

TO: Thomas Frutchey, City Manager
FROM: Warren Frace, Community Development Director
SUBJECT: Acceptance of Parcel Map PR 05-0302 for Recordation (White)
DATE: April 5, 2016

Needs: That the City Council consider authorizing the approval of Parcel Map PR 05-0302 for recordation.

Facts:

1. Applicant Bruce White has requested that Parcel Map PR 05-0302 be accepted by the City for recordation. Parcel Map PR 05-0302 is located at 1337 Vine Street.
2. All subdivision improvements have been completed in accordance with the conditions of approval.

**Analysis
and**

Conclusion: Parcel Map PR 05-0302 was tentatively approved by the Planning Commission on December 13, 2005. All conditions imposed by the Planning Commission have been satisfied.

Policy

Reference: General Plan
California Government Code Section 66462 ("Subdivision Map Act")
Paso Robles Municipal Code Section 22.16.160

Fiscal

Impact: None.

Options: That the City Council accept the subject map by taking the following action:

- a. Adopt Resolution No. 16-xx accepting the recordation of Parcel Map PR 05-0302, a two-lot residential subdivision located at 1337 Vine Street.
- b. Amend, modify, or reject the above option.

Attachments: (2)

- 1) Vicinity/Reduced size parcel map
- 3) Resolution

OWNER'S STATEMENT

I, THE UNDERSIGNED, HERBERT WHITE, STATE THAT I AM THE OWNER OF, AND RECORDHOLDER OF SECURITY INTEREST IN, AND SOLE PARTY HAVING AN RECORD TITLE INTEREST IN THE REAL PROPERTY INCORPORATED WITHIN THE SUBDIVISION AND PROJECT SHOWN ON THIS MAP, AND THAT I DO HEREBY CONSENT TO THE FILING AND/OR RECORDATION OF THIS MAP.

I ALSO RESERVE TO MYSELF, MY HEIRS, AND ASSIGNS THE PROFITABLE ACCESS, SEWER, DRAINAGE AND WATER EASEMENTS FOR THE USE AND BENEFIT OF THE PRESENT OR FUTURE OWNERS OF THE LOTS AFFECTED BY SUCH EASEMENTS AS DELINEATED AND DESCRIBED ON SAID MAP.

THE REAL PROPERTIES DESCRIBED BELOW ARE DEDICATED AS EASEMENTS FOR PUBLIC PURPOSES

- (1.) THAT PORTION OF SAID REAL PROPERTY LYING AT THE SOUTHERLY 6 FEET OF PARCELS 1 & 2 AS SHOWN AND DELINEATED HEREON (SHEET 2) AS "6' WIDE P.U.L.
- (2.) THAT PORTION OF SAID REAL PROPERTY LYING AT THE EASTERLY 6 FEET OF PARCEL 1 AS SHOWN AND DELINEATED HEREON (SHEET 2) AS "6' WIDE P.U.L.

BRUCE WHITE

SIGNATURE

NOTARY ACKNOWLEDGMENTS

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THIS DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA }
COUNTY OF LOS ANGELES } SS

ON _____ 2016, BEFORE ME _____ PERSONALLY APPEARED BRUCE WHITE, WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE WITHIN INSTRUMENT, AND SIGNATURE THEREON THAT HE EXECUTED THE SAME IN HIS AFORESAID CAPACITY, AND THAT BY HIS ACTED, EXECUTED THE INSTRUMENT, ON THE PART OF THE PERSON, OR THE PARTY UPON BEHALF OF WHICH THE PERSON

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND:

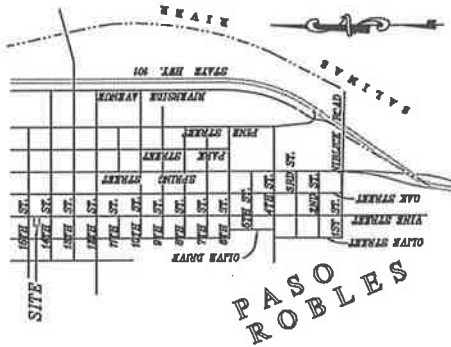
SIGNATURE _____ NAME PRINTED _____

COUNTY OF COMMISSION: _____

COMMISSION NO.: _____ EXP. DATE: _____

PARCEL MAP PR 05-0802

BEING A SUBDIVISION OF LOT 3 AND A PORTION OF LOT 2, BLOCK 161 IN THE CITY OF EL PASO DE ROBLES, (PER A-80-089) COUNTY OF SAN JUAN BAPTIST, STATE OF CALIFORNIA.



VICINITY MAP
NO SCALE

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF BRUCE WHITE IN OCTOBER OF 2006. I HEREBY STATE THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY. I ALSO STATE THAT ALL OF THE LOTS SHOWN HEREON ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED. THE MONUMENTS SHOWN HEREON ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

Wm. E. Touceda
P.L.S. 4846
01-19-2016



CITY ENGINEER'S STATEMENT

I HEREBY STATE THAT I HAVE EXAMINED THE ANKED MAP ENTITLED PARCEL MAP PR 05-0802 AND THE SUBDIVISION MAP AS SUBMITTED TO THE SALEM AS IT APPEARED ON THE TENTATIVE MAP. I HAVE ALSO EXAMINED THE TENTATIVE MAP AND THE PROVISIONS OF THE SUBDIVISION MAP ACT OF THE STATE OF CALIFORNIA AND OF ANY LOCAL ORDINANCE APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP HAVE BEEN COMPLIED WITH, AND THAT I AM SATISFIED THAT THIS MAP IS TECHNICALLY CORRECT.

JOHN R. WALKENSTEIN, CITY ENGINEER
CITY OF EL PASO DE ROBLES
R.C.E. 38780

DATE _____

COMMUNITY DEVELOPMENT DIRECTOR'S STATEMENT

I HEREBY STATE THAT I HAVE EXAMINED THIS PARCEL MAP ENTITLED PR 05-0802. THAT SAID MAP SUBSTANTIALLY CONFORMS TO THE TENTATIVE MAP AS APPROVED BY THE CITY OF EL PASO DE ROBLES, DECEMBER 16, 2006. THIS MAP IS THEREFORE APPROVED BY THE CITY OF EL PASO DE ROBLES.

FARREN FRACS
COMMUNITY DEVELOPMENT DIRECTOR
CITY OF EL PASO DE ROBLES

DATE _____

CITY CLERK'S STATEMENT

I, DENNIS FANSLER, CITY CLERK OF THE CITY OF EL PASO DE ROBLES, CALIFORNIA, HEREBY STATE THAT THE CITY COUNCIL OF SAID CITY DID ON THE _____ DAY OF _____ APPROVE THE MAP OF PARCEL MAP PR 05-0802 SHOWN HEREON AND THE OFFERS OF DEDICATION SHOWN HEREON FOR PUBLIC UTILITY EASEMENTS ARE ACCEPTED TO THE TERMS OF OFFERS OF DEDICATION BY THE PARTIES HAVING RECORD TITLE INTEREST IN SAID LAND.

WITNESS MY HAND AND SEAL THIS _____ DAY OF _____ 2016.

DENNIS FANSLER, CITY CLERK

RECORDER'S STATEMENT

FILED THIS _____ DAY OF _____ 2016, AT _____

IN BOOK _____ OF PARCEL MAPS AT PAGES _____

AT THE REQUEST OF W.L.E. TOUCEDA.

DOC. NO. _____ FEE: _____

TOWNSHIP CORNER _____ ETC. DEFERRED _____

COUNTY RECORDER _____

TWIN CITIES SURVEYING, INC.
015-C, MAIN STREET / P.O. BOX 777
TEMPLETON, CALIFORNIA 93465-0777
(805) 434-1834 JUN 05/16
SHEET 1 OF 2

FIRST AMERICAN TITLE COMPANY 4001-555677 (U)

PARCEL MAP PR 05-0302

BEING A SUBDIVISION OF LOT 3 AND A PORTION OF LOT 2,
BLOCK 151 IN THE CITY OF EL PASO DE ROBELES,
(PER A-MB-169)
COUNTY OF SAN LUIS OBISPO,
STATE OF CALIFORNIA.

BASIS OF BEARINGS
THE "BASIS OF BEARINGS" FOR THIS MAP AND SURVEY IS GRID
NORTH PER CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 5
(CGC 83-ZONE 5) THE MEAN CONVERGENCE ANGLE IS -1°32'10".
ALL DISTANCES ARE GROUND DISTANCES.

RECORD MAPS

PR = A/MAPS/RS (1988)
RE = 46/12/76S (1985)
RA = 62/12/77 (1986)
RR = 72/12/79 (1988)
RS = 82/12/81 (1990)
RT = 86/12/83 (1992)
RU = 90/12/85 (1994)
RV = 94/12/87 (1996)
RW = 98/12/89 (1998)
RX = 02/12/91 (2000)
RY = 06/12/93 (2002)
RZ = 10/12/95 (2004)
RAA = 14/12/97 (2006)
RAB = 18/12/99 (2008)

LEGEND:

- = SET P. I.P. W/BRASS TAG "LS 4845" UNLESS NOTED OTHERWISE
- ⊙ = SET LEAD, TACK AND BRASS TAG "LS 4845" AT OFFENSE TO PROPERTY LINE UNLESS NOTED OTHERWISE
- = ED. P. I.P. W/ BRASS TAG "LS 4845" PER RB UNLESS NOTED OTHERWISE
- ▲ = PD. CENTERLINE MONUMENT AS NOTED IN WELL
- ⊙ = PD. 5/8" RBR. W/ CAP "LS 557" PER RT
- ⊙ = PD. IRON PIPE
- I.P. = IRON PIPE
- P = CORNER ESTABLISHED BY SINGLE PROTRATION
- RBR. = REBAR

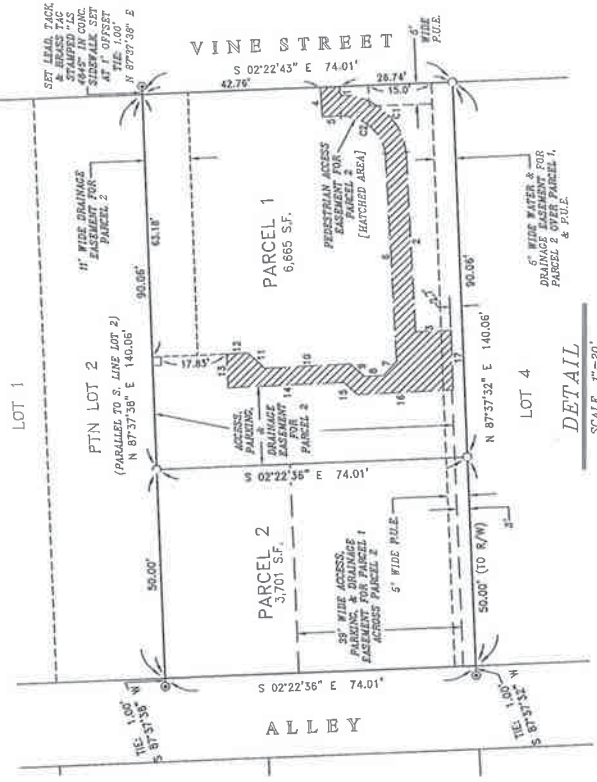
CURVE DATA

CURVE	RADIUS	DELTA	LENGTH	CHORD	BEARINGS
C1	15.87'	83°50'39"	22.85'	18.92'	N 89°28'14" E (°) S 06°41'07" E (°)
C2	10.85'	79°27'15"	15.04'	10.85'	S 89°25'13" E (°) S 09°57'59" E (°)

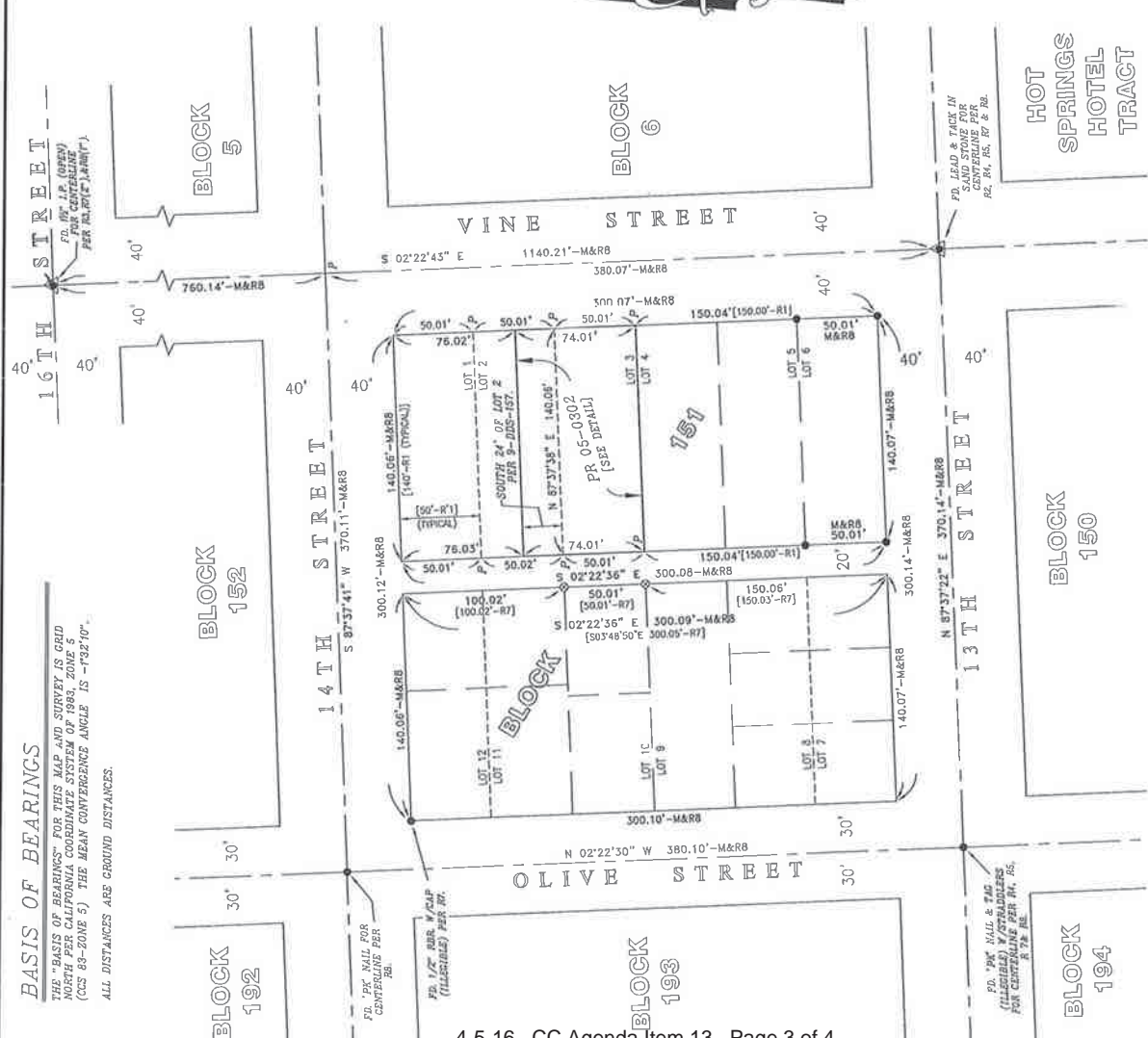
* = RADIAL @ NORTH END OF CURVE
= RADIAL @ WEST END OF CURVE

LINE DATA

LINE	BEARING	DISTANCE	REMARKS
1	S 82°27'02" W	2.01'	
2	S 86°55'54" W	43.23'	
3	S 07°22'28" E	6.37'	
4	S 82°27'02" W	7.14'	
5	S 86°55'54" W	50.17'	
6	S 80°48'30" W	50.17'	
7	N 47°54'06" W	4.55'	
8	N 02°18'10" W	4.61'	
9	N 41°53'20" E	4.50'	
10	N 03°55'34" W	20.30'	
11	N 02°45'52" W	5.00'	
12	S 87°11'11" W	8.10'	
13	S 02°49'43" E	27.62'	
14	S 42°24'35" W	4.34'	
15	S 02°57'45" E	22.72'	
16	N 87°37'32" E	140.06'	
17	N 87°37'32" E	14.72'	



TWIN CITIES SURVEYING, INC.
615-C S. MAIN STREET / P.O. BOX 777
TEMPLETON, CALIFORNIA 93468-0777
(805) 434-1634 FAX
SHEET 2 OF 2



RESOLUTION NO. 16-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF
PASO ROBLES ACCEPTING PARCEL MAP PR 05-0302 FOR RECORDATION
(WHITE)

WHEREAS, the subdivider of tentative Parcel Map PR 05-0302, located at 1337 Vine Street, has requested recordation of the final map; and

WHEREAS, the parcel map allows for the creation of two (2) parcels on a 0.24 acre lot; and

WHEREAS, all conditions of approval for this subdivision have been satisfied by the subdivider; and

WHEREAS, City staff has reviewed the final parcel map and finds it to be in substantial conformance with the approved tentative map and technically correct.

THEREFORE, BE IT RESOLVED AS FOLLOWS:

SECTION 1. That the City Council of the City of Paso Robles does hereby approve the final map for Parcel Map PR 05-0302 and authorize the execution and recordation of the parcel map.

SECTION 2. That the City Council of the City of Paso Robles accept the offers of dedication for the public utility easements as shown on the final map.

PASSED AND ADOPTED by the City Council of the City of Paso Robles this 5th day of April, 2016, by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Steven W. Martin, Mayor

ATTEST:

Kristen L. Buxkemper, Deputy City Clerk