a Neighborhood Commercial Shopping Center on an approximate 12.6 acre parcel of land located on the northwest corner of Niblick Road and South River Road, and

WHEREAS, the site is located in a Planned Development Overlay Zoning District, and

WHEREAS, Section 21.16A.050 of the Municipal Code requires adoption of a development plan in conjunction with the development of any property within a Planned Development Overlay District, and

WHEREAS, a detailed traffic impact study has been provided which documents the limited impact of the proposed neighborhood shopping center on public streets, and

WHEREAS, an archaeological study has been provided which addresses the potential cultural/archaeological resources within this project and which outlines mitigation measures, and

WHEREAS, the potential impact on the historic downtown was reviewed by the Redevelopment Project Area Committee and a list of permitted and non-permitted uses has been determined by the Committee to be compatible with the goals, policies and programs of the Redevelopment Plan, and

WHEREAS, as public hearing was conducted by the Planning Commission on January 9, 1990 and by the City Council on January 16, 1990, to consider facts as presented in the staff report prepared for this project, and to accept public testimony regarding this proposed development plan, and

WHEREAS, based upon the facts and analysis presented in the staff reports, public testimony received and subject to the conditions of approval listed below, the City Council makes the following findings:

1. The proposed development plan is consistent with the policies established by the General Plan;
2. The proposed development plan is consistent with the purpose, intent and regulations set forth in Chapter 21.16A (Planned Development Overlay District regulations);

City of El Paso de Robles

3. The proposed development plan will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the persons residing or working in the neighborhood, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City;

4. The project will not have a significant effect on the environment provided the mitigation measures as identified within the initial study are implemented, and a Negative Declaration shall be prepared for the project.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of El Paso De Robles does hereby:

a. Rescind Resolution 89-52 which granted approval to Planned Development 89001 for the development of a neighborhood commercial center on the southwest corner of Niblick and South River Roads; and

b. Approve Planned Development 89013 subject to the following conditions:

CONDITIONS TO BE IN COMPLIANCE AT ALL TIMES:

1. This Planned Development authorizes the construction and establishment of the following:

- a. Supermarket (42,630 sf);
- b. "Drug" store (25,822 sf);
- c. Commercial shops (30,625 sf);
- d. Three freestanding building pads which include a 2,500 sf drive-through restaurant, and a 4,000 sf and 6,000 sf potential retail or sit-down restaurant facility(s)

2. Any amendments to the approved detailed development plans shall be subject to subsequent recommendations of the Architectural Review Committee, Project Area Committee, and Planning Commission to the City Council for final approval, unless otherwise specified within these conditions of approval.

3. The site shall be kept in a neat manner; landscaping, including street trees, shall be maintained in a viable condition at all times.

4. The project shall be constructed so as to substantially conform with the exhibits and conditions established by this resolution.

5. The following exhibits are adopted by this resolution and are either attached or kept on file in the Community Development Department:

City of El Paso de Robles

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Site Plan
B	Grading and Drainage Plan
C	Southwestern satellite pad grading detail
D	Landscaping Plan and Plant Pallet
E1-E3	Building Elevations (Market, Major Store, and Shop Buildings A, B & C)
F	Color and Material Board*
G	Master Sign Plan Criteria
H	Wall Plan - Location detail
I	Resolution for CUP 89023*
J	Utility Plan

NOTE: Attached Exhibits are reductions. Large scale plans are on file in the Community Development Department. * Indicates plans/materials are on file in the Community Development Department.

STANDARD CONDITIONS TO BE COMPLETED PRIOR TO OCCUPANCY:

PUBLIC WORKS DEPARTMENT

6. The applicant shall pay the following fees prior to building permit issuance: Engineering plan checking, Construction Inspection and any outstanding annexation fees for public safety impact and bridge development.

7. Approval of this project does not guarantee availability of sewer service. Availability of service for each lot to be determined on a first come, first serve basis at the time of application for a building permit.

8. All improvement plans shall be prepared by a Registered Civil Engineer and shall be submitted to the City Engineer for approval. The improvements shall be designed and placed to City of Paso Robles standards and specifications.

9. A Preliminary Soils Report shall be prepared for the property to determine any subsurface problems and shall make recommendations regarding grading of the proposed site. A final report shall be made prior to the final inspection and shall

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certify that all grading was inspected and approved and that all work was done according to the plans and preliminary report.

10. The applicant shall submit a composite utility plan signed as approved by a representative for each public utility.

11. The applicant shall install all utilities (sewer, water, gas, electricity, cable TV, and telephone) underground. Street lights shall be installed at locations as required by the City Engineer. All existing overhead utilities adjacent to or within the project shall be relocated underground.

12. All utilities (excepting water and sewer) shall be extended to the boundaries of the project, unless waived by the City Engineer.

13. All underground construction shall be completed and approved by the City and the public utility companies, and the subgrade shall be scarified and compacted, before paving the streets.

14. All property corners shall be staked for construction control and shall be promptly replaced if destroyed.

15. Prior to paving any street, the water and sewer systems shall successfully pass a pressure test. The sewer system shall also be tested by means of a mandrel and televised inspection with a copy of the video tape provided to the City.

16. Building permits shall not be issued until the water system has been completed and approved, and a based access road installed sufficient to support the City fire trucks.

17. A complete Grading and Drainage Plan shall be included with the improvement plans.

18. All graded areas shall be protected by hydroseeding or approved equal. Soil conservation measures shall be maintained during construction to prevent drainage, erosion, or other damage to adjacent property.

19. Only when exterior retaining walls necessary for the creation of building pads are shown on the Grading Plan, all such walls shall be completed before approval of the rough grade and prior to issuance of any certificate of occupancy.

20. No buildings will be occupied until all public improvements are completed and accepted by the City Engineer and accepted by the City Council for maintenance.

21. The applicant shall plant approved street trees, per landscaping plan to be approved by the Architectural Review Committee, throughout the project within the easement provided.

City of El Paso de Robles

22. The applicant shall install all necessary street name and traffic signs as well as all necessary traffic striping.

23. A blackline clear Mylar (0.4 MIL) copy and a blue line print of as-built improvement plans, signed by the registered engineer who prepared said plans, shall be provided to the City Engineer prior to the Final inspection.

24. The applicant shall construct curbs, gutters, sidewalks and paving (to make a smooth transition from the lip of the gutter to the centerline of the street) along all public street frontages as required by Municipal Code Sections 11.12.031 and 11.20.040.

25. All existing Oak trees, shall be preserved for those reasons specified in Ordinance no. 553 (Oak Tree Preservation), excepting those which are approved for removal through site specific conditions of project approval. Oak trees which are approved for removal through site specific conditions shall be replaced in accordance with Ordinance 553.

COMMUNITY DEVELOPMENT DEPARTMENT

26. All improvements, including landscaping and irrigation systems, approved by the Architectural Review Committee, shall be installed prior to occupancy. (This condition does not preclude phased development).

27. On Commercial or Industrial zoned properties, outdoor storage of equipment or materials is not permitted unless a conditional use permit is obtained for such storage.

28. Construction, alteration and occupancy of all structures shall conform to the Uniform Building, Fire and related Codes (1985 edition) and National Electrical Code (1984 edition) as adopted by Ordinance 515 N.S.

29. The applicant shall obtain a Certificate of Occupancy for all structures prior to their occupancy (Ordinances 525 and 538 N.S.).

POLICE DEPARTMENT

30. All structures shall install burglar prevention devices as required by Ordinance 547 N.S. (Building Security).

FIRE DEPARTMENT

31. Fire hydrants, both off-site and on-site, shall be installed as required by the Fire Chief.

SITE SPECIFIC CONDITIONS TO BE COMPLETED PRIOR TO OCCUPANCY:

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PUBLIC WORKS DEPARTMENT:

32. The developer shall install a traffic signal at Niblick and South River Roads. The signal design shall be done by a registered traffic engineer in accordance with City Standards. The developer shall be entitled to reimbursement for 25 percent of the signal installation by the adjacent tract to the south (Tract 1508) when the fee is paid for said tract. The traffic signal shall be fully operational prior to opening of shopping center. Adequate transitions to the fully improved intersection, including storm drain facilities shall be installed in a manner subject to approval of the City Engineer.

33. The main entrance on Niblick Road shall be signalized. The traffic signal shall be intertied/synchronized to the signal at Niblick and South River Roads to the satisfaction of the City Engineer.

34. Additional right-of-way along Niblick Road to encompass traffic facilities and detector loop shall be offered for dedication to the City for public street purposes.

35. The developer shall improve Niblick and South River Roads to the following standards:

a. Frontage of parcel map, Lots 1 through 7, excluding remainder, shall be improved to full standard one half arterial street section including curb, gutter and sidewalk, raised median and 12 foot travel lane, with a 4 foot A.C. shoulder and 4 foot based shoulder. Intersection at Niblick shall provide through lanes and left and right turn pockets with adequate tapers. Road bed shall be graded to its ultimate width.

b. South River Road south of Niblick Road, excluding parcel map Lots 1 and 4, be widened to 32 foot A.C. travel way with 4 foot based shoulders. The intersection at South River Road shall provide through lanes and left and right turn pockets with adequate tapers. Road bed shall be graded to its ultimate width.

36. The developer shall form a maintenance entity to assume responsibility of on-site sewer facilities, including lift stations, water system, storm drain facilities, landscaping and other site maintenance. The form of this agreement shall be subject to the approval of the City Attorney.

37. The property owner shall offer to dedicate a minimum of 60 feet of right-of-way and appropriate intersection cut-off for the future extension of Nicklaus Street, from the existing South River Road to the realigned South River Road.

City of El Paso de Robles

38. The developer shall install water facilities in accordance with the updated Water Maser Plan. The water main shall be tied into the existing main in South River Road to provide a looped system (the looped system shall include water lines within both Niblick and South River Roads). The water system shall be extended to the parcel map boundaries.

39. Additional water lines and fire hydrants shall be installed within the driveway fronting the major tenant stores in a manner to be approved by the City Engineer and Fire Chief.

40. The developer shall reconstruct portions of South River Road to provide access to existing properties which utilize South River Road. The property owner shall offer to dedicate right-of-way necessary to reconnect the existing South River Road to the realigned South River Road in a manner to be approved by the City Engineer.

41. A site grading and drainage study shall be designed by a registered Civil Engineer in accordance with City Standards. Grading shall be in conformance with Chapter 70 of the Uniform Building Code, "Engineered Grading."

42. The developer shall reconstruct the existing intersection at South River Road and Niblick Road to provide a smooth transition on Niblick Road for through traffic. The actual design of the intersections between the old South River Road and Niblick Road (both north and south of Niblick Road) shall be designed and improved in a manner subject to the City Engineer.

43. The subdivider shall install curb and gutter along the easterly side of South River Road and curb, gutter and sidewalk along the northerly side of Niblick Road adjacent to the PG & E Distribution Substation.

44. The subdivider shall construct a raised median within Niblick Road in such a manner so as to prohibit left hand turning movements in or out of the most westerly drive approach on Niblick Road. This median shall be designed in a manner subject to the approval of the City Engineer.

COMMUNITY DEVELOPMENT DEPARTMENT:

45. The developer's street improvement plans shall include raised, decorative/landscaped medians within both Niblick and South River Roads. The landscaping treatment proposed shall be subject to City Council approval upon recommendations by the Architectural Review Committee and Planning Commission, without need for a public hearing. The applicant shall petition the City for the formation of a Benefit Maintenance District to cover the maintenance of these medians, in a manner subject to the approval of the City Attorney.

City of El Paso de Robles

46. The applicant shall provide and maintain a minimum of 466 parking spaces for the center.

47. Driveways shall be designed with a street curb design rather than concrete driveway approaches.

48. Landscape islands/tree wells shall be provided within the parking area at spacing intervals of one tree/planter every 50 feet.

49. The masonry block wall proposed along the northern and western property boundary shall be of split face concrete block design. This wall shall be "stepped down" in height, as necessary, as it approaches South River Road and Niblick Road so as to maintain adequate sight distance for turning vehicles and shall be located in relation to property boundaries as shown on the attached exhibits.

50. The specific locations of PG&E transformer vaults behind the main buildings shall be subject to Architectural Review approval prior to issuance of building permits. Prior to Planning Commission and City Council review of new development on the individual satellite building pads, the location of PG&E transformers shall be accurately placed on development plans and confirmed by PG&E). These transformers shall be adequately screened from public view similar to trash enclosures.

51. The proposed retaining wall at the southwestern satellite building pad shall be redesigned with terraced retaining walls consistent with Exhibit C. The walls shall be separated by earthen areas which shall be fully landscaped in a manner subject to approval by the Architectural Review Committee (ARC). Detailed wall and landscaping plans shall be approved by ARC prior to issuance of grading or building permits.

52. All buildings shall be equipped with automatic fire sprinkler systems, in a manner subject to approval of the Building and Fire Departments.

53. All proposed tower structures shall be designed so as to remain uninhabited at all times through prohibition of access, shall be fire sprinklered and be free of mechanical or other equipment. The design of these towers shall be subject to review by the Fire Department prior to issuance of building permits.

54. Detailed plans for the development of the three (3) individual satellite building pad areas at the southern portions of the site shall be subject to separate City Council consideration, and subject to separate public hearings, upon recommendations from the Architectural Review Committee and Planning Commission.

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The development of these pads shall in substantial conformance with the conceptual development size and intensity as is shown on the current development plan. A substantial change in size or intensity may constitute a requirement for additional environmental review/study.

All perimeter landscaping shall be installed for these parcels in conjunction with the development of the center; the vacant pads shall, at minimum, be hydroseeded with the City-approved hydroseed mix.

55. The placement of wall mounted signs, banners or any other form of advertisement display shall be prohibited from being placed on the west and north building elevations (the rear of the buildings), or on any portion or side of the tower structures.

56. All tenant signs within the center shall be in compliance with the Master Signage Plan (attached as Exhibit H) with the following stipulations applying:

a. All tenant signs must conform with approved Master Signage Plan for the Center with regard to placement, color, materials and size. Signs which are in conformance with this plan shall not require Architectural Review Committee (ARC) approval.

b. The Center shall be limited to a maximum total of four (4) freestanding signs as follows:

- One (1) Center identification sign to be no higher than 25 feet in height and which shall be subject to review and approval of the ARC.
- Three (3) freestanding identification signs (intended for use by the satellite building pads), to be no higher than 6 feet each, and which shall be subject to review by the ARC at the time of review of development plans for those pads. NOTE: These sign heights are established as maximums, but final design height may be less as a result of ARC review.

57. All heating, air conditioning and associated ventilation equipment shall be screened whether roof mounted or ground mounted. The proposed parapet/fascia screening method for the roof mounted equipment shall be continued along all building elevations so as to be screened from all nearby properties.

58. The developer shall install a uniform color-coat across the entire roof surface as well as all protruding roof mounted equipment using a neutral color such as beige or gray, with the

City of El Paso de Robles

intent to minimize visual impact from properties located at higher elevations than the center.

59. The property owner/developer shall enter in to an agreement with the City to participate in a future "transportation study" district for the purpose of contributing towards the cost of a future Transportation Management Plan for the southeast quadrant of the City. Said cost participation shall be based on the pro-rata share of the center's traffic generation. The form and content of this agreement shall be subject to the City Attorney's approval. Said cost participation shall be based on the pro-rata share of the center's traffic generation but shall not exceed \$5,000.

60. The developer shall submit detailed design elements and location design plans for a covered vehicle pick-up/drop-off shelter which would be subject to approval by the City Engineer and the Architectural Review Committee prior to issuance of building permits. The architectural treatment shall be commensurate with the basic building design and materials used elsewhere in the center.

61. Additional archaeological testing shall occur prior to commencement of development which would serve to further identify potential necessary mitigation measures, of which the implementation of any identified mitigation measures would be subject to the discretion of the City Engineer.

An archaeologist shall monitor grading occurring in conjunction with project development. The developer shall pay for the archaeologist's services. Grading shall be halted in the event that significant archaeological resources are discovered. Grading may be resumed upon determination and implementation of appropriate mitigation measures as recommended by the archeologist and approved by the City Engineer.

62. The 2,500 square foot satellite building pad is conceptually approved for a drive-through fast food restaurant facility of which detailed plans shall be reviewed at subsequent public hearings by the Planning Commission and City Council.

63. Detailed plans (elevations, materials, location) for the recycling facility designated on the plans within the parking area shall be subject to review and approval of the Architectural Review Committee prior to commencement of recycling operations.

64. The developer shall reduce the slope ratio of the proposed fill along the western project boundary to a minimum of a 3:1 fill (4:1 slope is recommended if it will not interfere with healthy trees). The fill shall be rounded/contoured so as to create a natural slope transition to the river.

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65. The developer, in addition to hydroseeding the western fill bank, shall plant indigenous trees which shall be provided with an automatic irrigation system. The species, spacing and method of irrigation shall be in a manner subject to the approval of the Architectural Review Committee.

66. The applicant shall incorporate bike racks within the parking area of the project. These racks shall be placed both in the front and rear parking areas of the center and shall be placed in a manner subject to the approval of City staff.

67. The applicant shall be permitted to remove the following oak trees in conjunction with the project development:

- (1) 30-inch
- (1) 15-inch
- (1) multi-trunk 40-inch

These oaks shall only be removed after the issuance of grading permits.

These oaks shall be replaced by specimen oak trees (minimum of 1-1/2 inch diameter trunk size) at a ratio of two trees for every one tree removed. The replacement oaks may be incorporated into the project landscaping.

PASSED AND ADOPTED THIS 16th day of January, 1990 by the following roll call vote:

AYES: Russell, Conway and Martin

NOES: None

ABSENT: Reneau

ABSTAIN: None

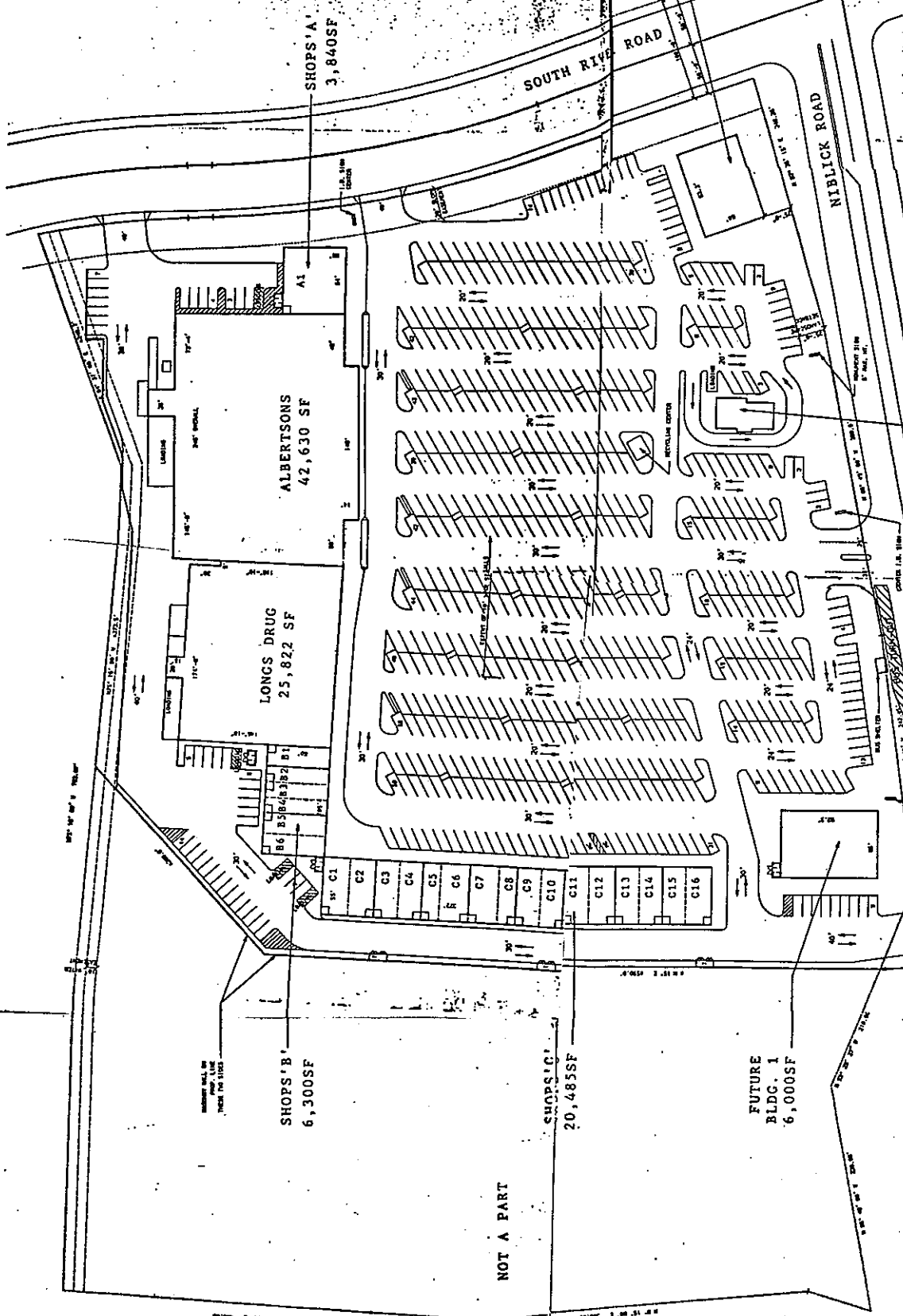

MAYOR STEVEN W. MARTIN

ATTEST:


JERRY BANKSTON, CITY CLERK

NOTE: Any judicial review of this decision must be made within the time set forth in Code of Civil Procedure Section 1094.6.

SUMMARY
 LAND: 1.44 ACRES
 BUILDING AREA: 25,500 SF
 LAND TO BLDG. RATIO: 1:1.70
 PARKING REQUIRED: 466 SPACES
 PARKING PROVIDED: 638 SPACES
 PARKING RATIO PROVIDED: 1.37
 TOTAL PROJECT COST: \$47,700,000
 TOTAL PROJECT VALUE: \$50,000,000
 TOTAL PROJECT PROFIT: \$2,300,000
 TOTAL PROJECT ROI: 4.6%
 TOTAL PROJECT IRR: 11.0%
 TOTAL PROJECT NPV: \$1,000,000
 TOTAL PROJECT PV: \$1,000,000
 TOTAL PROJECT FV: \$1,000,000
 TOTAL PROJECT PV: \$1,000,000
 TOTAL PROJECT FV: \$1,000,000



A PROJECT FOR:
THE HALFERTY COMPANY
 200 SOUTH LOS ROBLES AVE., SUITE 200
 PASADENA, CALIFORNIA 91101
 818 / 405-0956
 213 / 681-0456

WOODLAND PLAZA
 NORTHWEST CORNER OF
 NIBELICK ROAD & SOUTH RIVER ROAD
 PASO ROBLES, CALIFORNIA

EXHIBIT "A"

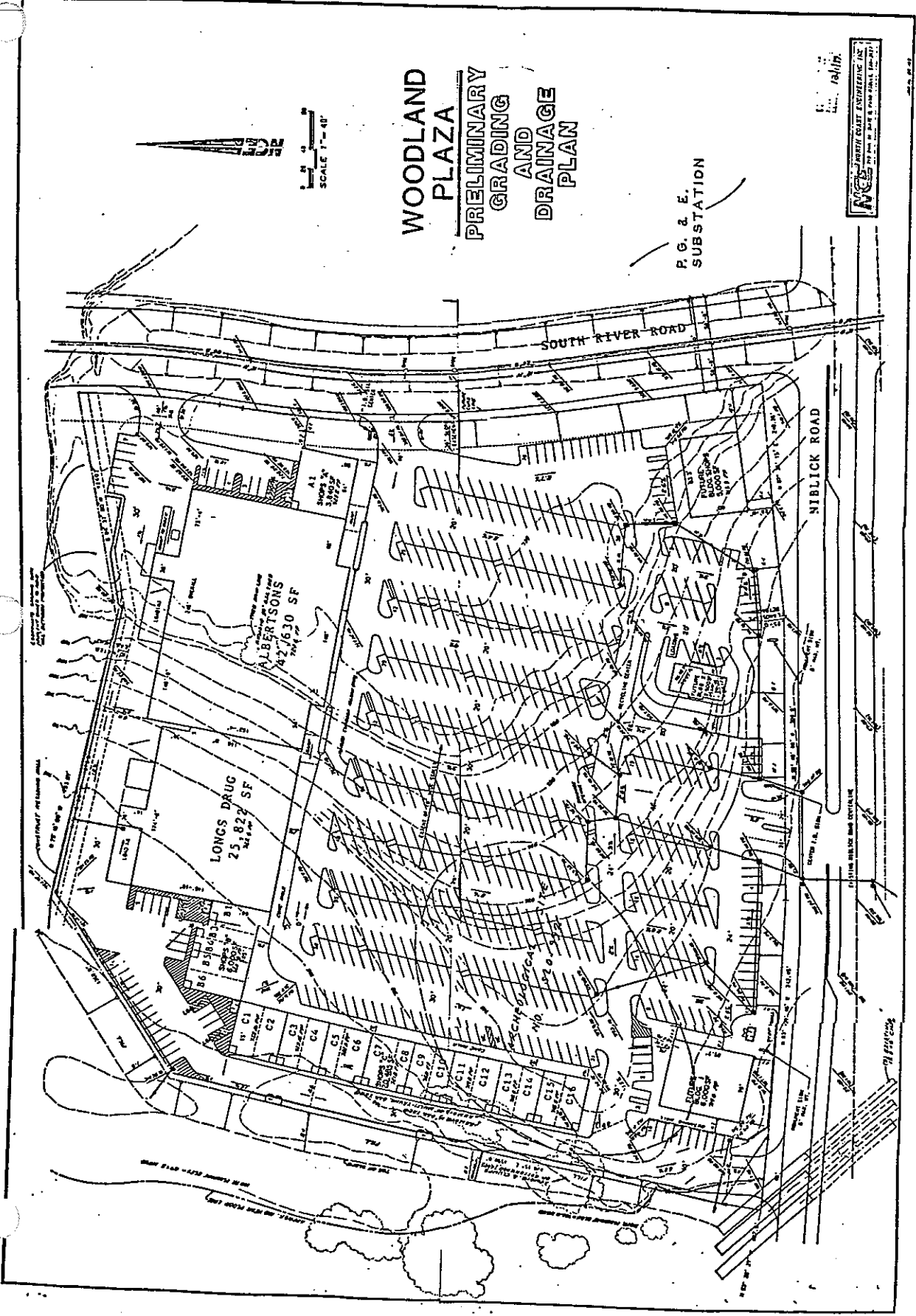
**PD 89013
 PARCEL MAP PR 89-418
 CUP 89023**

**WOODLAND
PLAZA
PRELIMINARY
GRADING
AND
DRAINAGE
PLAN**

P. G. & E.
SUBSTATION

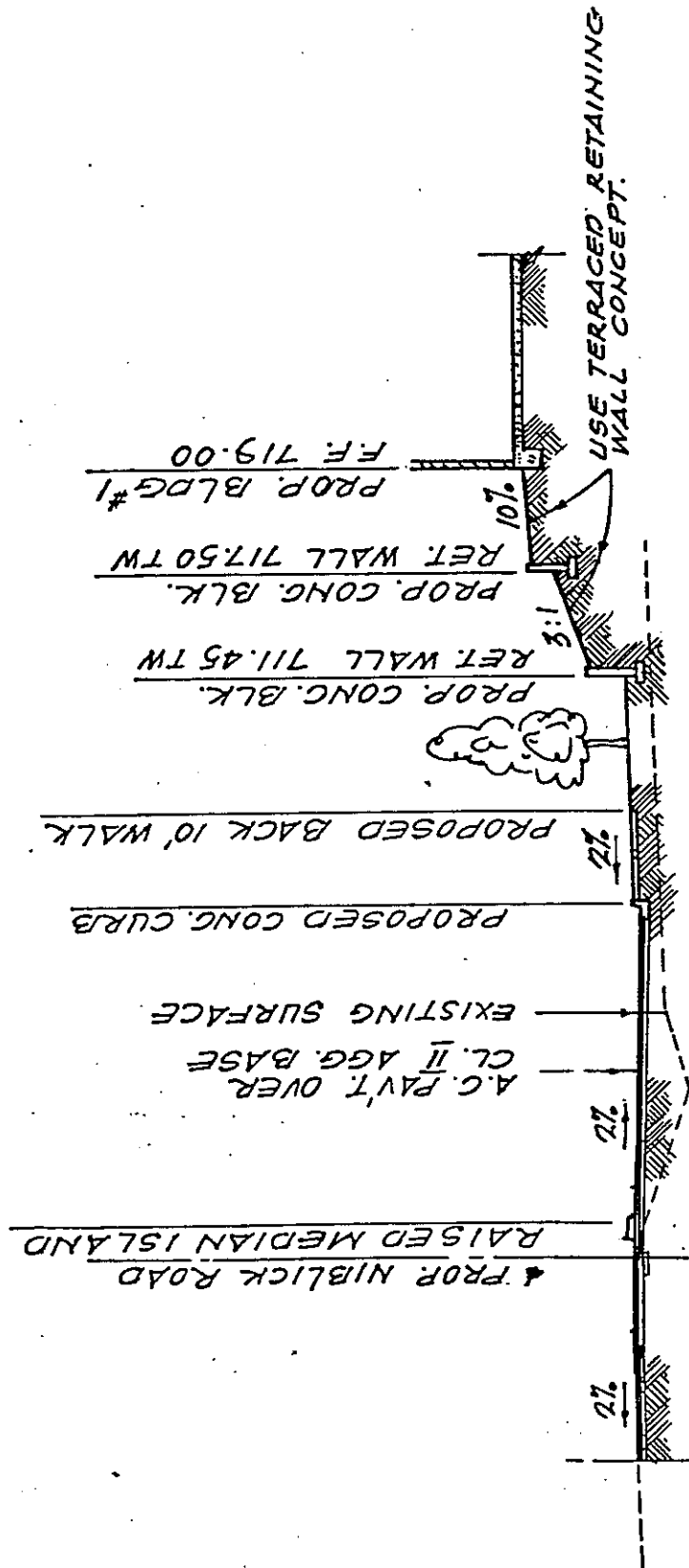


SCALE 1"=40'



**PD 89013,
PARCEL MAP PR 89-418
CUP 89025**

EXHIBIT "B"



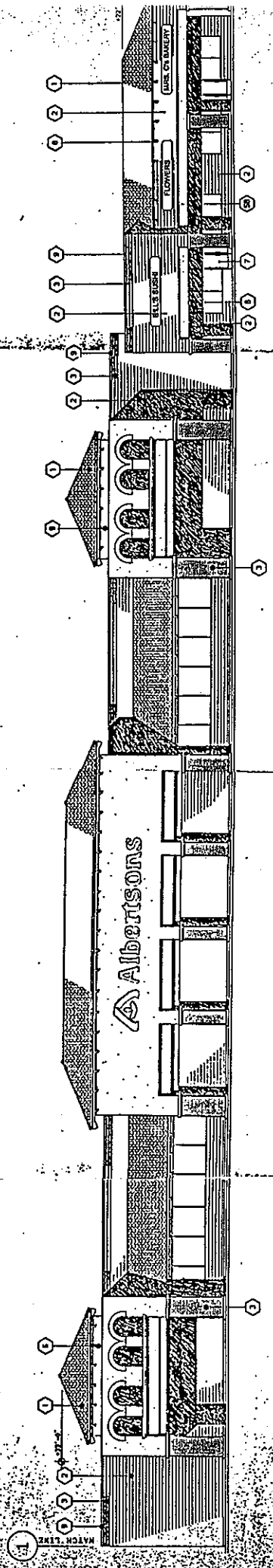
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PROFILE OF PROPOSED IMPROVEMENTS

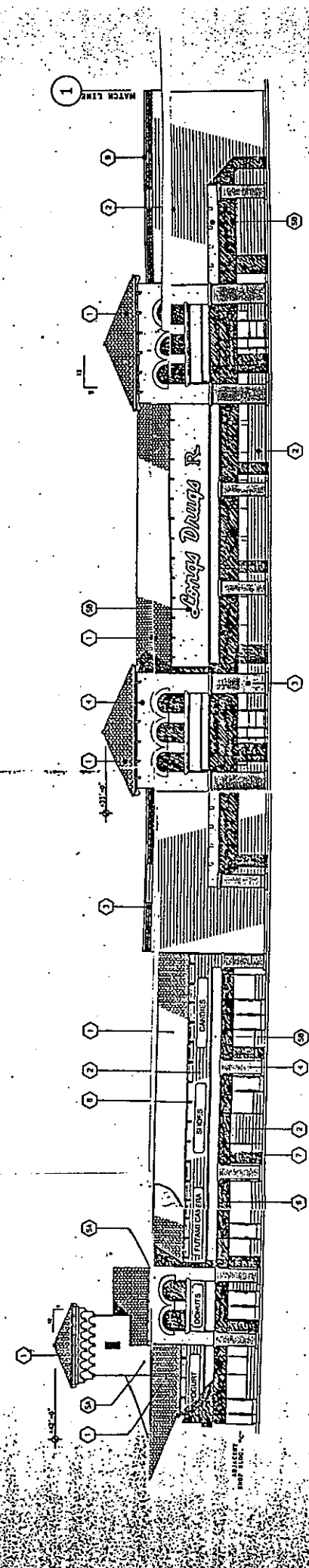
SCALE 1" = 20'

PD 89013
 PARCEL MAP PR 89-418
 CUP 89023

EXHIBIT "C"



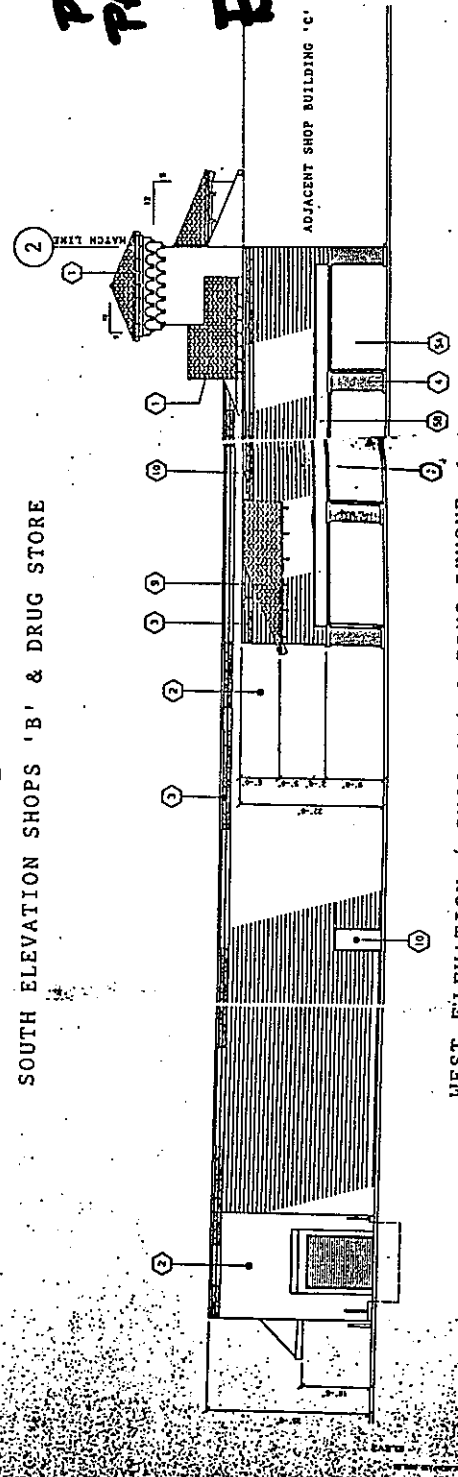
SOUTH ELEVATION MARKET & SHOPS 'A'



SOUTH ELEVATION SHOPS 'B' & DRUG STORE

PD 89013, CUP 84023
 PARCEL MAP PR 89-418

EXHIBIT 'E-1'



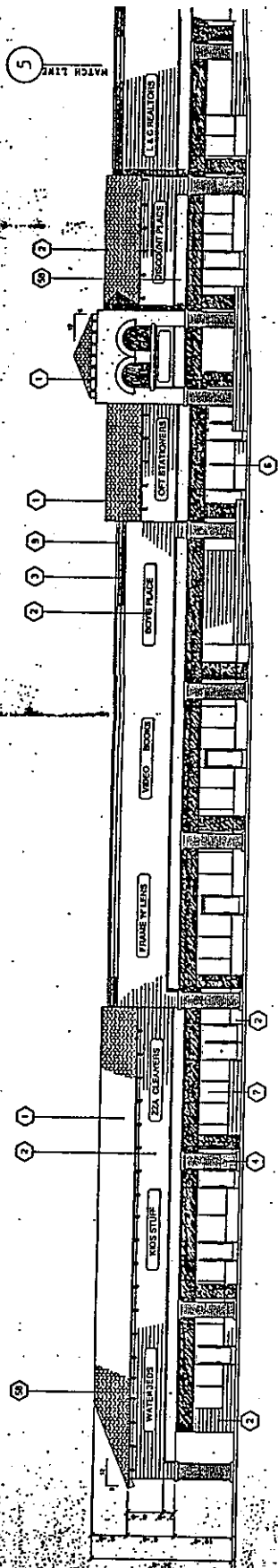
WEST ELEVATION / SHOS 'B' & DRUG BEYOND

SCALE: 1/8" = 1'-0"

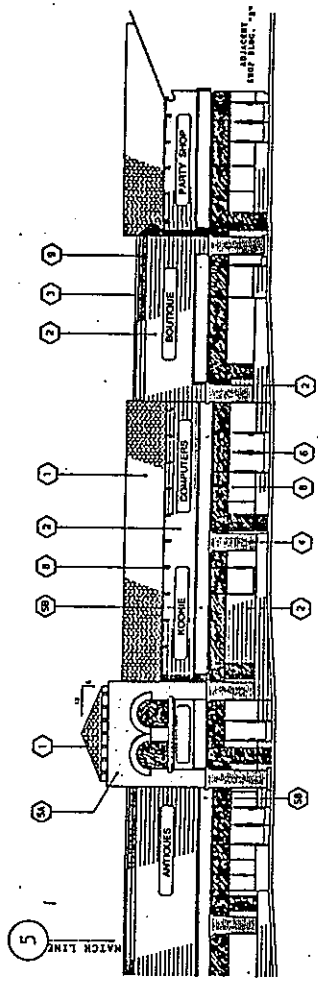
ELEVATIONS
 WOODLAND PLAZA
 ARCHITECTURAL FIRM
 1400 DALLAS CALIFORNIA

DATE: 10/11/82
 DRAWING NO: 1418

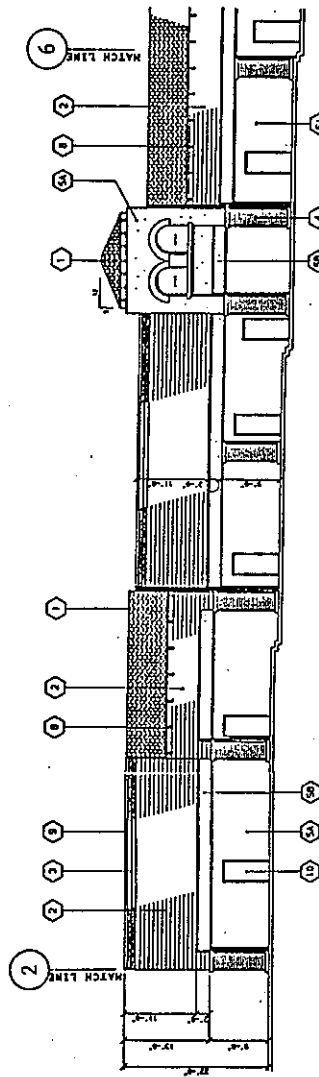
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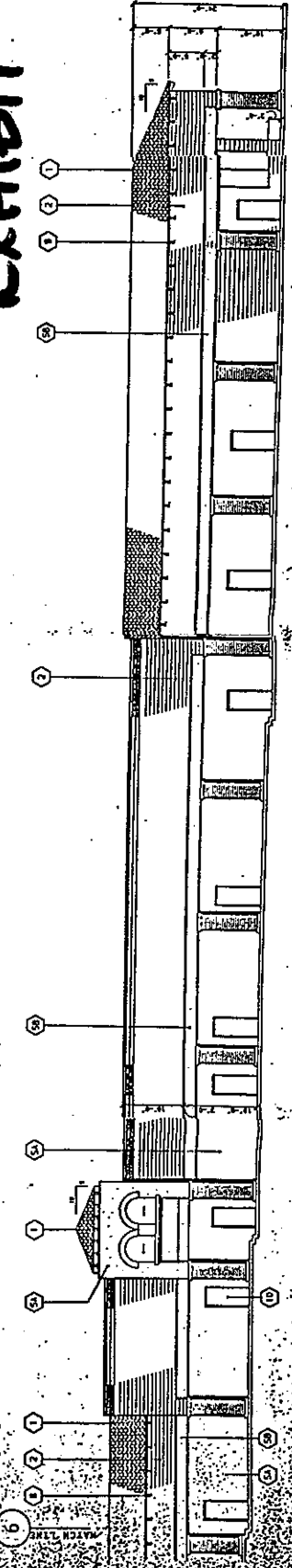
EAST ELEVATION / SHOP BUILDING 'C'



EAST ELEVATION / SHOP BUILDING 'C'



WEST ELEVATION / SHOP BUILDING 'C'



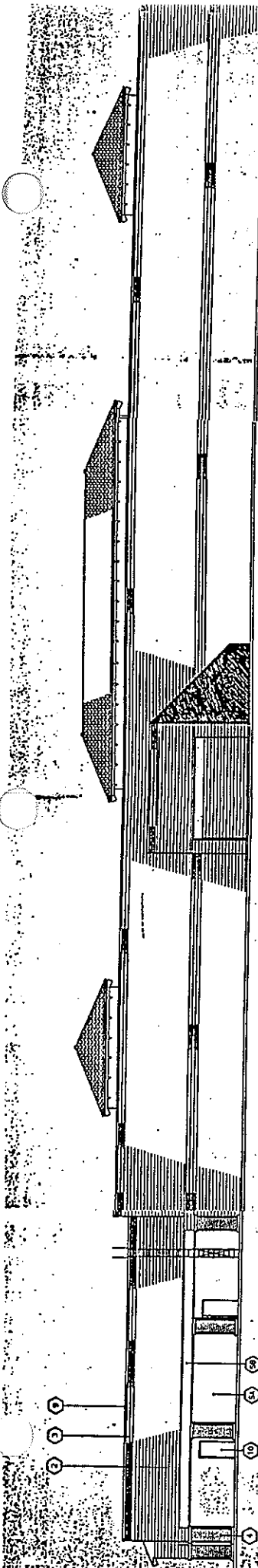
WEST ELEVATION / SHOP BUILDING 'C'

EXTERIOR FINISH SCHEDULE

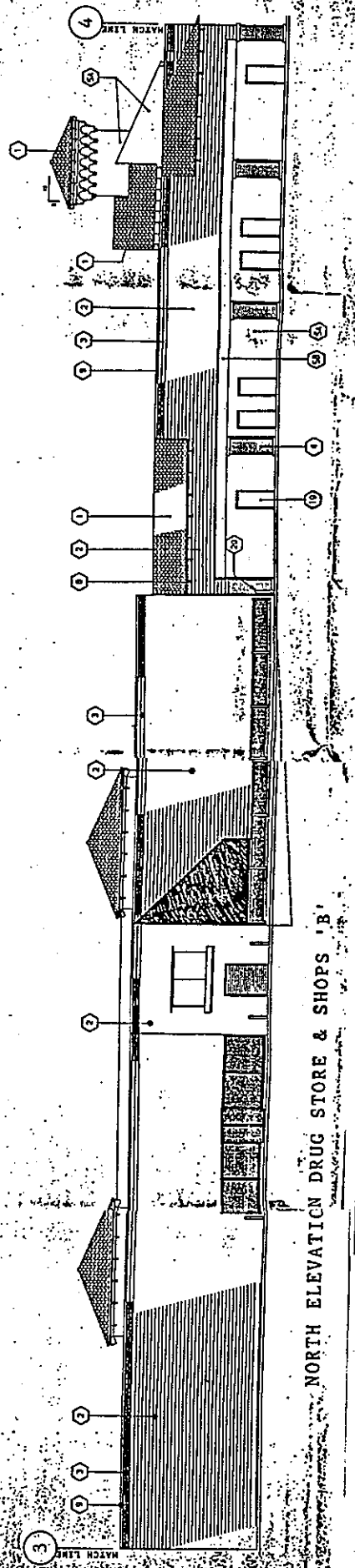
1. 6x12 SHIP LUGS OVER THE LAUREL OF ONE FACE
PAINTED WITH AN OIL, SUIZEE FINISH COAT
AND THE UNDERCOAT "SUPERIOR" COLOR.
2. 6x12 SHIP LUGS MULTI-FACE PAINT
3. 6x12 SHIP LUGS MULTI-FACE PAINT
AZULEN PAINT AT TOP OF EXTERIOR WALLS
6x12 SHIP LUGS MULTI-FACE PAINT
4. 6x12 SHIP LUGS MULTI-FACE PAINT
AS MANUFACTURED BY LAYNE, BROS., INC.
5. EXTERIOR CORNER ON SHIP PAINT
PAINT TO MATCH ADJACENT SURFACE, "CAMPBELL"
6. 1/2" x 1/2" x 1/2" SHIP PAINT
PAINT TO MATCH ADJACENT SURFACE, "CAMPBELL"
7. 1/2" x 1/2" x 1/2" SHIP PAINT
PAINT TO MATCH ADJACENT SURFACE, "CAMPBELL"
8. 1/2" x 1/2" x 1/2" SHIP PAINT
PAINT TO MATCH ADJACENT SURFACE, "CAMPBELL"
9. 1/2" x 1/2" x 1/2" SHIP PAINT
PAINT TO MATCH ADJACENT SURFACE, "CAMPBELL"
10. 1/2" x 1/2" x 1/2" SHIP PAINT
PAINT TO MATCH ADJACENT SURFACE, "CAMPBELL"

PD 89013, CUP 89023
PARCEL MAP PR 89-418

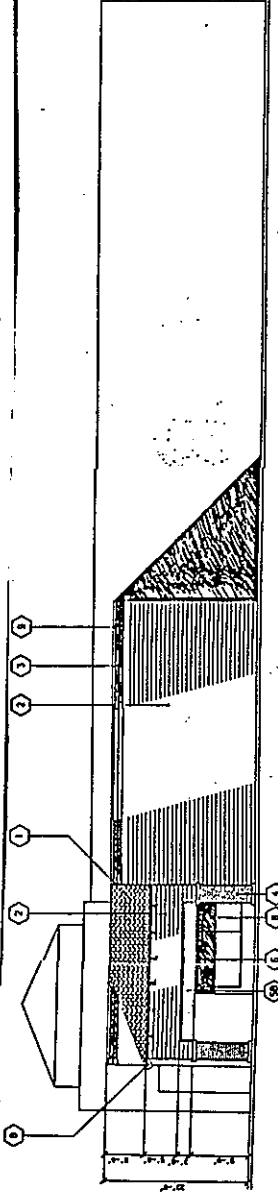
EXHIBIT "E-2"



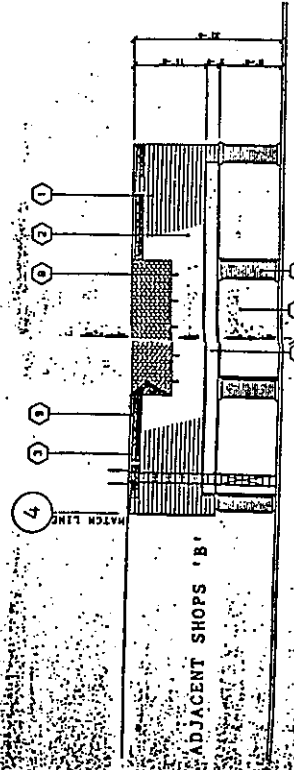
NORTH ELEVATION / SHOP BUILDING 'A' & MARKET



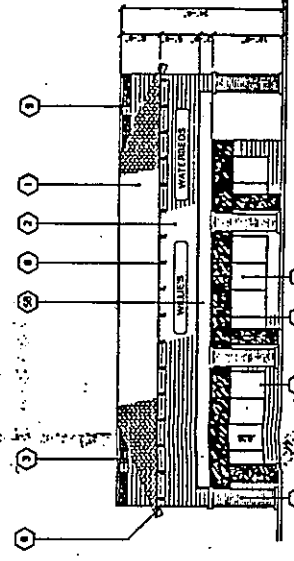
NORTH ELEVATION DRUG STORE & SHOPS 'B'



EAST ELEVATION / SHOP BUILDING 'A' & MARKET BEYOND



NORTH ELEVATION / SHOP BUILDING 'C'



SOUTH ELEVATION / SHOP BUILDING 'C'

PD 89013
 PARCEL MAP TR 89-418
 LUP 89023

EXHIBIT "E-3"

MCC
 McCellan/Cruz/Caylord & Associates
 Architects • Planners • Interiors

ELEVATIONS
 WOODLAND PLAZA
 ACTIVITTY CENTER
 10000 WOODLAND BLVD
 WOODLAND, CA 95694

SCALE: 1/8" = 1'-0"

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EXHIBIT "F"

Exhibit "F" - Material and Color Board, is on file in the
Community Development Department

PD 89013

Project: A COMMERCIAL PROJECT
Niblick Road and South River Road
Paso Robles, California
MCG Job No. 87284.

Exhibit G

Date: 16 January 1989

Revision:

A. INTRODUCTION

The intent of this Sign Criteria is to provide the guidelines necessary to achieve a visually coordinated, balanced and appealing signage environment at the southwest corner of Niblick Road and South River Road, Paso Robles, California.

Performance of this Sign Criteria shall be rigorously enforced and any nonconforming signs shall be removed by the tenant or his sign contractor at their expense, upon demand by Owner.

Exceptions to these standards shall be reviewed by the Landlord's Architect. However, based upon our field experience, deviations will generally result in serious inequities between tenants. Accordingly, the Owner, through the Architect, will retain full rights of approval of any sign used in the center.

B. GENERAL OWNER/TENANT REQUIREMENTS

1. Each tenant shall submit to the Architect or landlord for written approval, five (5) copies of the detailed shop drawings of his proposed sign, (one in full color) indicating conformance with the sign criteria herein outlined, Send to:

MCG Architects
199 So. Los Robles Avenue, Suite 400
Pasadena, California 91101-2457
(818) 793-9119 or (213) 681-8461

2. The tenant shall submit a signed drawing approved by the Landlord's Architect to the City of Paso Robles Design Review Board for approval prior to the start of any sign construction or fabrication.
3. The tenant shall pay for all signs, their installation (including final connection, transformers and all other labor and materials) and maintenance.
4. The tenant shall obtain all necessary permits.
5. The tenant shall be responsible for fulfillment of all requirements of this sign criteria.

6. The Owner shall provide primary electrical service terminations at the interior of wall or canopy located in the center of the allowed signage area.
7. It is the responsibility of the tenant's sign company to verify all conduit and transformer locations and service prior to fabrication.
8. The location of all signs shall be per the accompanying design criteria
9. One "sign space" shall be allowed for each tenant (except as otherwise approved in writing). The tenant shall verify his sign location and size with Owner prior to fabrication.
10. All shop tenants are required to have a sign per the accompanying design criteria.
11. Address numbers shall be applied to each store by the tenant's sign company during regular course of construction, where applicable.
12. Special signs which vary from this sign criteria must first be approved by the Owner and respective City Design Review Board.
13. The maximum allocated sign area for the aggregate of all permanent signs shall be within the allowable area provisions of the Paso Robles sign ordinance and this sign criteria.
14. **NOTE!** No sign shall be constructed until approved building permits from City Planning and Building and Safety Departments are received.

C. GENERAL SIGN SPECIFICATIONS

1. No exposed raceway, crossovers, conduits, conductors, transformers, etc., shall be permitted.
2. All lettering shall be restricted to the "net sign area" and have a matte finish. See accompanying design criteria for specific information.
3. No projection above or below the "net sign area" will be permitted (except as otherwise approved in writing).
4. All signs and their installation must comply with all local building and electrical codes and bear a U.L. label placed in an inconspicuous location.
5. For purposes of store identification, tenant will be permitted to place upon each entrance to its demised premises not more than 144 square inches of gold leaf or decal application lettering not to exceed 2 inches in height, indicating hours of business, emergency telephone, etc. The number and letter type shall be subject to Architect's approval. (See Door Signage Design Criteria, Page 5 .)
6. Typical shops Internally illuminated, box cabinet sign specifications with wood trim surround and 4" chamfered (45° clipped) corners:

- a. Shop signs shall be attached in designated areas only and may not exceed 60% of the leasehold width. The box cabinet sign to be centered on fascia horizontally and vertically.
 - b. The face of the sign-can shall be constructed of acrylic plastic (3/16" thick minimum) and fastened to the metal can in an approved manner. Plastic sheet seam joints shall be by electric weld only.
 - c. The exposed neon sign-can shall be enclosed in metal with sign face to be colored acrylic plastic (3/16" thick minimum) and fasten to metal can in an approved manner.
 - d. The "copy" (letter type), logos and their respective colors shall be submitted to the Owner and Architect for written approval prior to fabrication.
 - e. No more than two rows of letters are permitted, provided their maximum total height does not exceed the height of the "net sign area".
 - f. Tenants shall display only their established trade name of their basic product name, e.g. "John's Jeans", or combination thereof.
 - g. Internal illumination of shops signage to be 800 milli-amp high output fluorescent box cabinet sign installed and labeled in accordance with the "National Board of Fire Underwriters Specifications". All box cabinet signs to have 4" chamfered (45° clipped) corners
 - h. Internal illumination of Market and Major Tenant to be 60 milli-amp neon individual letters sign installed and labeled in accordance with the "National Board of Fire Underwriters Specifications". No limit as to the length of Market and Major Tenant signs. A maximum height of 36" is allowed.
 - i. Sign cabinet to have service access to lamps, ballasts and wiring.
7. Color of exposed portions of box cabinet sign and wood frame surround to be painted to match "Ameritone" no. 2H8P, 'Cloversweet'.
 8. All penetrations of the building structure required for sign installation shall be sealed in a watertight condition and shall be patched to match adjacent finish.

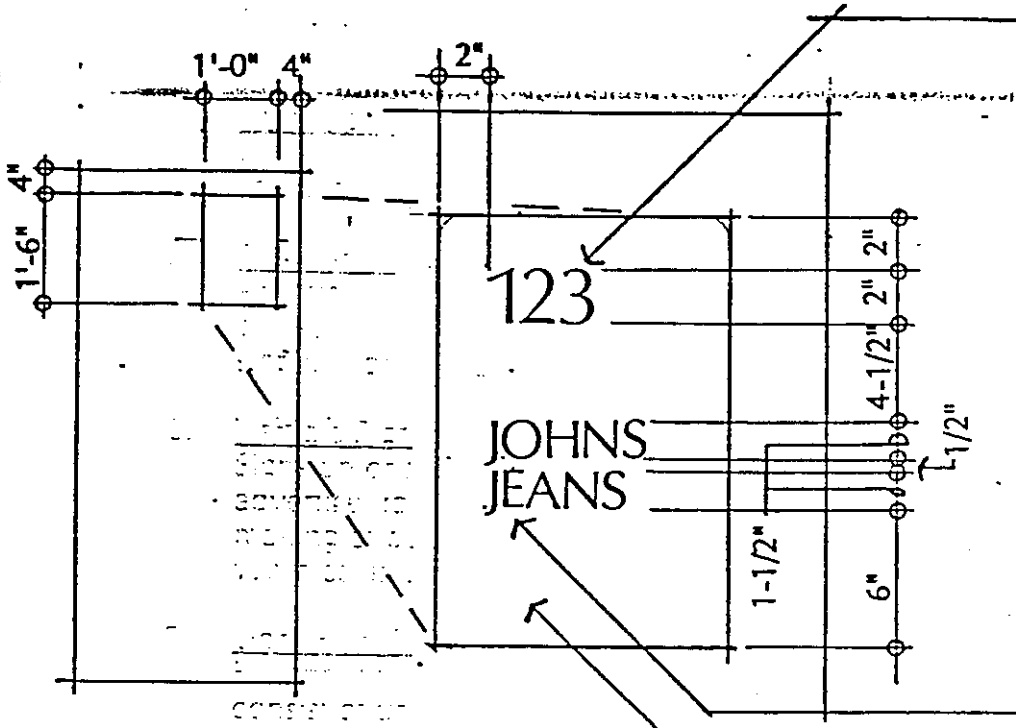
D. PROHIBITED SIGNS

1. Signs Constituting a Traffic Hazard:
No person shall install or maintain a cause to be installed or maintained any sign which simulates or imitates in size, color, lettering or design any traffic sign or signal, or which makes use of the words "STOP", "LOOK", "DANGER", or any other words, phrases, symbols, or characters in such a manner to interfere with, mislead or confuse traffic.
2. Immoral or Unlawful Advertising:
It shall be unlawful for any person to exhibit, post or display cause to be exhibited, posted or displayed upon any sign, anything of an obscene, indecent, or immoral nature or unlawful activity.

3. Signs or Doors, Windows or Fire Escapes:
No window signs will be permitted except as noted herein. No sign shall be installed, relocated, or maintained so as to prevent free ingress to or egress from any door. No sign of any kind shall be attached to a stand pipe except those signs as required by code or ordinance.
4. Animated, Audible or Moving Signs:
Signs, consisting of any moving, swinging, rotating, flashing, blinking, scintillating, fluctuating or otherwise animated light are prohibited.
5. Off-Premise Signs:
Any signs, other than a directional sign, installed for the purpose of advertising a project, event, person or subject not related to the premises upon which said sign is located, is prohibited.
6. Vehicle Signs:
Signs on or affixed to trucks, automobiles, trailers, or other vehicles which advertise, identify, or provide direction to a use or activity not related to its lawful making of deliveries of sales or merchandise or rendering of services from such vehicles, is prohibited.
7. Light Bulb Strings and Exposed Tubing:
External displays, other than temporary decorative holiday lighting, which consist of unshielded light bulbs, and open, exposed neon or gaseous light tubing, are prohibited. An exception hereto may be granted by the Architect when the display is an integral part of the design character of the activity to which it relates.
8. Banners, Pennants, and Balloons Used for Advertising Purposes:
Flags, banners, or pennants, or a combination of same, constituting an architectural feature which is an integral part of the design character of a project may be permitted subject to Architect and City approval.
9. Signs in Proximity to Utility Lines:
Signs which have less horizontal or vertical clearance from authorized communication or energized electrical power lines than that prescribed by the laws of the State of California are prohibited.

E. MISCELLANEOUS NOTES

1. The provisions of this Exhibit, except as otherwise expressly provided by this Exhibit, shall not be applicable to the identification signs of Department Stores or other occupancy designated by the Landlord as a "Major" or "Special" tenant that may be located in the Shopping Center, it being understood and agreed that these occupants may have their usual signage on similar buildings operated by them in California; provided, however, there shall be no rooftop signs which are flashing, moving, or audible and provided said sign is architecturally compatible and has been approved by the Architect and Design Review Board.



Tenant address number.

Door shown is typical for non-customer type door for receiving merchandise, etc. Occurs generally at rear of retail center. (Verify with lease plan exact locations for individual tenants).

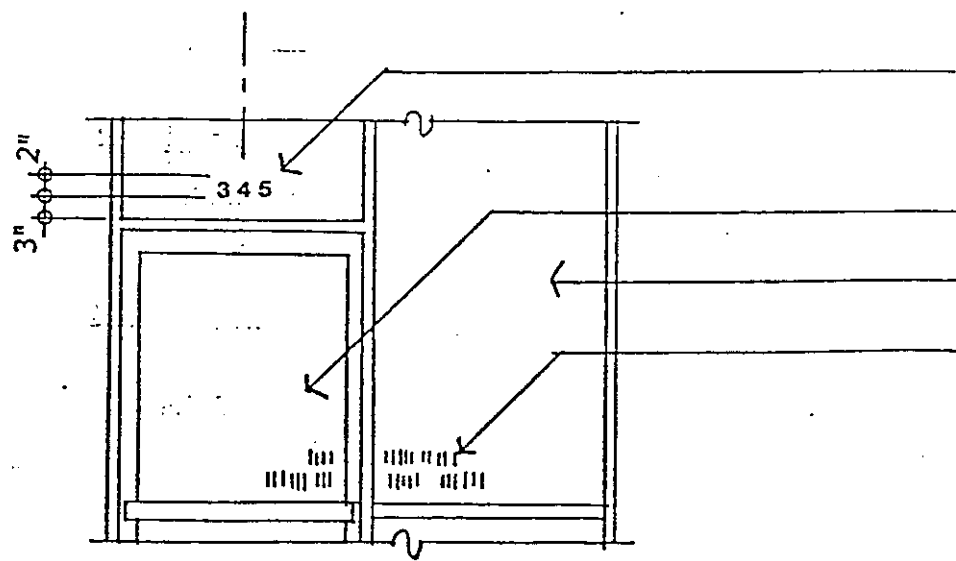
NOTE: All Lettering and numerals shall be painted or adhesive vinyl 'Optima Bold' type style, 2" high as shown in drawing on this sheet. Typical color shall be white.

Typical tenant name only. (Two lines permitted, if required).

Color to match accent color.

Tenant Door- Rear

Blow-up Sign Detail



Tenant address Number to be centered and 'Optima Bold' type style.

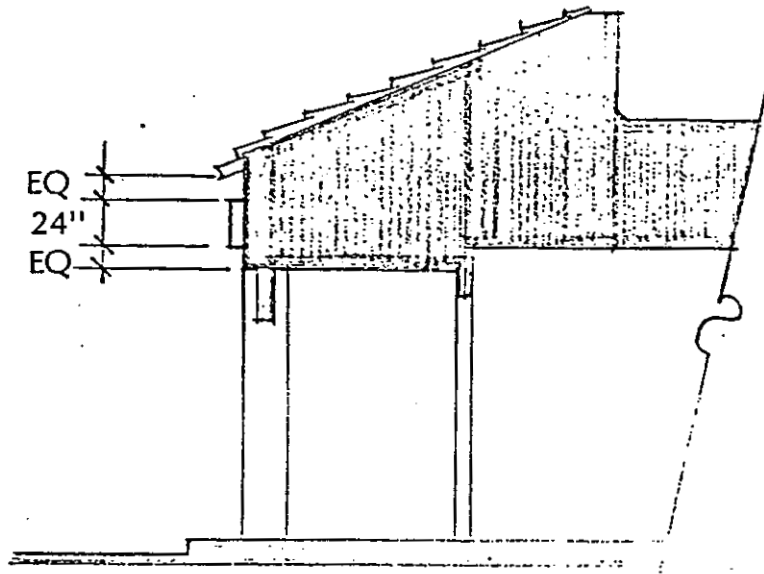
Storefront door.

Fixed glass in storefront.

Location of tenant information, either on door or glass, (see note C-5 on sheet no.).



McClellan/Cruz/Gaylord & Associates
 Architecture • Planning • Interiors
 199 South Los Robles Ave. • Suite 400, Pasadena, California 91101-2457
 (818) 793-9119 • (213) 681-8461

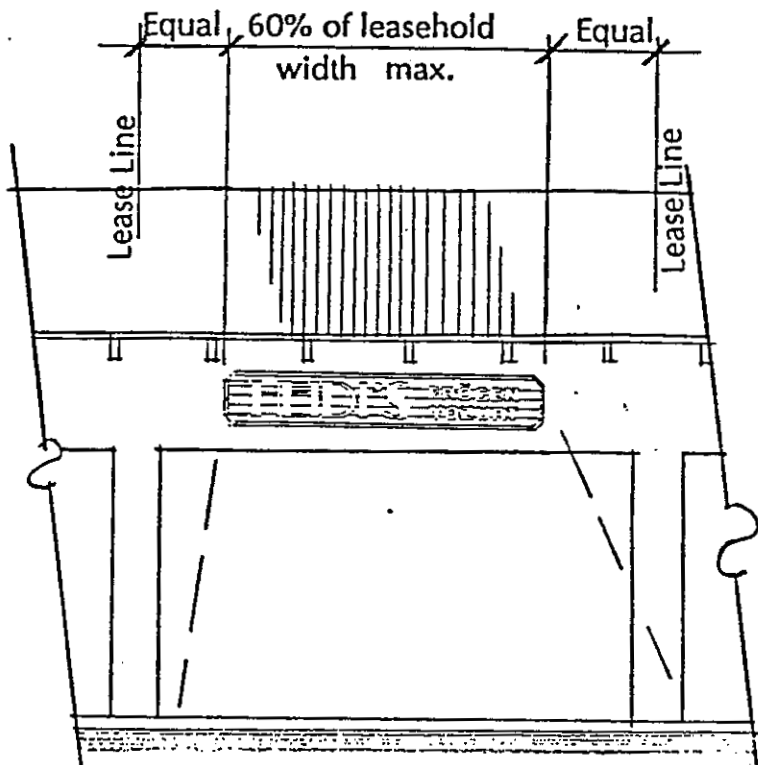


Typical Shop Canopy Section

MCCG

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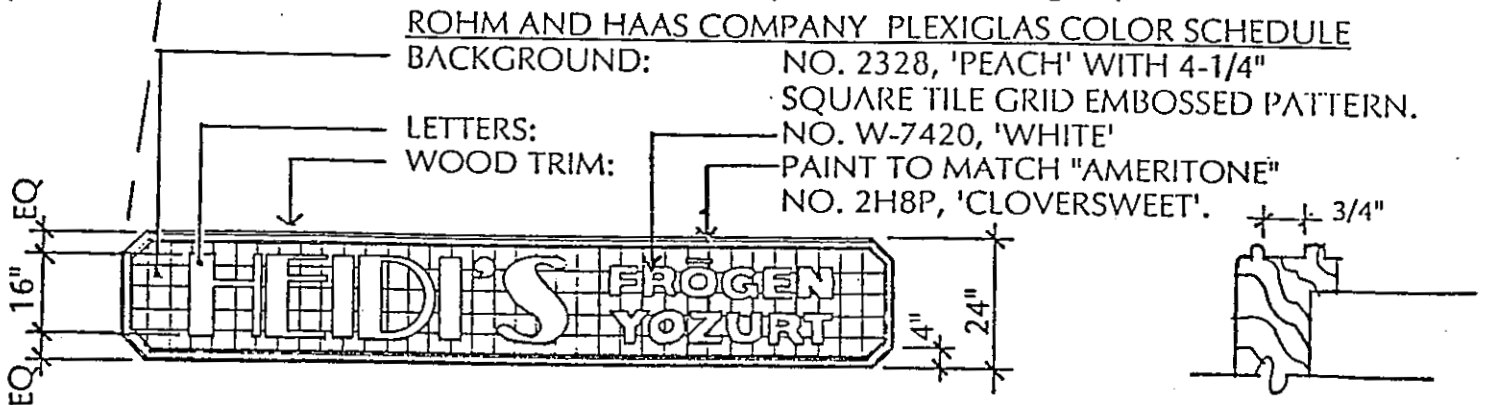
199 South Los Robles Ave. • Suite 400, Pasadena, California 91101-2457
(818) 793-9119 • (213) 681-8461



NOTE:
FOR MAJOR TENANT
SIGNAGE, SEE PAGE 8.

Sign cabinet to be centered on
fascia horizontally and vertically

NOTE: Signage is subject to approval by
Landlord's Architect and the City of Paso
Robles Planning Department.

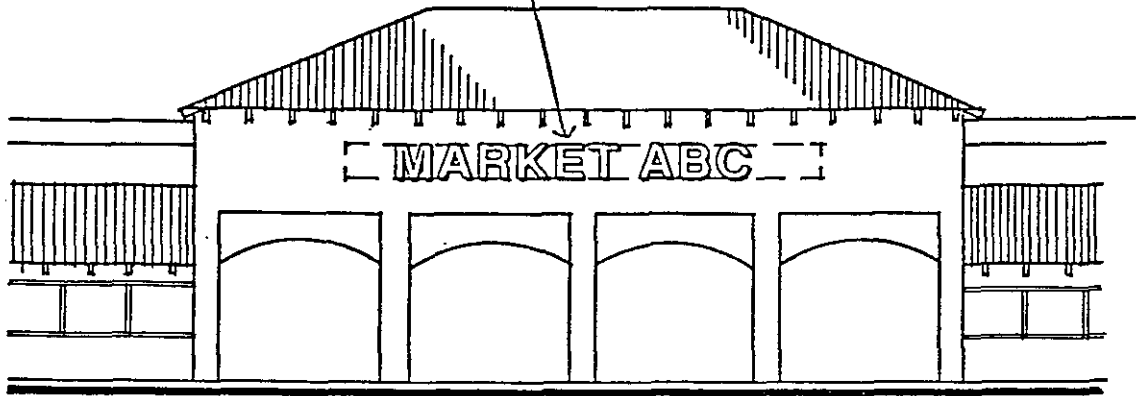


Typical Shop Elevation & Sign Detail

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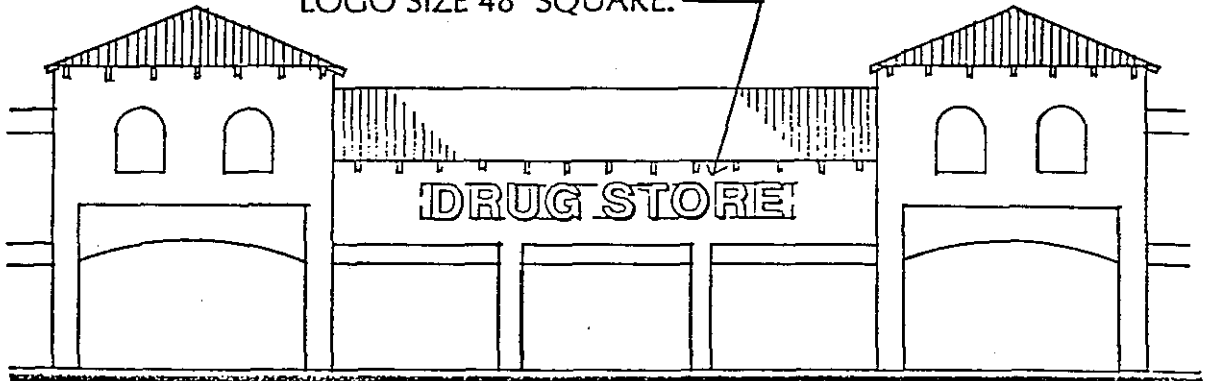
60" HIGH INDIVIDUAL LETTER WITH NO LIMIT AS TO LENGTH. SEE PAGE 6 FOR SIGN ILLUMINATION. OPTIONAL LOGO SIZE 48" SQUARE.



Market Elevation

NO SCALE

60" HIGH INDIVIDUAL LETTER WITH NO LIMIT AS TO LENGTH. SEE PAGE 6 FOR SIGN ILLUMINATION. OPTIONAL LOGO SIZE 48" SQUARE.



Drug Store Elevation

NO SCALE

NOTE:
FOR TYPICAL IN-LINE SHOP
SIGNAGE, SEE PAGE 6.

MAJOR TENANTS SIGNAGE ELEVATIONS

MCCG

McClellan/Cruz/Gaylord & Associates
Architecture • Planning • Interiors

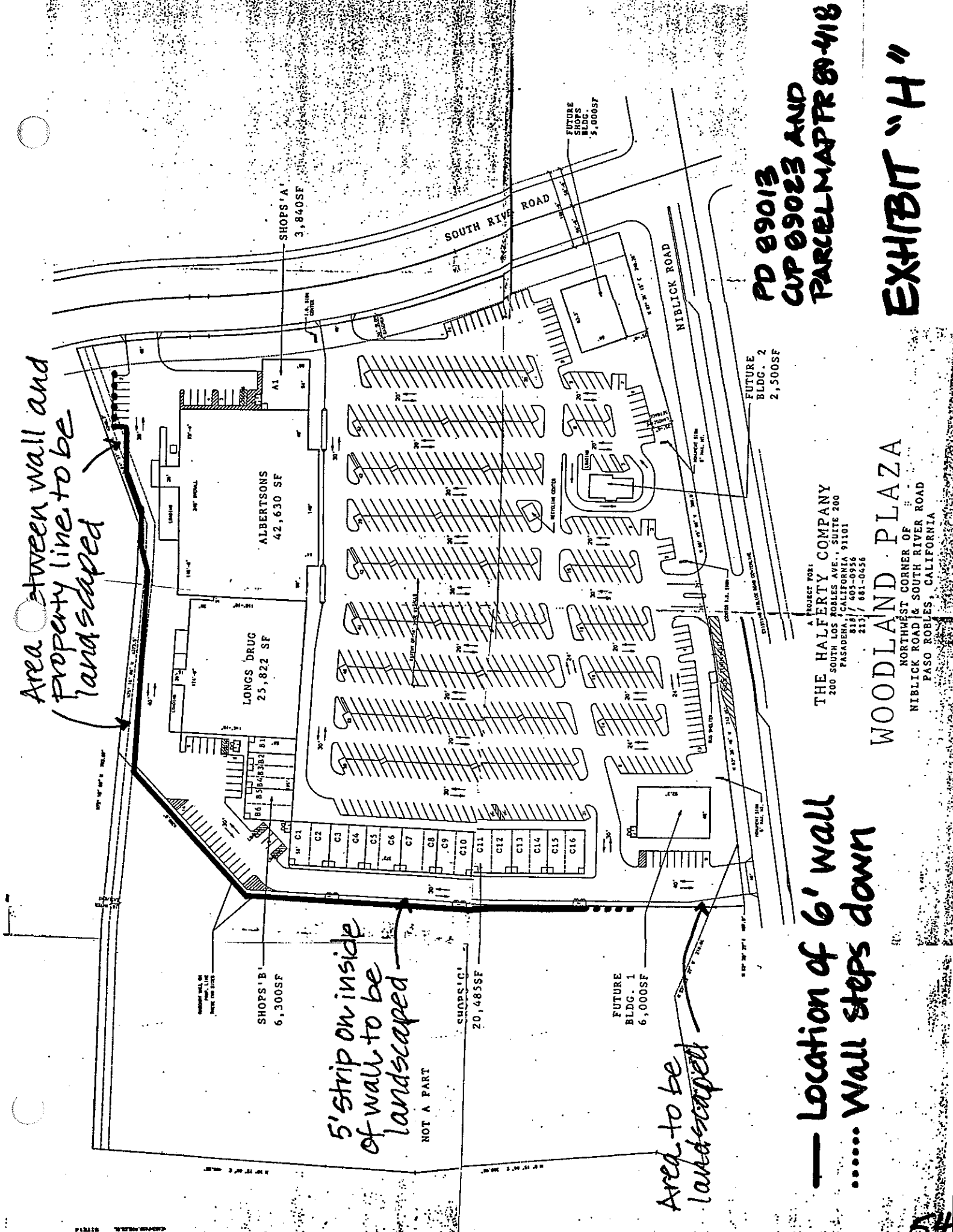
199 South Los Robles Ave. • Suite 400, Pasadena, California 91101-2457
(818) 793-9119 • (213) 681-8461

Area between wall and property line to be landscaped

5' strip on inside of wall to be landscaped

Area to be landscaped

— Location of 6' wall Wall steps down



PD 89013
CUP 89023 AND
PARCEL MAP TR 89-418

EXHIBIT "H"

A PROJECT FOR:
THE HALFERTY COMPANY
200 SOUTH LOS ROBLES AVE., SUITE 200
PASADENA, CALIFORNIA 91101
818 / 405-0956
213 / 681-0456

WOODLAND PLAZA
NORTHWEST CORNER OF
NIBLICK ROAD & SOUTH RIVER ROAD
PASO ROBLES, CALIFORNIA

54

EXHIBIT "I" - RESOLUTION FOR CUP 89023 is on file
with the Community Development Department

**WOODLAND
PLAZA
PRELIMINARY
UTILITY
PLAN**

SCALE 1" = 40'



MCE
MOUNTAIN COAST ENGINEERING, INC.
11100 N. STATE ST., SUITE 200
DANA POINT, CA 92629
TEL: (714) 261-1100

PG. 5 OF 5
SUBSTATION

SOUTH RIVER ROAD

NIBLICK ROAD

ALBERTSONS
72,7630 SF

LONGS DRUG
25,822 SF

SALINAS RIVER

**PD 89015
PARCEL MAP TR 89-418
CUP 89023**


EXHIBIT "J"

STATE OF CALIFORNIA)
COUNTY OF SAN LUIS OBISPO) ss.
CITY OF EL PASO DE ROBLES)

I, Jerry Bankston, City Clerk/~~Deputy City Clerk~~ of the City of El Paso de Robles, California, do hereby certify that the foregoing Resolution No. 90-07..... was duly and regularly adopted, passed and approved by the City Council of the City of El Paso de Robles, California, at a regular meeting of said City Council held at the regular meeting place thereof, on the 16th day of January, 19.90....., by the following vote:

AYES:..... Russell, Conway and Martin
NOES:..... None
ABSENT:..... Reneau
ABSTAINED:..... None

Dated this..... 16th day of January, 19.90



City Clerk and Ex-Officio Clerk of the
City Council, City of El Paso de Robles,
State of California