



Council Agenda Report

From: David Athey, City Engineer

Subject: 2023 Kleck Right of Way Encroachment Agreement, Drainage Easement Acceptance and Summary Vacation of Original Drainage Easement

Date: June 5, 2018

Facts

1. Kleck Road LLC (hereafter referred to as "Applicant") is the owner of property at 2023 Kleck (Kleck) Road (Figure 1, below).
2. The Applicant installed a gravity sewer and water laterals to serve 2023 Kleck across a portion of 2021 Kleck. The Applicant owned both lots at the time of sewer and water lateral installation. The Applicant believed they had reserved a private sewer and water easements on 2021 Kleck. The sewer and water laterals were designed and installed this way in order to avoid impacts to Blue Oak Trees on 2023 Kleck.
3. The Applicant subsequently sold 2021 Kleck and continued to build the home on 2023 Kleck. The new owners of 2021 Kleck asked City staff if the Applicant had reserved a private sewer and water easement over their property to serve 2023 Kleck. Staff investigated the easement question and determined that no such easement had been recorded. City staff subsequently notified the Applicant that in order to receive a certificate of occupancy for 2023 Kleck, they would have to either secure an easement from 2021 Kleck or connect to water and sewer in another location.
4. The Applicant has been unable to secure the needed easements from the owners of 2021 Kleck. The Applicant has explored other alternatives to install sewer and water laterals from 2023 Kleck directly to the street or through another property.
5. The Applicant is requesting that the City allow the installation of a gravity four-inch private sewage line and one-inch water lateral in the public right of way fronting the western portion of 2021 Kleck Road.
6. The sewer and water laterals would be installed at the eastern front property corner of 2023 Kleck and would run eastward in and parallel to the right of way. The gravity lateral would be connected to an existing sewer cleanout in the public right of way. This would allow 2023 Kleck to connect to the City Sewer Main in Kleck Road.
7. The lateral will be installed via trenching. The Applicant will be required to restore the right of way to match existing conditions.
8. The City has prepared a Durable Encroachment Agreement that contains the terms and conditions for the encroachment, including insurance coverage, indemnification, removal, and maintenance.
9. The Applicant has executed the Durable Encroachment Agreement.

10. In addition to the encroachment for the sewer and water laterals, the Applicant is requesting that the City accept a Grant of Easement Storm Drainage Purposes to replace the existing 10-foot Wide Public Drainage Easement on 2023 Kleck.
11. Tract 2805 was approved by Council on November 18, 2014
12. Tract 2805, lot 6, 2023 Kleck, included the dedication of a Public Drainage Easement to convey stormwater from Kleck Road down through Lot 6.
13. However, the house on Lot 6 was built over the Public Drainage Easement and existing storm drain pipe. The City Engineer worked with the Applicant and approved a re-alignment of the existing storm drain to the west between the property line and the house.
14. The Applicant has re-aligned a portion of the existing pipe and is in the process of completing the construction.
15. The Applicant must dedicate a new drainage easement that will follow the re-aligned drainage pipe in order to final 2023 Kleck. The Applicant has signed the Grant of Easement, which was drafted by the City Attorney.
16. The Applicant is now requesting that the City Council abandon the existing 10-foot Wide Public Drainage Easement shown on Lot 6, Tract 2805, accepted by the City Council on November 18, 2014.

Options

1. Take no action.
2. Approve the following:
 - a. Authorize the City Manager to enter into an encroachment agreement with Kleck Road LLC, for the installation of private sewer and water laterals in the Public Utility Easement fronting 2021 Kleck Road.
 - b. Accept the new Grant of Easement for Storm Drainage Purposes from Kleck Road LLC and authorize the City Manager to accept the Grant of Easement on the City Council's behalf.
 - c. Summarily vacate the existing 10-foot wide Public Drainage Easement, per Streets and Highway Code Section 8333 through 8336, that was previously accepted by the City Council on November 18, 2014, as shown on Lot 6 of Tract 2805.
3. Refer this item back to staff for additional information and refinement.

Analysis and Conclusion

Laterals: The sewer lateral for 2023 Kleck was originally designed to connect to a sewer main that ran between 2023 and 2021 Kleck Road. This would have required 2023 Kleck to connect to sewer main on the side of the property. However, the sewer main was subsequently redesigned to flow in the opposite direction. This change in design required that the sewer lateral for 2023 Kleck Road be installed much deeper in Kleck Road. The sewer in Kleck Road is approximately 18 feet deep. This is deeper than average for a gravity sewer main.

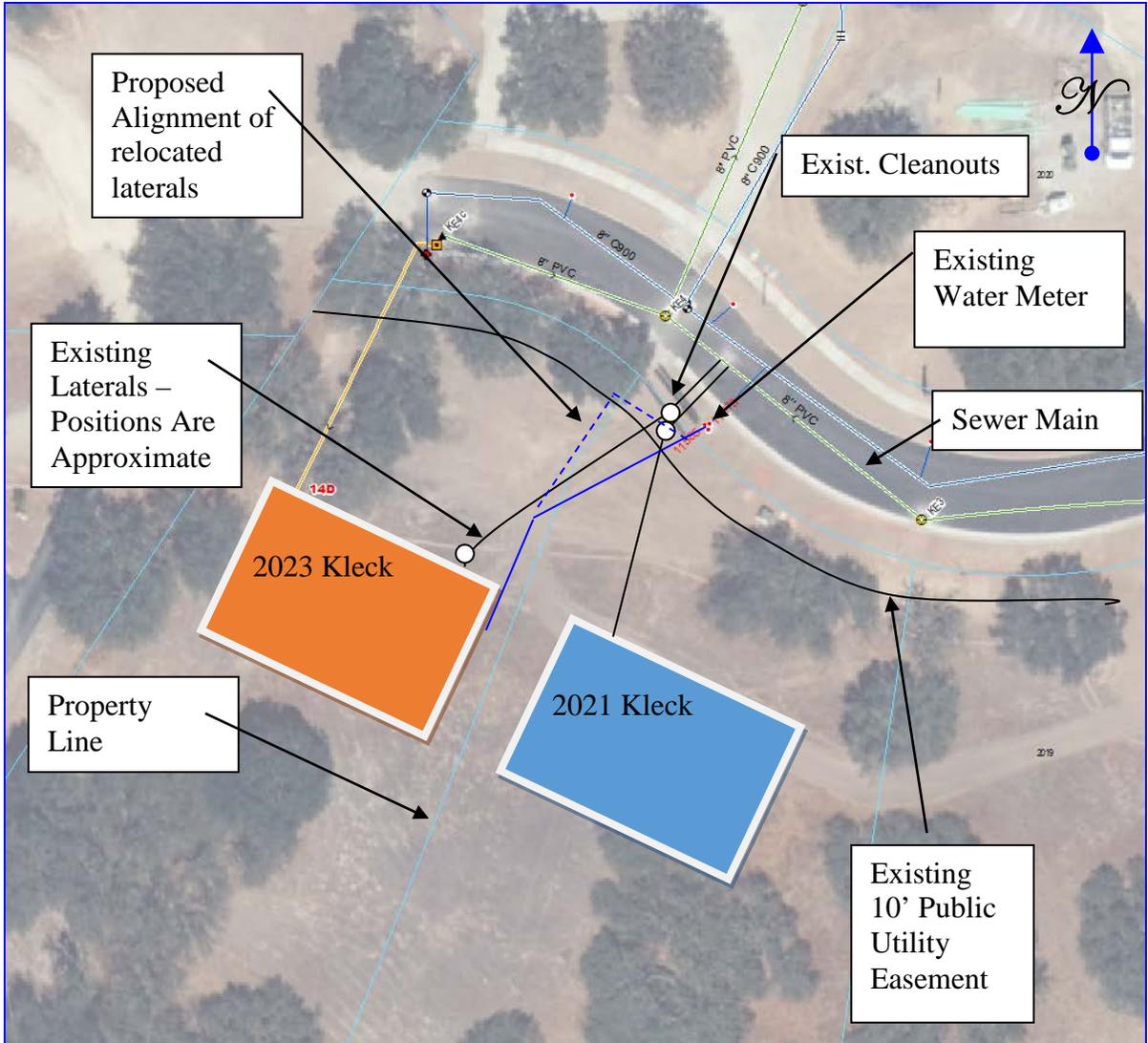


Figure 1 - Location Map – Map not to Scale. House and lateral locations are approximate. Right of way and public utility easement locations approximate.

The Applicant still desired to install a gravity sewer line for both 2023 and 2021 Kleck Road. In order to install the gravity sewer laterals, the lateral for 2023 Kleck Road had to be installed across a portion of 2021 Kleck. The reason that the lateral for 2023 Kleck was installed over 2021 Kleck was to avoid causing severe damage to two healthy Blue Oak trees. It is not uncommon to install private sewer and water laterals across neighboring properties in order to avoid impacts to trees or deal with another site challenge. Additionally, avoiding impacts to the Blue Oaks is a condition of the Tentative Tract Map, so trenching under the trees is not an option. The water lateral for 2023 Kleck Road is also located on 2021 Kleck Road for the same reason, avoiding oak tree impacts.

When both the sewer and water laterals were installed, the Applicant owned both properties. Therefore, installation of the laterals was not a problem. The Applicant believed that they had reserved a private sewer and water easement across 2021 Kleck, in favor of 2023 Kleck, during the Final Map process (see Figure 2, below). Unfortunately, the recorded Final Map does not include either a private sewer or water line easement over 2021 Kleck Road, and no such easements were reserved when 2021 Kleck Road was sold to the present owners. As a result, 2023 Kleck Road has no right to be served by a sewer or water

lateral that is located on 2021 Kleck Road. Therefore, the City cannot issue a certificate of occupancy for 2023 Kleck Road unless (i) the owners of 2021 Kleck are willing to grant such an easement or (ii) the sewer and water laterals are relocated. The owner of 2021 Kleck has so far been unwilling to grant the needed private sewer and water easements.

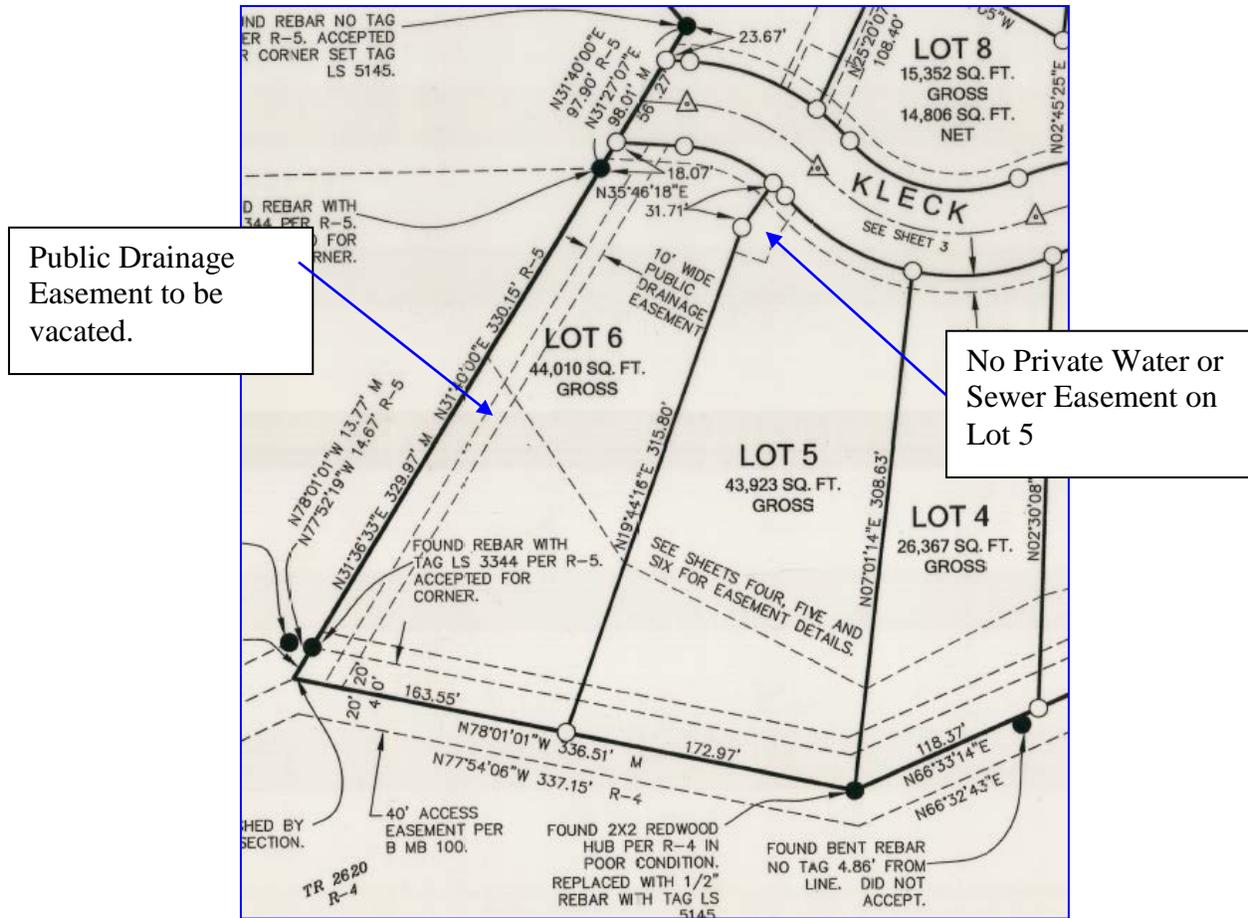


Figure 2 – Excerpt of Tract 2805 Showing 2023 Kleck (Lot 6) and 2021 Kleck (Lot 5)

The Applicant has proposed a number of solutions to connect the house to the City’s sewer and water system. The solutions ranged from securing an easement on the western property to connecting the pressure sewer outlet directly to the manhole. Those proposals were not viable because the easement could not be secured, a massive excavation of Kleck Road would be required, or oak tree impacts would be unavoidable. Therefore, the Applicant is now requesting that the City allow the installation of a four-inch gravity sewer lateral in the Public Utility Easement in front of 2021 Kleck in order to convey wastewater to the existing sewer lateral.

The Applicant is proposing to install a pump that would convey wastewater under pressure up to the Public Utility Easement fronting 2023 Kleck Road. The pressure sewer main would then discharge to a four-inch gravity sewer pipe that would connect to an existing cleanout. The gravity line would cross under landscaping and a paver driveway to the cleanout. These areas will be required to be restored prior to receiving a final permit. This solution is not ideal in that it requires the installation of a sewer lateral in the Public Utility Easement in front of 2021 Kleck Road. However, it would avoid damaging the Blue Oak tree, avoid a massive excavation of Kleck Road to place the sewer lateral 18 feet below the surface, and prevent odor and maintenance issues at the manhole on Kleck Road. There will be a temporary impact to the owners of 2021 Kleck as they will not be able to use their driveway for a short time while

the lateral is installed. Long term, there will be minimal impact to 2021 Kleck as the pipe is gravity flow and will be easily accessible from 2023 Kleck and the cleanout is in the Public Utility Easement.

The applicant has agreed to sign an Encroachment Agreement (Attachment 2) that stipulates the terms of the private sewer and water laterals being located in the Public Utility Easement. The terms include requirements for repair, removal, insurance and indemnification. The agreement has similar terms to the recently approved encroachment agreement with San Antonio Winery and Firestone Brewery for an underground utility located in the public right of way.

Public Drainage Easement: The recorded public Storm Drain easement on 2023 Kleck connects the drainage from Kleck Road to a natural channel at the bottom of the hill (see Figure 2, above). However, because the improvements were built over a portion of the drainage easement, the existing storm drain was disconnected and rerouted around the house. A condition for allowing the pipe to be re-routed was the dedication of a new drainage easement to the City prior to final occupancy. The Applicant has executed a Grant of Easement to the City (see Exhibit 1 to Attachment 3). The original easement shown on Lot 6, Tract Map 2805, is proposed to be abandoned after acceptance of the new easement. Accepting the new easement will ensure the City has access to inspect, clean and maintain the drainage pipe.

Fiscal Impact

This encroachment agreement will not have a fiscal impact on the City as the Applicant is required to reimburse the City for encroachment permit costs, including staff time.

Recommendation

Approve:

- a. Resolution 18-xxxA, Attachment 1, authorizing the City Manager to enter into an encroachment agreement with Kleck Road LLC, for the installation of a private sewer and water laterals in the Public Utility Easement fronting 2021 Kleck Road.
- b. Resolution 18-xxxB, Attachment 2, accepting the Grant of Easement for Storm Drainage Purposes from Kleck Road LLC and authorize the City Manager to accept the Grant of Easement on the City Council's behalf.
- c. Resolution 18-xxxC, Attachment 3, summarily vacating, per Streets and Highway Code Section 8333 through 8336, the 10-foot wide Public Drainage Easement that was previously accepted by the City Council on November 18, 2014, as shown on Lot 6, Tract 2805.

Attachments

1. Resolution 18-xxxA, Durable Encroachment Agreement for Sewer and Water Laterals
2. Resolution 18-xxxB, Accepting Grant of Easement for Storm Drainage Purposes
3. Resolution 18-xxxC, summarily vacating the 10-foot wide Public Drainage Easement, shown on Lot 6, Tract 2805.

Attachment 1

Draft Resolution A

RESOLUTION NO. 18-XXX

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF EL PASO DE ROBLES APPROVING A DURABLE ENCROACHMENT AGREEMENT BETWEEN THE CITY OF EL PASO DE ROBLES AND KLECK ROAD LLC.

WHEREAS, Kleck Road LLC. (“Kleck”) is the property owner 2023 Kleck Road; and

WHEREAS, Kleck has requested permission to install a private four-inch gravity sewer lateral and one inch private water lateral in the public right of way adjacent to the property owned by Kleck, for the transmission of (i) sewage to the public sewer main from the residence on the real property; and (ii) water from the water main to the residence on the real property; and

WHEREAS, the proposed encroachment of the public right of way will not interfere with existing City and public Utilities or right-of-way use; and

WHEREAS, a public hearing was conducted by the City Council on June 5, 2018, to consider facts as presented in the staff report prepared for this project, and to accept public testimony regarding this proposed right of way encroachment.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF EL PASO DE ROBLES DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. All of the above recitals are true and correct and incorporated herein by reference.

Section 2 - Findings: based upon the facts and analysis presented in the staff report, public testimony received and subject to the conditions listed below, the City Council makes the following findings:

1. The proposed encroachment is consistent with the adopted codes, policies, standards and plans of the City; and
2. The proposed encroachment will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the residents and or businesses in the surrounding area, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City; and
3. The proposed encroachment accommodates the aesthetic quality of the City as a whole since the four-inch gravity sewer lateral and one-inch water lateral will be installed underground.

Section 3 – Approval: the City Council of the City of El Paso de Robles does hereby approve the Durable Encroachment Agreement for Installation and Maintenance of Underground Pipeline, attached hereto as Exhibit A and incorporated herein by reference, and authorizes the City Manager to execute said agreement.

Attachment 1

Draft Resolution A

PASSED AND APPROVED by the City Council of the City of El Paso de Robles this 5th day of June 2018 by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Steven W. Martin, Mayor

ATTEST:

Kristen L. Buxkemper, Deputy City Clerk

Exhibit:

A. Durable Encroachment Agreement Between the City of El Paso de Robles and Kleck Road LLC.

Attachment 1

Draft Resolution A

Exhibit A – Durable Encroachment Agreement Between the City of El Paso de Robles and Kleck Road LLC

Reso A - Exhibit A

RECORDING REQUESTED BY AND WHEN RECORDED MAIL TO:

City of El Paso de Robles
1000 Spring Street
Paso Robles, CA 93446
Attn: City Engineer

Exempt from Recording Fee per
Government Code § 27383

(Space above for Recorder's Use)

DURABLE ENCROACHMENT AGREEMENT FOR INSTALLATION AND MAINTENANCE OF UNDERGROUND PIPELINE

This Encroachment Agreement (“AGREEMENT”) is issued by the CITY OF EL PASO DE ROBLES, a California municipal corporation and general law city (“CITY”), to KLECK ROAD, LLC, a California limited liability company (“KLECK”). CITY and KLECK are sometimes hereinafter referred to individually as “Party” and collectively as the “Parties.”

RECITALS

A. KLECK has applied for an encroachment permit from CITY in connection with KLECK’s project located on certain real property in the County of San Luis Obispo, State of California, City of Paso Robles, California, and legally described in Exhibit A, attached hereto and incorporated herein by this reference (“REAL PROPERTY”).

B. CITY owns an easement or fee simple right of way (“PUBLIC RIGHT-OF-WAY”) over, across, under, within and along a certain portion of the REAL PROPERTY. The PUBLIC RIGHT-OF-WAY is legally described in Exhibit B, attached hereto and incorporated herein by this reference.

C. KLECK has requested CITY to enter into this Durable Encroachment Agreement, whereby KLECK would be authorized to install and maintain certain improvements under and across certain portions of the PUBLIC RIGHT-OF-WAY. As used in this Agreement, PUBLIC RIGHT-OF-WAY means the surface, the air space above the surface and the area below the surface of the Kleck Road right of way, as described in Exhibit B.

D. CITY agrees to provide to KLECK the right to encroach upon the PUBLIC RIGHT-OF-WAY for the installation and maintenance of certain improvements on, under and across certain portions of the PUBLIC RIGHT-OF-WAY, subject to the terms and conditions contained herein.

AGREEMENTS

1. Grant of Encroachment. CITY hereby grants to KLECK a durable right of encroachment upon the PUBLIC RIGHT-OF-WAY, for the purpose of constructing, installing, maintaining and operating the IMPROVEMENTS (defined below), subject to the limitations set forth herein and KLECK's fulfillment and ongoing compliance with the terms and conditions set forth herein. The installation and maintenance of, and any use of, the IMPROVEMENTS (defined below) shall be subordinate to any use and operations which CITY may conduct during the effective period of this AGREEMENT, and KLECK shall not cause any unreasonable delay or interference with CITY'S access to the PUBLIC RIGHT-OF-WAY. KLECK shall not interfere with the operations of CITY in the PUBLIC RIGHT-OF-WAY, whether or not such interference is considered material.

2. Authorized Improvements. The improvements authorized to be constructed, installed, and maintained pursuant to this AGREEMENT are a four inch gravity sewer lateral and a one-inch water lateral (the "IMPROVEMENTS") in the PUBLIC RIGHT-OF-WAY adjacent to the REAL PROPERTY owned by KLECK, for the transmission of (i) sewage to the public sewer main from the residence on the REAL PROPERTY; and (ii) water from the water main to the residence on the REAL PROPERTY. The right of KLECK to install, operate, maintain, and use the IMPROVEMENTS are subject to the following limitations, and conditioned upon KLECK implementing the following protective measures and physical construction standards in connection with the IMPROVEMENTS:

a. Detailed design drawings prepared by a registered engineer depicting the IMPROVEMENTS within the PUBLIC RIGHT-OF-WAY shall be provided to, reviewed by, and approved by CITY prior to construction. The design drawings shall include an accurate depiction of the horizontal and vertical position of the proposed improvements relative to the PUBLIC RIGHT-OF-WAY and shall be generally consistent as depicted on Exhibit B of this Agreement. The IMPROVEMENTS shall be designed to ensure that the installation and use of the IMPROVEMENTS does not create any additional structural or geotechnical load on the PUBLIC RIGHT-OF-WAY or interfere with or encroach upon any existing public utility or other easements. The design of the IMPROVEMENTS must allow for immediate access to the PUBLIC RIGHT-OF-WAY for purposes of inspecting, cleaning, maintaining, repairing, and replacing CITY's existing improvements located within the PUBLIC RIGHT-OF-WAY and/or installing additional improvements and appurtenances.

b. CITY reserves the right, and KLECK hereby acknowledges, that CITY may reject without liability the design drawings for any proposed IMPROVEMENTS and/or require any changes thereto if CITY determines, in its sole and absolute discretion, that such action is necessary to ensure CITY can adequately inspect, clean, maintain, repair, and replace CITY's existing improvements located within the PUBLIC RIGHT-OF-WAY and/or installing additional improvements and appurtenances within the PUBLIC RIGHT-OF-WAY.

c. Upon CITY's approval of the final design drawings for the IMPROVEMENTS, such design drawings shall be attached hereto as Exhibit "B" and incorporated herein by this reference and considered a material part of this AGREEMENT. KLECK shall design, construct, install, operate and maintain the IMPROVEMENTS in strict

Reso A - Exhibit A

compliance with the approved final design drawings, and no changes or deviations therefrom shall be permitted without KLECK first obtaining the prior written consent of CITY, which may be granted or denied in the CITY's sole reasonable discretion. The issuance of building and encroachment permits by the CITY for any changes and modifications shall be presumed to constitute consent of such changes and modifications under this AGREEMENT..

d. A schedule of construction activities within the easement will be provided to and approved by CITY prior to the commencement of any construction work within the PUBLIC RIGHT-OF-WAY. No heavy equipment shall be operated within or traverse the PUBLIC RIGHT-OF-WAY, when there is less than 24 inches of soil over any existing public improvements. No vibratory compaction will be allowed within the PUBLIC RIGHT-OF-WAY unless approved in writing by CITY. All IMPROVEMENTS shall be open and subject to inspection by CITY, and KLECK shall give notice and allow CITY to inspect any underground improvements prior to backfilling. KLECK shall provide CITY with "as-built" drawings of the IMPROVEMENTS within thirty (30) days of completion of the construction activities.

e. KLECK shall reimburse CITY for any and all expenses incurred by CITY for work to support or protect the PUBLIC RIGHT-OF-WAY within thirty (30) days after receiving written demand and a statement from CITY detailing such costs. In the event KLECK fails to perform work to support or protect the PUBLIC RIGHT-OF-WAY within thirty (30) days after receiving written notice from CITY of such failure, or if CITY must immediately perform such work in the event of an emergency or to perform legally mandated duties, CITY may proceed with such work at the expense of KLECK. KLECK shall reimburse City within thirty (30) days after receiving written demand and a statement from CITY detailing the costs incurred by CITY.

f. KLECK shall be required to obtain all other necessary and required licenses, permits and authorizations from any governmental agency with jurisdiction over the IMPROVEMENTS and to pay all fees and charges associated therewith prior to commencing any work on the IMPROVEMENTS. This AGREEMENT does not constitute, nor grant, permission to use or occupy property not belonging to, or under the control of CITY, and permission to use or occupy such property must be obtained from the owner or controller of such property, separate from and in addition to this AGREEMENT.

g. KLECK shall not alter, replace, or otherwise change the IMPROVEMENTS without complying with the terms of this Section 2.

3. No Grant of Property Interest. This AGREEMENT is not a grant by CITY of any property interest but is made subject and subordinate to the prior and continuing right of CITY to use all the PUBLIC RIGHT OF WAY including, but not limited to, public use as a street and for the purpose of laying, installing, maintaining, repairing, protecting, replacing, and removing sanitary sewers, water mains, storm drains, gas mains, poles, overhead and underground electric and telephone wires, cable television, telecommunications facilities and other utility and municipal uses together with appurtenances thereof and with right of ingress and egress, along, over, across and in said PUBLIC RIGHT OF WAY.

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4. Construction and Operation KLECK shall construct, operate, maintain and repair the IMPROVEMENTS so as not to endanger or interfere with improvement City makes or to otherwise interfere in any manner with the PUBLIC RIGHT OF WAY or legal rights of any property owner or to unnecessarily hinder or obstruct pedestrian or vehicular traffic. KLECK shall not place facilities, equipment or fixtures where they will interfere with any gas, electric, telephone, telecommunications, water, sewer or other utility facilities or obstruct or hinder in any manner such entity's use of any PUBLIC RIGHT OF WAY and shall provide the minimum distance or separation for sewer, storm, water, electrical and gas lines.

5. Repair of Damage. Any damage caused directly or indirectly by KLECK to the PUBLIC RIGHT-OF-WAY or to CITY's improvements therein and other property shall be repaired by CITY, at KLECK's sole cost and expense, or if authorized by CITY may be repaired by KLECK at its sole cost and expense. If CITY elects to perform the repair work itself, KLECK shall reimburse CITY for the full costs of the repair work within thirty (30) days after receiving written demand and a statement from CITY detailing such costs. In the event payment is not made within said thirty (30) day period, said payment shall accrue interest at a rate of ten percent (10%) per annum from the end of said thirty (30) day period until paid in full.

6. Relocation or Abandonment of Improvements

a. Temporary Relocation. KLECK shall, upon reasonable notice from CITY and by a time specified by CITY, protect, support, temporarily disconnect, relocate or remove any of its property if required by CITY or any other governmental entity by reason of traffic conditions; public safety; PUBLIC RIGHT-OF-WAY construction, maintenance or repair (including resurfacing or widening); change of PUBLIC RIGHT-OF-WAY grade; construction, installation or repair of sewers, storm drains, water pipes, power lines, gas lines, signal lines, track or any other type of government-owned communication system, public work or improvement or any government-owned utility, PUBLIC RIGHT-OF-WAY vacation; or for any other public purpose where the work involved would be materially aided by the removal or relocation of the IMPROVEMENTS.

b. Emergency Relocation. In the event of an emergency, or where the IMPROVEMENTS create or are contributing to an imminent danger to health, safety or property, CITY may remove, relay or relocate any or all parts of that IMPROVEMENTS without prior notice; however, CITY shall make diligent reasonable efforts to provide prior notice to KLECK. KLECK shall be responsible for all costs reasonably incurred in connection with such emergency relocation. The term "emergency" shall be defined in accordance with California law and in general, shall be considered as an unforeseen circumstance which calls for immediate action.

c. Permanent Relocation. KLECK shall permanently remove or relocate, without cost or expense to CITY, the IMPROVEMENTS or any portion thereof installed, used and maintained under this Agreement if and when made necessary by any lawful change of grade, alignment or width of the PUBLIC RIGHT-OF-WAY, including the construction, maintenance or operation of any other CITY underground or aboveground facilities. In the event all or any portion of the PUBLIC RIGHT-OF-WAY occupied by the IMPROVEMENTS shall be needed by CITY for governmental purposes or in the event the existence of the

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IMPROVEMENTS shall be considered detrimental to governmental activities, including but not limited to, interference with CITY construction projects, or is in conflict vertically and/or horizontally with any proposed CITY installation, KLECK shall, following direction from the City Engineer, remove and relocate the IMPROVEMENTS or applicable portion thereof to such other location or locations on said PUBLIC RIGHT-OF-WAY as may be designated by CITY. Said removal or relocation shall be completed within ninety (90) days of written notification by CITY; provided KLECK can timely obtain any needed permits from CITY. In the event the IMPROVEMENTS or applicable portion thereof are not removed or relocated within ninety (90) days after said notification, CITY may cause the same to be done at the sole expense of KLECK.

d. Repair to Public Right of Way. When removal or relocation is required under this Agreement, KLECK shall, after the removal or relocation of the IMPROVEMENTS, at its own cost, repair and return the PUBLIC RIGHT-OF-WAY or public utility or service easements on which the facilities were located to a safe and satisfactory condition in accordance with the construction-related conditions and specifications as established by CITY according to its standard practice. Should KLECK remove the IMPROVEMENTS from the PUBLIC RIGHT-OF-WAY, KLECK shall, within ten (10) days after such removal, give notice thereof to CITY specifying the PUBLIC RIGHT-OF-WAY affected and the location thereof as well as the date of removal. Before proceeding with removal or relocation work, KLECK shall obtain and CITY shall issue a street excavation permit from the CITY.

e. Abandonment of IMPROVEMENTS. If any portions of the IMPROVEMENTS covered under this Agreement are no longer used by KLECK, or are abandoned for a period in excess of one (1) year, KLECK shall notify CITY and shall either promptly vacate and remove the facilities at KLECK'S own expense or, at CITY'S sole discretion, may abandon some or all of the IMPROVEMENTS in place.

7. Waiver and Release. KLECK, in perpetuity, expressly waives, releases and relinquishes any and all claims, causes of action, rights and remedies KLECK may now or hereafter have against CITY, and its officials, officers, employees, and agents, whether known or unknown, with respect to liability for any damage to or loss, upon, above, beneath, or across the PUBLIC RIGHT-OF-WAY pursuant to this AGREEMENT unless such damage or loss is caused by the sole active negligence or willful misconduct of CITY. As a material part of CITY'S decision to issue this AGREEMENT, KLECK hereby assumes all risk of damage to the IMPROVEMENTS in, upon, or about the PUBLIC RIGHT-OF-WAY arising, from any cause attributable to CITY'S exercising its rights hereunder or under the RIGHT OF WAY, and KLECK hereby waives all claims in respect thereto against CITY, except if caused by the sole active negligence or willful misconduct of CITY.

KLECK HEREBY ACKNOWLEDGES THAT IT HAS READ AND IS FAMILIAR WITH THE PROVISIONS OF CALIFORNIA CIVIL CODE SECTION 1542 ("SECTION 1542"), WHICH IS SET FORTH BELOW:

"A GENERAL RELEASE DOES NOT EXTEND TO CLAIMS WHICH THE CREDITOR DOES NOT KNOW OR SUSPECT TO EXIST IN HIS OR HER FAVOR AT THE TIME OF EXECUTING THE RELEASE, WHICH IF

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KNOWN BY HIM MUST HAVE MATERIALLY AFFECTED HIS OR HER SETTLEMENT WITH THE DEBTOR.”

BY INITIALING BELOW, KLECK HEREBY WAIVES THE PROVISIONS OF SECTION 1542 SOLELY IN CONNECTION WITH THE MATTERS WHICH ARE THE SUBJECT OF THE FOREGOING WAIVERS AND RELEASES:

KLECK's Initials

The waivers and releases by KLECK contained herein shall survive the term of this AGREEMENT and shall be binding upon the assignees, transferees, and successors in interest of KLECK.

8. Recovery of Costs for Enforcement of Agreement. The terms of this AGREEMENT may be enforced by CITY or its successors or assigns. In the event of any controversy, claim or dispute relating to this AGREEMENT, or the breach thereof, the prevailing party shall be entitled to recover from the other party reasonable expenses, attorneys' fees and costs.

9. Hazardous Materials Use.

a. KLECK covenants that it will not handle or transport Hazardous Materials on the IMPROVEMENTS or the PUBLIC RIGHT-OF-WAY. As used in this AGREEMENT, the term "Hazardous Materials" means: (a) any substance, products, waste, or other material of any nature whatsoever which is or becomes listed, regulated, or addressed pursuant to the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA), 42 United States Code Section 9601 et seq.; the Resources Conservation and Recovery Act, 42 United States Code Section 6901 et seq.; the Hazardous Materials Transportation Conservation and Recovery Act, 42 United States Code Section 1801 et seq.; the Clean Water Act, 33 United States Code Section 1251 et seq.; the Toxic Substances Control Act, 15 United States Code Section 2601 et seq.; the California Hazardous Waste Control Act, Health and Safety Code Section 25100 et seq.; the Hazardous Substance Account Act, Health and Safety Code Section 25330 et seq.; the California Safe Drinking Water and Toxic Enforcement Act, Health and Safety Code Section 25249.5 et seq.; California Health and Safety Code Section 25280 et seq. (Underground Storage of Hazardous Substances); the California Hazardous Waste Management Act, Health and Safety Code Section 25170.1 et seq.; California Health and Safety Code Section 25501 et seq. (Hazardous Materials Release Response Plans and Inventory); or the California Porter-Cologne Water Quality Control Act, Water Code Section 13000 et seq., all as amended (the above cited California state statutes are hereinafter collectively referred to as "the State Toxic Substances Law"); or any other federal, state, or local statute, law, ordinance, resolution, code, rule, regulation, order or decree regulating, relating to, or imposing liability or standards of conduct concerning any Hazardous Substance, now or at any time hereinafter in effect; (b) any substance, product, waste or other material of any nature whatsoever which may give rise to liability under any of the above statutes or under any statutory or common law theory based on negligence, trespass, intentional tort, nuisance or strict liability or under any reported decisions

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of a state or federal court; (c) petroleum or crude oil, other than petroleum and petroleum products which are contained within regularly operated motor vehicles; and (d) asbestos.

In the event the IMPROVEMENTS are now or in the future used in the handling or transporting of Hazardous Materials, KLECK agrees fully to comply with all applicable federal, state, and local laws, rules, regulations, orders, decisions and ordinances (hereinafter referred to as "Hazardous Materials Standards") concerning Hazardous Materials. KLECK further agrees that at CITY's request it will furnish CITY with proof, satisfactory to CITY, that KLECK is in compliance with all such laws, rules, regulations, orders, decisions and ordinances.

b. Notwithstanding anything else contained in this AGREEMENT and to the fullest extent permitted by law, in case of a breach of the obligations contained in this Section, KLECK agrees to assume liability for and to save, indemnify, defend and hold harmless CITY from and against any and all injuries to any person, including wrongful death, and damage to property, including without limitation, property of CITY and KLECK, and all related expenses, including without limitation reasonable attorneys' fees, investigators' fees, litigation expenses, and mitigation costs resulting in whole or in part from KLECK's failure to comply with any Hazardous Materials Standards issued by any governmental authority concerning Hazardous Materials. KLECK, at its cost, shall assume the defense of all claims, in accordance with Section 13 hereof. KLECK agrees to reimburse CITY for all reasonable costs of any kind incurred as a result of the KLECK's failure to comply with this Section, including, but not limited to, judicial or administrative fines, penalties, clean-up and disposal costs, and reasonable legal costs incurred as a result of KLECK's handling, transporting, or disposing of Hazardous Materials on, over, or across the IMPROVEMENTS and PUBLIC RIGHT-OF-WAY.

10. Standards. KLECK shall comply with all statutes, ordinances, rules, regulations, orders and decisions (hereinafter referred to as "Standards"); issued by any federal, state or local governmental body or agency established thereby relating to KLECK's use of the IMPROVEMENTS and PUBLIC RIGHT-OF-WAY hereunder. In its use of the IMPROVEMENTS and PUBLIC RIGHT-OF-WAY, KLECK shall at all times be in full compliance with all Standards, present or future, including, but not limited to, Standards concerning air quality, water quality, noise, and Hazardous Materials. In the event KLECK fails to be in full compliance with Standards, CITY may, but shall not be obligated to, after giving notice of the failure to KLECK, and if KLECK, within fifteen (15) days of such notice, fails to correct such non-compliance, take whatever action it determines in its sole discretion to be necessary to protect the PUBLIC IMPROVEMENTS, PUBLIC RIGHT-OF-WAY, and other adjacent property. KLECK shall reimburse CITY for all reasonable costs (including but not limited to, consulting, engineering, clean-up and disposal, and reasonable legal costs) incurred by CITY as a result of KLECK's failure to comply with such Standards, and also such reasonable costs incurred by CITY in abating a violation of such Standards, protecting against a threatened violation of such Standards, defending any claim of violation of such Standards in any proceeding before any agency or court, and paying any fines or penalties imposed for such violations. KLECK shall, to the extent permitted by law, assume liability for and shall save and hold harmless CITY from any claim of a violation of the Standards regardless of the nature thereof or the agency or person asserting such claim, which results from KLECK's use of the IMPROVEMENTS and PUBLIC RIGHT-OF-WAY; provided, however, that the foregoing shall

Reso A - Exhibit A

not apply to the extent of CITY's negligence or willful misconduct. KLECK, at its cost, shall assume the defense of all such claims.

11. Tests and Inspections. CITY shall have the right at any time to inspect the IMPROVEMENTS, PUBLIC RIGHT-OF-WAY, and PUBLIC IMPROVEMENTS so as to monitor compliance with this AGREEMENT. If, in CITY's sole judgment, any installation, use, or condition of the IMPROVEMENTS may have an adverse effect on the PUBLIC IMPROVEMENTS, PUBLIC RIGHT-OF-WAY, or CITY's operations, CITY shall be permitted to, at its sole cost and expense, conduct any tests or assessments, including but not limited to environmental assessments, of, on or about the PUBLIC RIGHT-OF-WAY and PUBLIC IMPROVEMENTS, as it determines to be necessary or useful to evaluate the condition of the PUBLIC RIGHT-OF-WAY and PUBLIC IMPROVEMENTS. KLECK shall cooperate with CITY in any tests or inspections deemed necessary by CITY. KLECK shall pay or reimburse CITY, as appropriate, for all reasonable costs and expenses incurred due to any necessary corrective work and inspections thereafter within thirty (30) days of a request for payment and a statement detailing such costs and expenses.

12. Insurance.

a. Types; Amounts. KLECK shall obtain, and shall require any subcontractor to obtain, insurance in the amounts described below unless specifically altered or waived by CITY ("Required Insurance"). If any of the Required Insurance contains a general aggregate limit, such insurance shall apply separately to this License or be no less than two times the specified occurrence limit.

- (i) *General Liability Insurance.* KLECK shall maintain occurrence version general liability insurance, or equivalent form, with a combined single limit of not less than Two Million Dollars (\$2,000,000) per occurrence. The general liability insurance policy must include coverage for the following:
 - (1) Bodily Injury and Property Damage
 - (2) Personal Injury/Advertising Injury
 - (3) Premises/Operations Liability
 - (4) Products/Completed Operations Liability
 - (5) Explosion, Collapse and Underground (UCX) exclusion deleted
 - (6) Contractual Liability with respect to this AGREEMENT
 - (7) Broad Form Property Damage
 - (8) Independent Contractor Coverage

Reso A - Exhibit A

- (ii) *Business Automobile Liability Insurance.* KLECK shall maintain business automobile liability insurance with an each accident limit of not less than One Million Dollars (\$1,000,000) for bodily injury and property damage, which shall be at least as broad as Insurance Services Office Form Number CA 00 01 covering automobile liability (Coverage Symbol 1, any auto).
- (iii) *“All Risk” Property Insurance.* KLECK shall maintain a policy of property insurance for perils usual to a standard “all risk” insurance policy on all its improvements or alterations in, on, or about the PUBLIC RIGHT-OF-WAY, with limits equal to the value of all such improvements or alterations.

b. General Provisions. The general liability insurance policy and the business automobile liability insurance policy shall (1) name CITY, its officials, officers, employees and agents as additional insureds; (2) be endorsed to waive subrogation against CITY, its officials, officers, employees and agents as additional insureds; and (3) be primary and non-contributory. All Required Insurance herein shall contain standard separation of insureds provisions, and shall contain no special limitations on the scope of protection provided to CITY, its officials, officers, employees and agents.

c. Certificates; Insurer Rating; Cancellation Notice. Prior to conducting any work in PUBLIC RIGHT-OF-WAY, KLECK shall furnish to CITY properly executed certificates of insurance which evidence all Required Insurance. KLECK shall maintain the Required Insurance at all times while this AGREEMENT is in effect, and shall replace any certificate, policy, or endorsement which will expire prior to that date. All policies shall be endorsed to provide the Required Insurance shall not be suspended, voided, reduced, canceled, or allowed to expire except on thirty (30) days prior written notice to CITY. Unless approved in writing by CITY, KLECK shall place the Required Insurance with insurers licensed to do business in the State of California and with a current A.M. Best rating of at least A-:VII.

d. Waiver of Subrogation. KLECK releases CITY, its officials, officers, employees and agents from any claims for damage or harm to any person, the REAL PROPERTY, the PUBLIC RIGHT-OF-WAY, or the IMPROVEMENTS, caused by, or which result from, risks insured under any insurance policy carried by KLECK at the time of such damage or harm. KLECK shall cause each insurance policy required herein to provide a waiver of subrogation in favor of CITY, its officials, officers, employees and agents.

13. Indemnity. KLECK hereby agrees to defend, indemnify and hold CITY and its officials, officers, agents and employees free and harmless from and against any and all claims, demands, causes of action, costs, liabilities, expenses, losses, damages or injuries of any kind in law or equity, to persons or property, including wrongful death, in any manner arising out of or incident to any acts, omissions or willful misconduct of KLECK, its partners, affiliates, agents officials, officers or employees in performance of this AGREEMENT, use of the REAL PROPERTY or PUBLIC RIGHT-OF-WAY, or the construction, use, or operation of the IMPROVEMENTS. KLECK shall further defend, indemnify and hold harmless the CITY and its officials, officers, agents and employees from all claims, demands, lawsuits, writs of

Reso A - Exhibit A

mandamus, and other actions or proceedings (brought against the CITY or its departments, commissions, agents, officers, officials, or employees to challenge, attack seek to modify, set aside, void or annul any City decision made in connection with this AGREEMENT or KLECK's use of the PUBLIC RIGHT-OF-WAY. KLECK shall defend, with counsel of CITY's choosing and at KLECK's sole expense, any and all aforesaid suits, actions or proceedings, legal or affirmative, that may be brought or instituted against CITY, its officials, officers, agents or employees. KLECK shall pay and satisfy any judgment, award or decree that may be rendered against CITY, its officials, officers, agents or employees. KLECK shall reimburse such parties for any and all legal expenses and costs incurred by one or all of them in connection with this AGREEMENT or the indemnity herein provided. KLECK's obligation shall survive termination or expiration of this AGREEMENT, and shall not be restricted to insurance proceeds, if any, received by CITY or its officials, officers, agents or employees.

14. Covenant Running With Land. This AGREEMENT shall be deemed a covenant running with the REAL PROPERTY. All of the covenants, obligations, and provisions of this AGREEMENT shall be binding upon and inure to the benefit of successors, legal representatives and assigns of the Parties. Every person who now or hereafter owns or acquires any right, title, or interest in and to any portion of the REAL PROPERTY shall be conclusively deemed to have notice of this AGREEMENT, whether or not reference to this AGREEMENT is contained in the instrument by which such person acquires an interest in the REAL PROPERTY. Therefore, each and every contract, deed or other instrument hereinafter executed, covering or conveying the REAL PROPERTY shall conclusively be deemed to have been executed, delivered and accepted subject to this AGREEMENT.

15. Miscellaneous.

a. Amendments. The provisions of this AGREEMENT may be amended by mutual written consent of both parties.

b. Notices. All notices permitted or required under this AGREEMENT shall be given to the respective parties at the following address, or at such other address as the respective parties may provide in writing for this purpose:

KLECK: Kleck Road LLC
8501 Camino Media, Suite 400
Bakersfield, CA 93311
Attn: Scott Berry

CITY: City of El Paso de Robles
1000 Spring Street
Paso Robles, CA 93446
Attn: Director of Public Works

Such notice shall be deemed made when personally delivered or forty-eight (48) hours after deposit in the U.S. Mail, first class postage prepaid and addressed to the party at its applicable

Reso A - Exhibit A

address. Actual notice shall be deemed adequate notice on the date actual notice occurred, regardless of the method of service.

c. Entire Understanding. This AGREEMENT constitutes the entire understanding between the Parties, and supersedes all offers, negotiations and other agreements concerning the subject matter contained herein.

d. Invalidity. If any provision of this AGREEMENT is invalid or unenforceable with respect to any Party, the remainder of this AGREEMENT or the application of such provision to persons other than those as to whom it is held invalid or unenforceable, shall not be affected and each provision of this AGREEMENT shall be valid and enforceable to the fullest extent permitted by law.

e. Successors and Assigns. This AGREEMENT shall be binding on and inure to the benefit of the successors and permitted assignees of the respective parties.

f. No Third Party Beneficiaries. This Agreement shall not be construed to create any third party beneficiaries. This Agreement is for the sole benefit of the parties, and their permitted successors, transferees, and assignees, and no other person or entity shall be entitled to rely upon or receive any benefit from this Agreement or any of its terms.

g. Consent to Jurisdiction and Venue. This AGREEMENT shall be construed in accordance with and governed by the laws of the State of California. Any legal action or proceeding brought to interpret or enforce this AGREEMENT, or which in any way arises out of the Parties' activities undertaken pursuant to this AGREEMENT, shall be filed and prosecuted in the appropriate California State Court in the County of San Luis Obispo, California. Each Party waives the benefit of any provision of state or federal law providing for a change of venue to any other court or jurisdiction including, without limitation, a change of venue based on the fact that a governmental entity is a party to the action or proceeding, or that a federal right or question is involved or alleged to be involved in the action or proceeding. Without limiting the generality of the foregoing waiver, KLECK expressly waives any right to have venue transferred pursuant to California Code of Civil Procedure Section 394.

h. Exhibits. All exhibits attached hereto form material parts of this AGREEMENT.

16. Permit Fee. KLECK agrees to compensate CITY in the amount of ONE THOUSAND DOLLARS (\$1,000) to offset legal and related expenses in return for granting an Encroachment Permit pursuant to this AGREEMENT, which shall be due and payable to CITY within thirty (30) days of the execution date of this AGREEMENT.

17. Possessory Interest. In accordance with Revenue and Taxation Code Section 107.6, this AGREEMENT may create a possessory interest subject to personal property taxation for which KLECK shall be responsible.

Reso A - Exhibit A

18. Effective Date. The Parties hereby agree that the effective date of this AGREEMENT, and the effective date for all obligations of the Parties hereunder, shall be the date on which this AGREEMENT has been fully executed by both Parties.

[SIGNATURES ON FOLLOWING PAGE]

Reso A - Exhibit A

**SIGNATURE PAGE TO
DURABLE ENCROACHMENT AGREEMENT
BETWEEN
CITY OF EL PASO DE ROBLES
AND KLECK ROAD LLC**

IN WITNESS WHEREOF, this AGREEMENT and the Encroachment Permit granted hereby has been duly issued by CITY on the date of execution by CITY below.

**CITY OF EL PASO DE ROBLES,
A California municipal corporation and general
law city**

By: _____
Thomas Frutchey
City Manager

Date: _____

**ACCEPTANCE OF TERMS
AND CONDITIONS OF AGREEMENT:**

**KLECK
KLECK ROAD LLC,
a California limited liability corporation**

By: _____
(signature)

(print name and title)

Date: _____

Reso A - Exhibit A

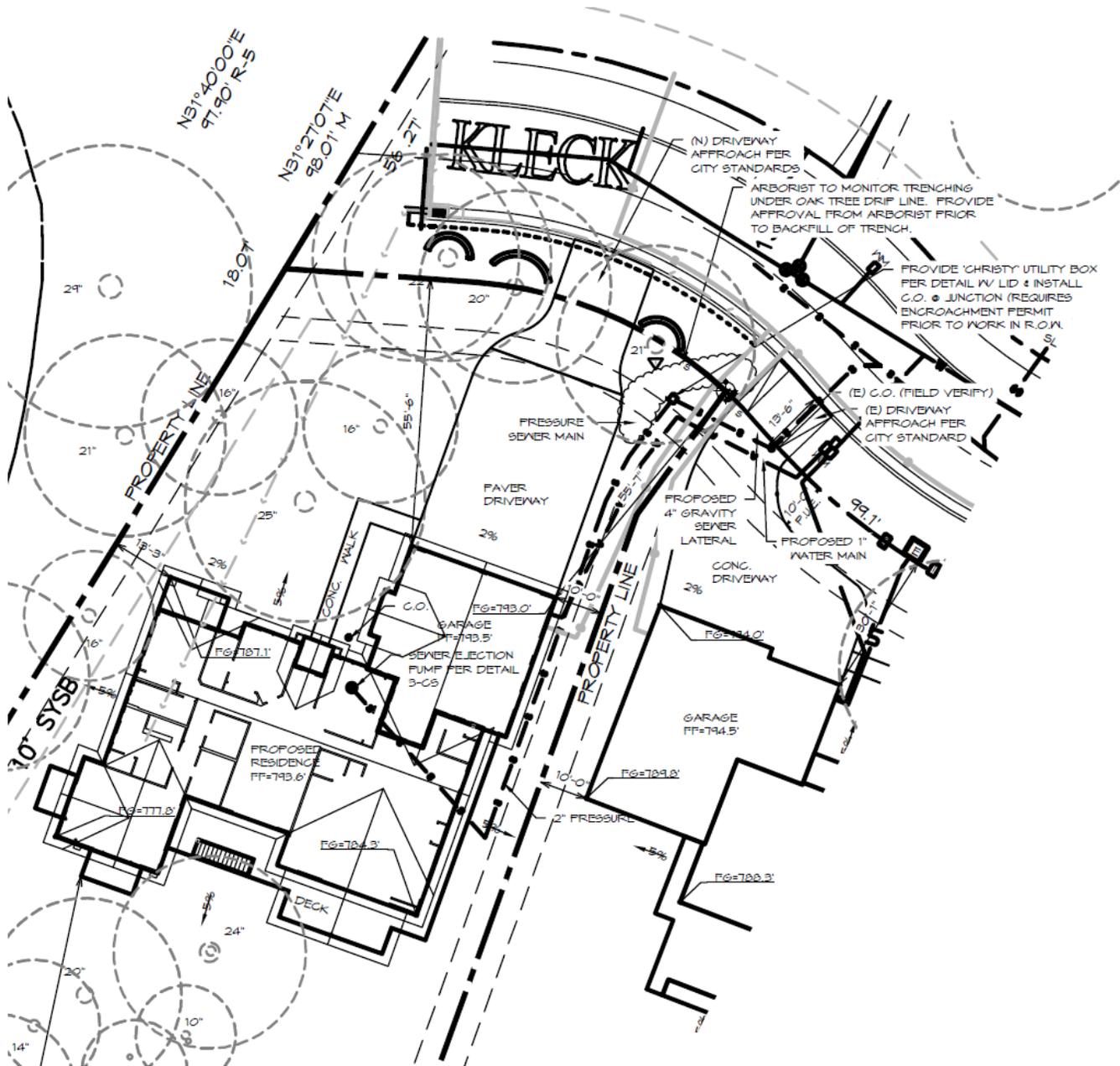
EXHIBIT "A"

LEGAL DESCRIPTION OF REAL PROPERTY

Assessor's Parcel No. 025-527-006, Lot 6, Tract 2805, located in the City of Paso Robles,
County of San Luis Obispo, California

EXHIBIT "B"

PUBLIC RIGHT-OF-WAY AND FINAL DESIGN DRAWINGS FOR IMPROVEMENTS
APPROVED BY CITY



Attachment 2

Resolution B

RESOLUTION NO. 18-XXX

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF EL PASO DE ROBLES ACCEPTING A DRAINAGE EASEMENT ON LOT 6, TRACT 2805.

WHEREAS, Kleck Road LLC. (“Kleck”) is the property owner of Lot 6, Tract 2805, 2023 Kleck Road; and

WHEREAS, Tract 2805, lot 6, includes a Public Drainage Easement to convey stormwater from Kleck Road down through Lot 6; and

WHEREAS, The house on Lot 6 was built over the Public Drainage Easement. The City Engineer worked with the Applicant and approved a re-alignment of the existing storm drain to the west between the property line and the house; and

WHEREAS, In order to approve the re-alignment the Applicant is dedicating a new drainage easement that will follow the re-aligned drainage pipe. The Applicant has provided a signed copy of the Grant of Easement to the City; and

WHEREAS, a public hearing was conducted by the City Council on June 5, 2018, to consider facts as presented in the staff report prepared for this grant of easement acceptance, and to accept public testimony regarding this proposed Grant of Easement for storm drainage purposes.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF EL PASO DE ROBLES DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. All of the above recitals are true and correct and incorporated herein by reference.

Section 2 - Findings: based upon the facts and analysis presented in the staff report, public testimony received and subject to the conditions listed below, the City Council makes the following findings:

1. The proposed acceptance of the Grant of Easement for Storm Drainage Purposes complies with the adopted codes, policies, standards and plans of the City; and
2. The proposed Grant of Easement for Storm Drainage Purposes will not be detrimental to the health, safety, morals, comfort, convenience and general welfare of the residents and or businesses in the surrounding area, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City; and
3. The proposed Grant of Easement for Storm Drainage Purposes accommodates the aesthetic quality of the City as a whole since the easement and associated drainage structures will be installed to City Engineering Standards.

Section 3 – Approval: the City Council of the City of El Paso de Robles does hereby accept the Grant of Easement Storm Drainage Purposes, attached hereto as Exhibit A and incorporated herein by reference, and authorizes the City Manager to sign the Certificate of Acceptance for said easement.

Attachment 2

Resolution B

PASSED AND APPROVED by the City Council of the City of El Paso de Robles this 5th day of June 2018, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Steven W. Martin, Mayor

ATTEST:

Kristen L. Buxkemper, Deputy City Clerk

Exhibit:

A. Grant of Easement Storm Drainage Purposes

Attachment 2

Resolution B

Exhibit A – Grant of Easement for Storm Drainage Purposes

Reso B - Exhibit A

RECORDING REQUESTED BY AND WHEN RECORDED, RETURN TO:	
---	--

City of El Paso de Robles 1000 Spring Street Paso Robles, CAS 93446 Attn: City Engineer	
--	--

APN: 025-527-006

(Space Above for Recorder's Use)

No Fee Document – Government Code §27383

GRANT OF EASEMENT Storm Drainage Purposes

For valuable consideration, **Kleck Road, LLC**, a California limited liability company (“Grantor”) hereby grants to the **City of El Paso de Robles**, a California municipal corporation (“Grantee”), a permanent, perpetual easement as more particularly described in EXHIBIT “A” and depicted on EXHIBIT “B” attached hereto (“Easement”), to replace, remove, repair, alter, operate, maintain, inspect and use, a pipeline or pipelines together with braces, connections, fastenings, communication cables and other appliances and fixtures in connection therewith or appurtenant thereto, for storm drainage purposes, and for ingress and egress in connection with the exercise of any of the foregoing rights. The Easement is located in the County of San Luis Obispo, State of California on real property owned by Grantor, the portion of which is bound by the Easement to be referred to as the “Property”.

The Easement includes the right to inspect, alter, remove, replace, reconstruct and repair the said pipelines and other appurtenances, the right to mark the Easement by suitable markers set and maintained in the ground at locations which shall not interfere with such reasonable use as Grantor shall make of the Easement.

Grantor shall not increase or decrease, or permit to be increased or decreased, the now existing ground elevations of said Easement without the prior written consent of the Grantee. Grantor reserves the right to full use and enjoyment of the Property upon which the Easement is located, except for the purposes herein granted, provided that such use and enjoyment shall not hinder, conflict or interfere with the exercise of the Grantee’s rights hereunder, and that no excavation, building, structure or obstructions shall be constructed within the said Easement.

Grantee shall have the right, but not the duty, to trim or remove trees and brush along or adjacent to the Easement and remove roots from within the Easement whenever Grantee deems it necessary. Said right shall not relieve the Grantor of the duty as owner to trim or remove trees and brush to prevent danger or hazard to property or persons.

This instrument shall be binding upon and inure to the benefit of the successors and assigns of the Grantor and Grantee.

Reso B - Exhibit A

IN WITNESS WHEREOF, Grantor has caused this instrument to be executed this _____ day

of _____, 20_____.

[Signatures to be notarized]

GRANTOR: KLECK ROAD, LLC, a California limited liability company,

Date:

By: _____

Scott Berry
Managing Member

Reso B - Exhibit A

Certificate of Acceptance

This is to certify that the interest in the real property conveyed by this instrument from Kleck Road, LLC, a California limited liability company, to the City of El Paso de Robles, a California municipal corporation, was accepted by the undersigned officer on behalf of the City of El Paso de Robles, pursuant to authority conferred by resolution of the City Council of El Paso de Robles adopted _____, and said grantee has consented to the recordation of the within instrument.

By: _____
Thomas Frutchey, City Manager

EXHIBIT "A"
Legal Description

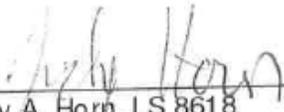
In the County of San Luis Obispo, State of California, a strip of land 10.00 feet wide over a portion of Lot 6 of Tract 2805 according to map recorded February 24, 2015 in Book 35, Page 001 of Maps in the office of the County Recorder of said County and State, the center line of said 10.00 feet wide strip of land being more particularly described as follows:

Beginning at a point on the North line of said Lot 6 which lies South 85°51'27" East 14.79 feet from the Northwest corner thereof, thence southerly along the following courses:

South 27°14'40" West 52.46 feet; thence
South 60°53'20" West 14.44 feet; thence
South 31°36'33" West 307.62 feet to an intersection with the South line of said Lot 6 which lies South 78°01'01" East 10.62 feet from the southwest corner of said Lot 6.

The sidelines of said strip of land shall be lengthened or shortened to meet with the North line and the South line of said Lot 6.

See Exhibit "B" attached for visual aid only.

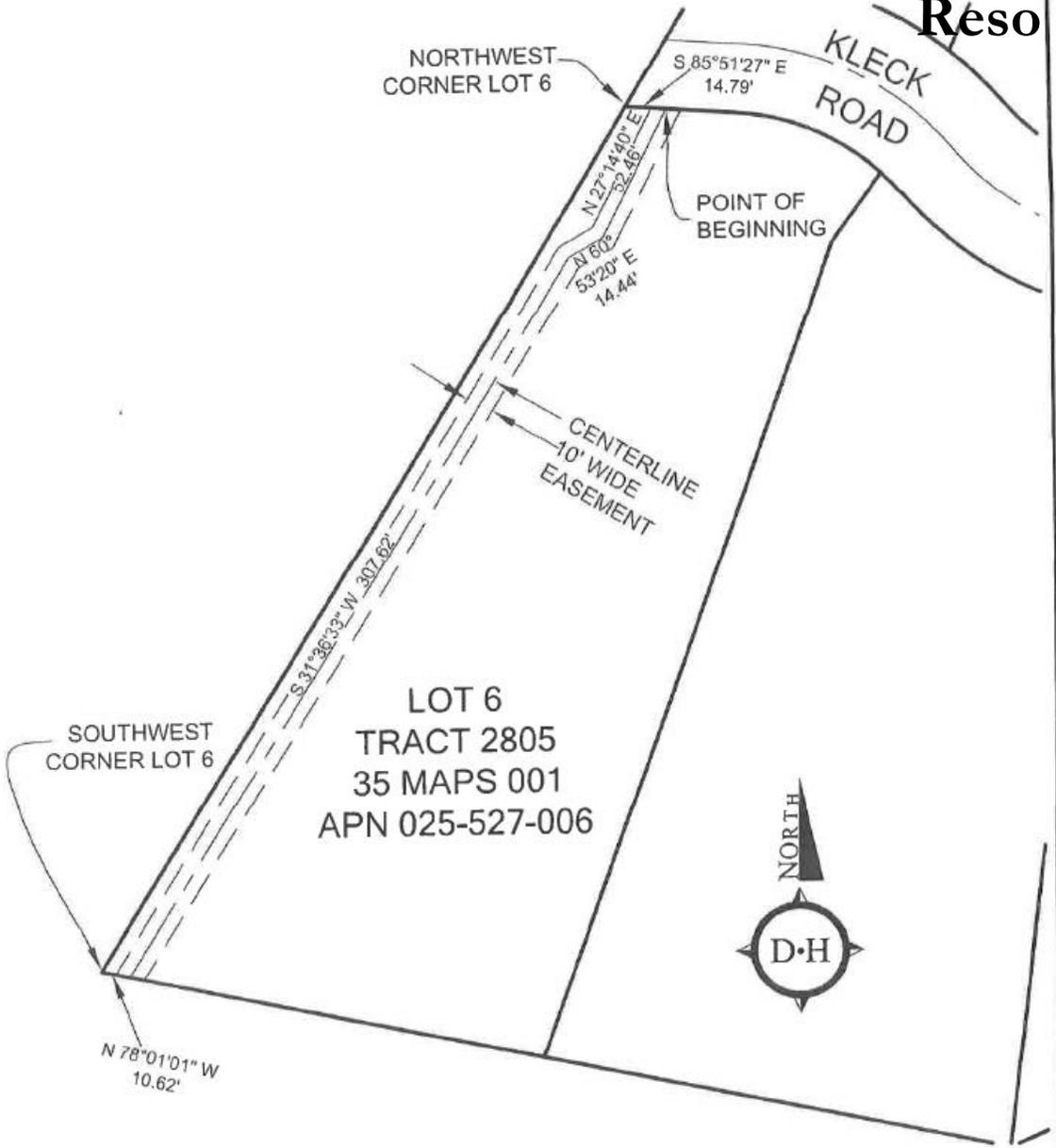


Jody A. Horn, LS 8618
(exp. 12-31-2019)

4/30/18
Date



EXHIBIT "B" DEPICTION



LOT 6
 TRACT 2805
 35 MAPS 001
 APN 025-527-006



PREPARED FOR: KLECK ROAD GROUP
 PREPARED BY: JODY A. HORN LS 8618
 DH SURVEYING
 P O BOX 4903
 PASO ROBLES, CA 93447

PHONE: (805) 238-5427

DHS JOB NO. : 18-007
 REVISION DATED 4/27/2018

EXHIBIT "B"
 NOT TO SCALE

Attachment 3

Draft Resolution C

RESOLUTION NO. 18-XXX

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF EL PASO DE ROBLES SUMMARILY VACATING A DRAINAGE EASEMENT ON LOT 6, TRACT 2805.

WHEREAS, Kleck Road LLC. (“Kleck”) is the property owner of Lot 6, Tract 2805, 2023 Kleck Road (the “Property”); and

WHEREAS, Kleck previously dedicated, and the City accepted, a Public Drainage Easement on the Property to convey stormwater from Kleck Road through the Property; and

WHEREAS, the house on the Property was constructed over the Public Drainage Easement; which necessitated the re-alignment of the storm drain in a manner and location approved by the City Engineer; and

WHEREAS, the realignment of the storm drain requires Kleck to dedicate a new storm drainage easement to the City; and

WHEREAS, Kleck has executed a Grant of Easement to the City for the relocated storm drain improvements; and

WHEREAS, the City Council accepted the new Grant of Easement for Storm Drainage Purposes on June 5, 2018, at a public hearing; and

WHEREAS, the acceptance of the new Grant of Easement for Storm Drainage, the City may summarily vacate the previously recorded storm drainage easement on the Property; and

WHEREAS, a public hearing was conducted by the City Council on June 5, 2018, to consider facts as presented in the staff report prepared for the 10-foot Wide Public Drainage Easement summary vacation and to accept public testimony regarding the proposed rejection of the 10-foot Wide Public Drainage Easement.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF EL PASO DE ROBLES DOES HEREBY RESOLVE AS FOLLOWS:

Section 1. All of the above recitals are true and correct and incorporated herein by reference.

Section 2 - Findings: based upon the facts and analysis presented in the staff report, public testimony received and subject to the conditions listed below, the City Council makes the following findings:

1. The proposed summary vacation is made pursuant to Streets and Highway Code Chapter 4, Section 8333 through 8336.
2. The existing 10-foot Wide Public Drainage Easement, is shown and described on Lot 6 of Tract 2805, a copy of which is attached to this resolution as Exhibit A.

Attachment 3

Draft Resolution C

3. The 10-foot Wide Public Drainage Easement has never been used and is no longer needed by the City as it has been superseded by relocation and there are no other public facilities in the easement.
4. The proposed summary vacation of the 10-foot Wide Public Drainage Easement complies with the adopted codes, policies, standards and plans of the City.
5. That from and after the date this resolution is recorded, the 10-foot Wide Public Drainage Easement vacated no longer constitutes a public service easement.

Section 3 – Approval: The City Council of the City of El Paso de Robles does hereby approve the vacation of the 10-foot Wide Public Drainage Easement shown on Lot 6, Tract 2805, approved and adopted by City Council on November 18, 2014, and incorporated herein by reference and hereby authorizes the City Clerk to file a certified copy of this resolution with the County Recorder of the County of San Luis Obispo for recordation.

PASSED AND APPROVED by the City Council of the City of El Paso de Robles this 5th day of June 2018 by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Steven W. Martin, Mayor

ATTEST:

Kristen L. Buxkemper, Deputy City Clerk

Exhibit:
A. Tract 2805 Final Map

Attachment 3

Draft Resolution C

Exhibit A – Final Map for Tract 2805, Lot 6

TRACT 2805 HIDDEN OAKS

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED ON A FIELD SURVEY AND RECORD DATA IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF RON BERRY IN JUNE 2014. I HEREBY STATE THAT THIS MAP OF TRACT 2805 SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY. I ALSO STATE THAT ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED OR WILL BE SET WITHIN ONE YEAR OF THE DATE OF THIS MAP. THE MONUMENTS SHOWN HEREON ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

Albert Dan King 12/4/2014
ALBERT DAN KING, LS 5145 DATE
LICENSE EXP. 6-30-2015



CITY ENGINEERS STATEMENT

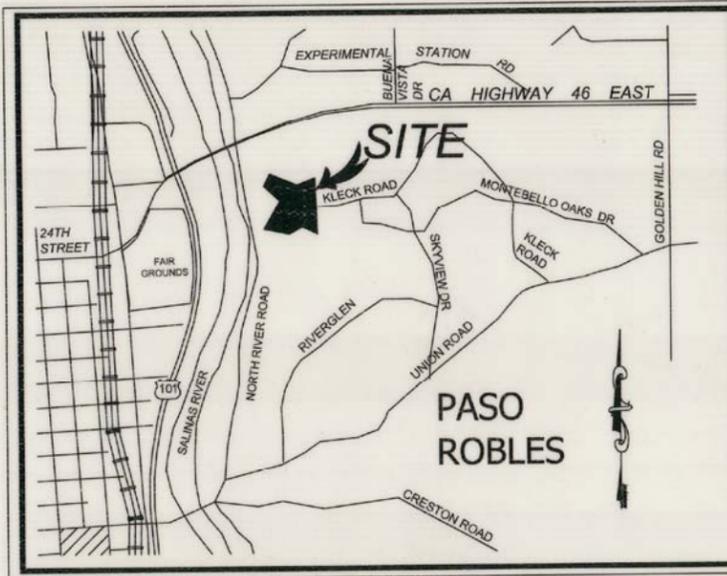
I HEREBY STATE THAT I HAVE EXAMINED THE ANNEXED MAP ENTITLED TRACT 2805, THAT THE SUBDIVISION AS SHOWN HEREON IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, IF REQUIRED, AND ANY APPROVED ALTERATIONS THEREOF AND THAT ALL PROVISIONS OF THE SUBDIVISION MAP ACT OF THE STATE OF CALIFORNIA AND OF ANY LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP HAVE BEEN COMPLIED WITH AND THAT I AM SATISFIED THAT THIS MAP IS TECHNICALLY CORRECT.

John Falkenstien 12-18-14
JOHN FALKENSTIEN, CITY ENGINEER DATE
CITY OF PASO ROBLES
R.C.E. 33760 (EXP 06/30/2016)



BEING A PORTION OF LOT 2 OF THE
SUBDIVISION OF LOT 11 OF THE SANTA YSABEL
RANCHO ACCORDING TO MAP FILED JUNE 1,
1891 IN BOOK B, PAGE 100 OF MAPS

CITY OF PASO ROBLES
COUNTY OF SAN LUIS OBISPO
STATE OF CALIFORNIA



VICINITY MAP
NTS

OWNERS STATEMENT

WE, THE UNDERSIGNED, HEREBY STATE THAT WE ARE THE SOLE OWNERS OF (AND RECORD HOLDERS OF SECURITY INTEREST IN), AND ALL PARTIES HAVING ANY RECORD TITLE IN THE REAL PROPERTY INCLUDED WITHIN THE SUBDIVISION AND PROJECT SHOWN ON THIS MAP, AND THAT EACH OF US DO HEREBY CONSENT TO THE FILING AND/OR RECORDATION OF THIS MAP.

THE REAL PROPERTY DESCRIBED BELOW IS DEDICATED AS AN EASEMENT FOR PUBLIC PURPOSES:
KLECK ROAD FOR PUBLIC RIGHT-OF-WAY AND UTILITY PURPOSES;
PUBLIC WATER EASEMENTS FOR PUBLIC WATER PURPOSES;
PUBLIC SEWER EASEMENTS FOR PUBLIC SEWER PURPOSES;
PUBLIC SIDEWALK EASEMENT FOR SIDEWALK PURPOSES;
PUBLIC DRAINAGE EASEMENT FOR PUBLIC DRAINAGE PURPOSES; AND
PUBLIC UTILITY EASEMENTS (P.U.E.'S) SHOWN ON THIS MAP FOR PUBLIC UTILITY PURPOSES INCLUDING ELECTRIC, GAS, COMMUNICATION FACILITIES AND ALL OTHER PUBLIC UTILITY PURPOSES; TOGETHER WITH ANY AND ALL APPURTENANCES THERETO, INCLUDING THE RIGHT FROM TIME TO TIME TO TRIM AND TO CUT DOWN AND CLEAR AWAY OR OTHERWISE CONTROL ANY TREES OR BRUSH. THE PUE'S HEREBY OFFERED FOR DEDICATION ARE TO BE KEPT OPEN AND FREE OF BUILDINGS, STRUCTURES AND WELLS OF ANY KIND.

WE HEREBY RESERVE FOR OURSELVES, OUR HEIRS AND ASSIGNS CERTAIN PRIVATE ACCESS EASEMENTS, PRIVATE WATER EASEMENTS, PRIVATE SEWER EASEMENTS AND PRIVATE OPEN SPACE EASEMENTS FOR THE USE AND BENEFIT OF THE PRESENT OR FUTURE OWNERS OF THE LOTS AFFECTED BY SUCH EASEMENTS AS DELINEATED ON SAID MAP.

KLECK ROAD LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
Scott Berry 11/25/14
BY: SCOTT BERRY, MANAGING MEMBER DATE

NOTARIAL

STATE OF CALIFORNIA)
COUNTY OF KERN)

ON NOVEMBER 25, 2014, BEFORE ME, V. MARMOLEJO, A NOTARY PUBLIC, PERSONALLY APPEARED SCOTT BERRY, WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

V. Marmolejo
SIGNATURE
JUNE 19, 2017
COMMISSION EXPIRATION DATE
2025680
COMMISSION NUMBER
V. MARMOLEJO
NAME PRINTED
KERN
COUNTY OF PRINTED



CITY CLERKS STATEMENT

I, DENNIS FANSLER, CITY CLERK OF THE CITY OF EL PASO DE ROBLES, CALIFORNIA, HEREBY STATE THAT THE CITY COUNCIL OF SAID CITY DID ON THE 13th DAY OF November, 2014, APPROVE THE MAP OF TRACT 2805 SHOWN HEREON, AND ACCEPT ON BEHALF OF THE PUBLIC THE OFFER OF DEDICATION OF KLECK ROAD, PUBLIC UTILITY EASEMENTS (P.U.E.), PUBLIC SEWER EASEMENTS, PUBLIC WATER EASEMENTS, PUBLIC SIDEWALK EASEMENT AND PUBLIC DRAINAGE EASEMENTS TO THE TERMS OF OFFER OF DEDICATION BY THE PARTIES HAVING TITLE INTEREST IN SAID LAND.

WITNESS MY HAND AND SEAL THIS 13th DAY OF February, 2014, 2015.

Dennis Fansler
DENNIS FANSLER, CITY CLERK



PLANNING COMMISSIONS STATEMENT

I HEREBY STATE THAT I HAVE EXAMINED THIS MAP AND THAT I AM SATISFIED THAT THE MAP CONFORMS WITH THE ACTION TAKEN BY THE CITY OF EL PASO DE ROBLES FOR TRACT 2805 ON JULY 11, 2006.

Warren Frace 2/13/15
ED GALLAGHER, COMMUNITY DEVELOPMENT DIRECTOR DATE
CITY OF PASO ROBLES

SIGNATURE OMISSIONS:

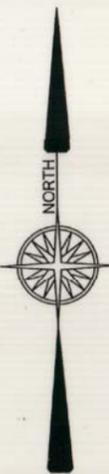
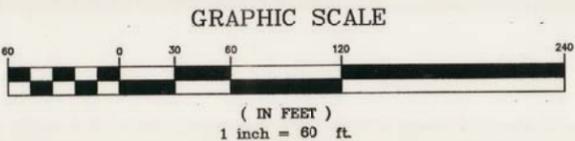
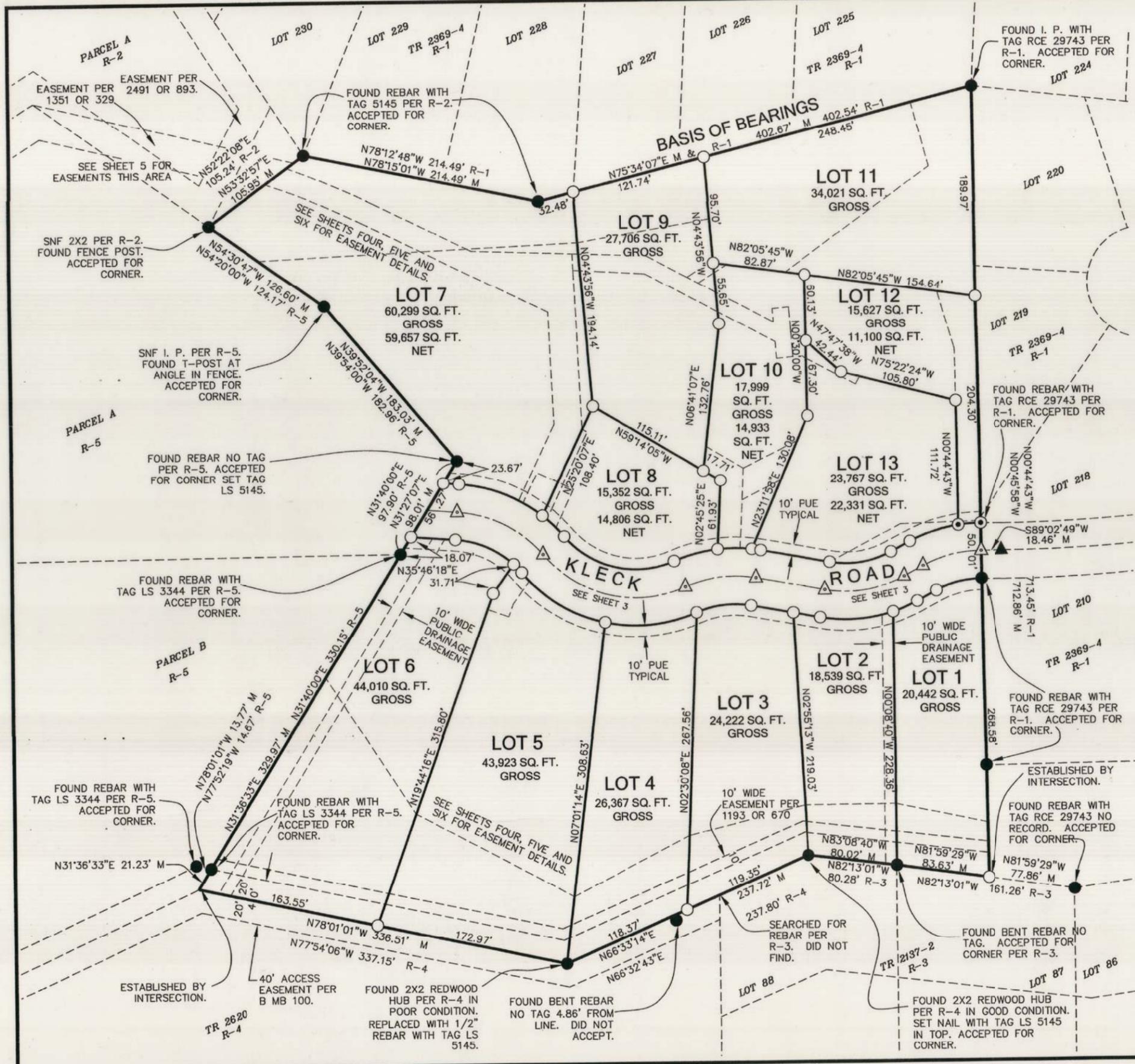
PURSUANT TO SECTION 66436 OF THE SUBDIVISION MAP ACT, THE SIGNATURES OF THE FOLLOWING OWNERS OF EASEMENT AND/OR OTHER INTERESTS HAVE BEEN OMITTED:
ROBERT S. MCCLEAN PER DOCUMENT RECORDED JULY 26, 1962 IN BOOK 1193, PAGE 970 OF OFFICIAL RECORDS.
FALLINGSTARS HOMES INC, A CALIFORNIA CORPORATION, PER DOCUMENT RECORDED OCTOBER 20, 2005 AS INSTRUMENT NO. 2005-088305 OF OFFICIAL RECORDS.

RECORDER'S STATEMENT

FILED THIS _____ DAY OF _____, 2014 AT _____ M., IN BOOK _____ OF MAPS AT PAGE _____, AT THE REQUEST OF ALBERT DAN KING, LS 5145. DOCUMENT NO. _____ FEE: \$ _____

Julie L. Rodewald
COUNTY RECORDER
DEPUTY RECORDER

 DAN KING SURVEYING
P O BOX 4903
PASO ROBLES CA 93447-4903
PHONE (805) 238-5427



LEGEND:

- SET 1/2" REBAR WITH TAG LS 5145
- ⊙ SET NAIL AND TAG LS 5145 IN CONCRETE
- FOUND MONUMENT AS NOTED
- △ SET WELL MONUMENT WITH BRASS CAP
- ▲ FOUND WELL MONUMENT PER R-1
- M MEASURED
- R-1 RECORD INFORMATION PER 27 MB 46-51
- R-2 RECORD INFORMATION PER 59 RS 47
- R-3 RECORD INFORMATION PER 19 MB 21
- R-4 RECORD INFORMATION PER 28 MB 63
- R-5 RECORD INFORMATION PER 36 PM 6

NOTES:

1. SEE SHEET THREE FOR INFORMATION ON KLECK ROAD CENTERLINE AND RIGHT OF WAY.
2. SEE SHEETS FOUR, FIVE AND SIX FOR INFORMATION REGARDING EASEMENTS.
3. SEE SHEET SEVEN FOR DEVELOPMENT ENVELOPES.
4. ALL STREETS, COMMON AREAS, AND P.U.E.'S ARE SOUTHERN CALIFORNIA GAS COMPANY EASEMENTS PER DOCUMENT NO. 2014-022517.

**TRACT 2805
HIDDEN OAKS**

DAN KING SURVEYING
P O BOX 4903
PASO ROBLES CA 93447-4903
PHONE (805) 238-5427